



COMMITTEE OF ADJUSTMENT AGENDA

Date: Tuesday, April 29, 2025, 1:00 p.m.

Location: Lansdowne Council Chambers

To register in advance for this webinar, click [here](#). After registering, you will receive a confirmation email containing information about joining the webinar. Accessible formats and communication supports are available upon request.

| | Pages |
|--|-------|
| 1. <u>Call to Order</u> | |
| 2. <u>Adoption of Agenda</u> | |
| Recommendation: | |
| THAT the Agenda be adopted as circulated. | |
| 3. <u>Adoption of Minutes</u> | |
| 3.1 March 25, 2025 Minutes - Draft | 3 |
| 4. <u>Declaration of Pecuniary Interest and the General Nature Thereof</u> | |
| 5. <u>Outstanding Applications</u> | |
| 6. <u>New Applications</u> | |
| 6.1 D13-2025-010 - 208 Downie Island | 8 |
| 6.2 D13-2025-011 - 52 Hill Island Heights | 37 |
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| 6.6 D13-2025-015 - 77 Kerry Point Rd | 112 |
| 6.7 D13-2025-016 - 5 Millars Lane | 136 |
| 7. <u>Other Business</u> | |
| 8. <u>Adjournment</u> | |

Recommendation:

THAT the Committee of Adjustment will adjourn to meet again at the call of Secretary-Treasurer.

COMMITTEE OF ADJUSTMENT MINUTES

Date: March 25, 2025, 1:00 p.m.
Location: Lansdowne Council Chambers

Members Present: Jim Kehoe
Bruce Craig
Katherine Graham
Todd Robertson

Members Absent: Paul Veenstra

Staff Present: Planner Kyle Peel
Senior Planner Lindsay Lambert
Secretary-Treasurer Amanda Werner-Mackeler

1. **Call to Order**

The meeting was called to order at 1 pm.

2. **Adoption of Agenda**

Resolution Number: COA-2025-017

Moved by: Katherine Graham

Seconded by: Todd Robertson

THAT the Agenda be adopted as circulated.

Carried

3. **Adoption of Minutes**

3.1 **February 25, 2025 Hearing Minutes**

Resolution Number: COA-2025-018

Moved by: Bruce Craig

Seconded by: Todd Robertson

That the minutes of the February 25, 2025 hearing of the Committee of Adjustment be adopted as circulated.

Carried

4. Declaration of Pecuniary Interest and the General Nature Thereof

No pecuniary or other interest was declared.

5. Outstanding Applications

None.

6. New Applications

6.1 D13-2025-007 - 21 Vanston Road

The application was introduced to permit the construction of an accessory structure (pergola). The following variances from Zoning By-Law 07-079 are required:

| Section | Provision | Proposed Structures | Relief Requested |
|---------|---|----------------------------|---------------------------------|
| 3.32(b) | Minimum setback required from a waterbody shall be 30m (98.43 ft) | Pergola: 0 metres (0 feet) | Pergola: 30 metres (98.43 feet) |
| 5.5(b) | Minimum front yard setback of the RS zone shall be 30m (98.43 ft) | Pergola: 0 metres(0 feet) | Pergola: 30 metres (98.43 feet) |

Written Agency Comments:

Cataraqui Region Conservation Authority - No objections.

Written Public Comments:

Ian Stewart, neighbour, no objections.

Written Staff Comments:

Planner, Kyle Peel - Recommended approval, subject to conditions.

Verbal Correspondence:

Colin Clark, owner, appeared before the Committee.

Planner Kyle Peel reviewed the proposal noting that the application is for a variance for a gazebo structure on a detached deck by the water. Typically, a 30 meter setback from the high water mark is required, but the Official Plan has provisions to allow for minor uncovered detached structure such as a gazebo to be placed within 30 metres provided the use does not create negative impacts.

The structure is of a size and scale for sufficient use. It is on top of a deck so there will be no increase in the impact on hard surfaces. Staff have recommended that a condition be placed on the decision to plant native species around the development. The proposal meets the four test of the Planning Act and meets the Township policies. The application has been found to be consistent with the applicable policies and regulations of the Land Use planning documents of the Township. Planning Staff recommend approval of this application per the details and conditions enclosed within the staff report.

Chair Kehoe asked for comments from the in person and virtual audience and no comments were received.

The Committee discussed the application and had no concerns as there were no environmental impacts anticipated.

Resolution Number: COA-2025-019

Moved by: Katherine Graham

Seconded by: Todd Robertson

That application D13-2025-007 be approved subject to the conditions as included in the Planner's Report and the decision of the Committee.

Carried

6.2 D13-2025-009 - 58 Front St

The application was introduced to permit the construction of a two storey addition on an existing dwelling. The following variances from Zoning By-Law 07-079 are required:

| Section | Provision | Proposed | Requested Zoning Relief |
|---------|----------------------------|---------------|-------------------------|
| 5.3(b) | Lot coverage (maximum) 10% | 13% (maximum) | 3% |

Written Agency Comments:

Cataraqui Region Conservation Authority - No objections.

Written Public Comments:

None.

Written Staff Comments:

Senior Planner, Lindsay Lambert - Recommended approval, subject to conditions.

Verbal Correspondence:

No one appeared before the Committee.

Senior Planner, Lindsay Lambert reviewed the proposal noting that it is a minor variance for an addition on the southeast side of the dwelling. In terms of Staff's review of the application, with exception of lot coverage, the proposal meets all other performance standards of the Hamlet Residential zone. No comments were received from the public and the CRCA has indicated that it is outside of the natural hazards. The proposal is more than 30 meters from the river and more than 30 meters from the adjacent wetland. The proposal meets the four tests of the Planning Act. The application has been found to be consistent with the applicable policies and regulations of the Land Use planning documents of the Township. Planning Staff recommend approval of this application per the details and conditions enclosed within the staff report.

Chair Kehoe asked for comments from the in person and virtual audience and no comments were received.

The Committee discussed the application and expressed no concerns as the proposed was minor in nature.

Resolution Number: COA-2025-020

Moved by: Bruce Craig

Seconded by: Katherine Graham

That application D13-2025-009 be approved subject to the conditions as included in the Planner's Report and the decision of the Committee.

Carried

7. Other Business

None.

8. Adjournment

The meeting adjourned at 1:12 pm.

Resolution Number: COA-2025-021

Moved by: Katherine Graham

Seconded by: Bruce Craig

THAT the Committee of Adjustment will adjourn to meet again at the call of Secretary-Treasurer.

Carried

Chair

Secretary-Treasurer



Notice of Committee of Adjustment Hearing
Minor Variance Application
(Section 45 of the Planning Act)

Date: Tuesday, April 29, 2025

Time: 1:00 pm

Location: 1233 Prince Street, Lansdowne, ON.

The hearing may be attended in person in the Council Chambers and virtually online/by phone through Zoom. Details on how to participate for both options are below.

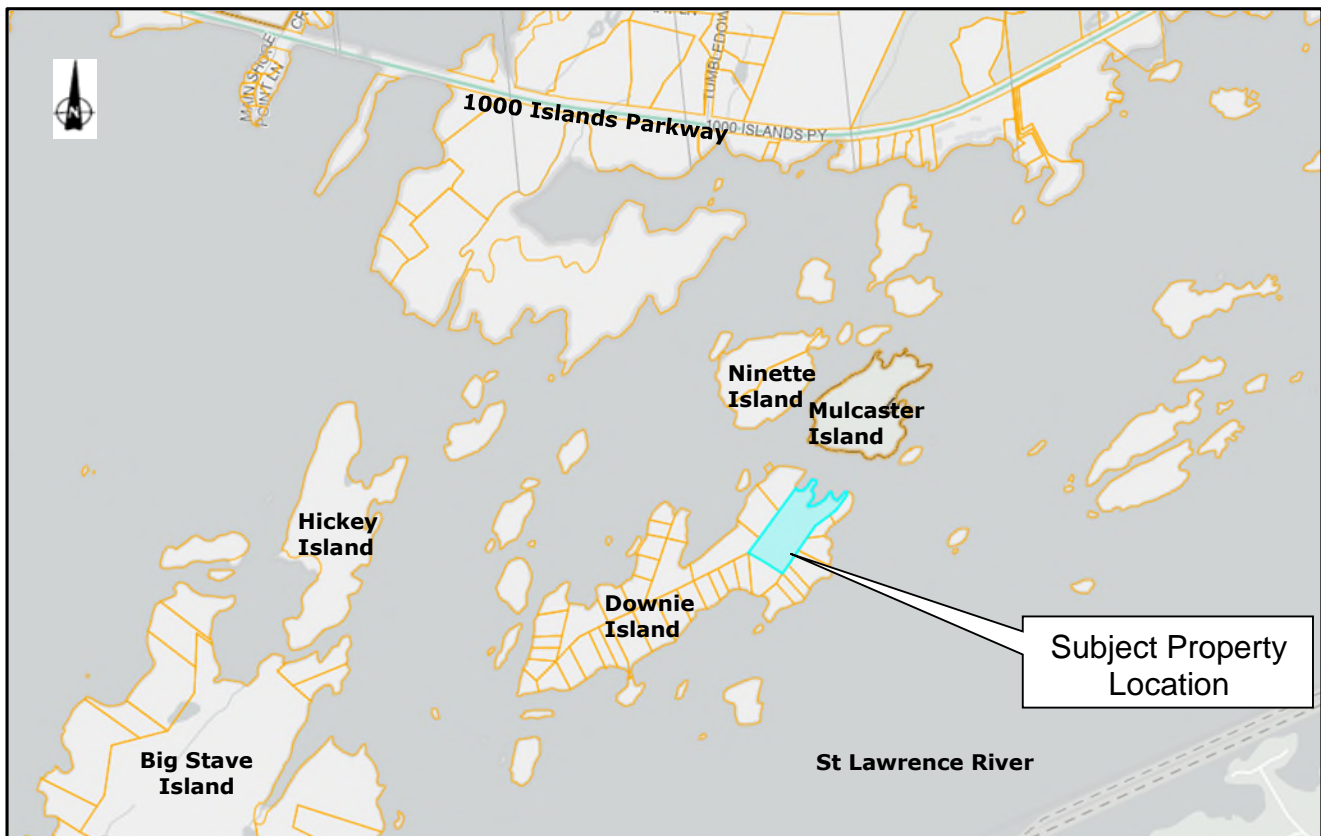
File Number: D13-2025-010

Applicant: Lindsay Bolton and Craig Bolton

Agent: Not Applicable

Location: 208 Downie Island

Ward: Ward 1 (Former Front of Leeds and Lansdowne)



Key Map: property subject to application for Minor Variance shown in blue.

Purpose of Application

The application is requesting variances to Township Zoning By-Law Number 07-079 to permit an accessory structure (storage shed) which was constructed prior to receiving the necessary municipal and agency approvals. The accessory structure is approximately 14.8 square metres and is proposed to be located within the minimum required 30 metre setback from the high-water mark of the St. Lawrence River and the minimum required 30 metre front yard setback of the Island Residential (RI) zone.

The following variances are requested:

| Section | Provision | Proposed Structure | Relief Requested |
|---------|---|-------------------------------|-------------------------------|
| 3.32(b) | Minimum setback required from a waterbody shall be 30m (98.43 ft) | Shed: 17.4 metres (57.1 feet) | Shed: 12.6 metres (41.3 feet) |
| 5.6(b) | Minimum front yard setback of the RI zone shall be 30m (98.43 ft) | Shed: 17.4 metres (57.1 feet) | Shed: 12.6 metres (41.3 feet) |

How to Participate in the Hearing:

All comments received will become part of the public record. Comments can only be received in a written format or verbally in person/virtually. Staff are unable to accept verbal comments over the phone or in person outside of the hearing.

Anyone attending in person in the Council Chambers or virtually online/by phone through Zoom will be provided the opportunity to comment on an application. The ways to comment on an application are:

1. Written Comments – Email: planningtechnician@townshipleeds.on.ca
Mail: Township of Leeds and the Thousand Islands
Attention: Amanda Werner-Mackeler, Secretary-Treasurer
1233 Prince St PO Box 280
Lansdowne, ON K0E 1L0
2. In Person Attendance – In person attendance will be in the Council Chambers at the Township Office at 1233 Prince St, Lansdowne, ON.
3. Virtual/Phone Attendance – If you wish to attend virtually/by phone, you are required to register to be an attendee prior to the hearing. Once registered, you will receive a follow up email from the Clerk with the details to attend the hearing by computer or by phone. To register to attend the hearing virtually/by phone, please register online at:

https://us02web.zoom.us/webinar/register/WN_6QzIU3WFRuKSkVPQ2xde8w

If you have any issues registering online, please call 613-659-2415 x 203 before April 25, 2025 and indicate your name, phone number, email address and application you wish to speak to. Staff will register you for the hearing using your email address and you will receive a follow up email from the Clerk with the details on how to attend the hearing by computer or by phone.

Make Your Views Known

The Committee of Adjustment will make a decision on the application on the basis of information or evidence received before and during the hearing. This notice has been mailed to you, as required by the Planning Act.

You may express your support or opposition to the proposed minor variance by either attending the above virtual public hearing or sending a letter by mail, e-mail, or hand-delivery prior to the hearing date. Any correspondence received will become part of the public record. Only the applicant, a specified person, public body, and the registered owner of any land to which the Committee of Adjustment applies may appeal a decision to the Ontario Land Tribunal.

No specified person, public body or registered owner to which the decision would apply shall be added as a party to the hearing of the appeal unless, before the decision was made, the specified person, public body or registered owner of any land to which the decision applies made oral submissions at a statutory public meeting or written submissions to the Committee of Adjustment prior to the decision or, in the opinion of the Tribunal, there are reasonable grounds to add the specified person or public body as a party.

“Public body” and “specified person” are defined under Section 1(1) of the Planning Act.

Collection of Personal Information:

Personal information is collected in order to gather feedback and communicate with interested parties regarding this development proposal. This information is collected under the authority of the *Planning Act* and in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*. With the exception of e-mail addresses and telephone numbers, all information and comments will become part of the public record and will appear on the Township’s website. Council and Committee meetings are broadcast live over the internet on YouTube. If you speak at the meeting your voice will be heard in the broadcast. Broadcasts are archived and continue to be publicly available.

View the Application File

Additional information concerning the Minor Variance Application is available online at <https://www.leeds1000islands.ca/en/governing/council-and-committee-calendar.aspx> or by contacting Amanda Werner-Mackeler, CPT, Secretary-Treasurer, during regular office hours at 613-659-2415 x 203 or email planningtechnician@townshipleeds.on.ca.

Receive a copy of the Committee’s Decision

The Committee of Adjustment will make a decision on the application at the meeting. To receive a copy of the Committee’s decision, you must make a written request to the Committee of Adjustment c/o Township of Leeds and the Thousand Islands, 1233 Prince Street, P.O. Box 280, Lansdowne, Ontario, K0E 1L0 or email planningtechnician@townshipleeds.on.ca.

Accessibility Information

If you are a person with a disability and need Township of Leeds and the Thousand Islands information provided in another format, please contact the Clerk’s office at 613-659-2415 x 231 or clerk@townshipleeds.on.ca.

Multi-Residential Unit Notification

If you have received this notice and you are the owner of land that contains seven or more residential units, please post this notice in a location that is visible to all of the residents.

For more information about this matter, contact Amanda Werner-Mackeler, CPT Secretary-Treasurer, at 613-659-2415 x 203 or email planningtechnician@townshipleeds.on.ca.

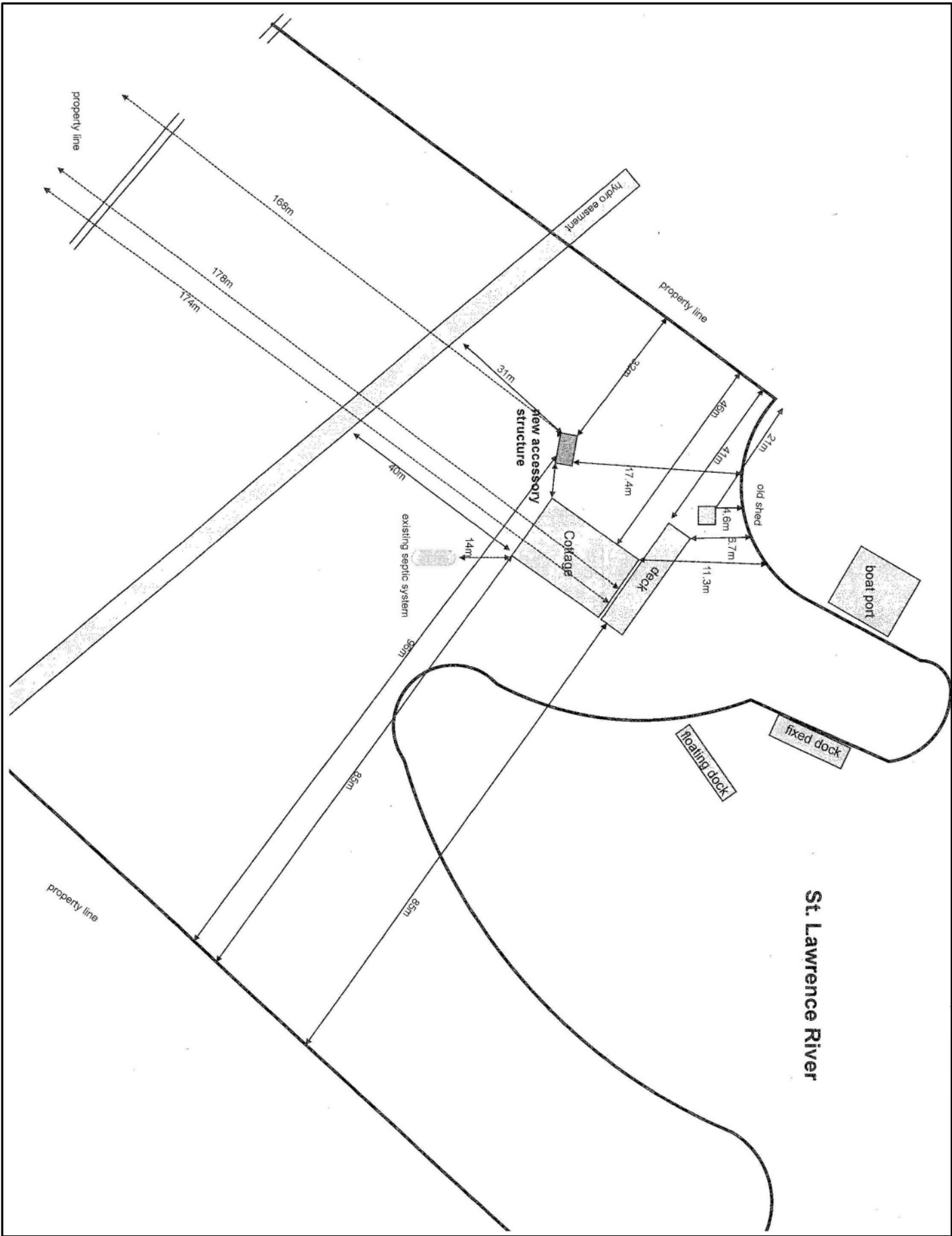
DATED at the Township of Leeds and the Thousand Islands on the 7th day of April, 2025.

Proposed Schedule A - Proposed Plot Plan

Minor Variance Application: D13-2025-010

Owner: Lindsay Bolton and Craig Bolton

Location: 208 Downie Island





DEVELOPMENT APPLICATION

Section 41 (Site Plan Approval) and
Section 45 (Minor Variance) of the Planning Act

| OFFICE USE ONLY | | | |
|-----------------------------|---|--|---------------|
| Application: | D13-2025-010 | Date Received: | March 3, 2025 |
| Roll Number: | 812-025-49600) | Deemed Complete: | April 3, 2025 |
| Application Fee: | \$850 | <input checked="" type="checkbox"/> Cheque <input type="checkbox"/> Cash <input type="checkbox"/> Interac <input type="checkbox"/> N/A | |
| Posting of Sign By: | <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Agent <input type="checkbox"/> Staff (\$50 Fee) <input type="checkbox"/> Other | | |
| Posting of Sign Fee: | <input type="checkbox"/> Cheque <input type="checkbox"/> Cash <input type="checkbox"/> Interac <input checked="" type="checkbox"/> N/A | | |

1. APPLICATION TYPE *(Check all that apply)*
☒ Minor Variance Application
☐ Site Plan Agreement

2. PRE-CONSULTATION *(Attach supporting documentation)*
☒ TLTI – Staff Kyle Peel
 ☐ Leeds, Grenville & Lanark Health Unit
☒ CRCA Hailey Esdon, Development Officer
 ☐ St. Lawrence Parks Commission
☐ Other:

3. COMPLETE APPLICATION REQUIREMENTS
☐ Complete Application Form
☐ Authorization of Applicant (if applicable)
☐ Affidavit signed by a Commissioner of Oaths, Notary, etc. (Available at Office)
☐ Township and other Agency (if applicable) Applications and Fees
☐ Cover Letter and/or report
☐ Survey Plan (if available)
☐ Deed
☐ Scaled Sketch as per Section 11 (1 hard copy (11x17 paper or less) or 1 digital copy)
☐ Minimum Distance Separation Calculation Form (if applicable)
☐ All Supporting Information identified through Pre-Consultation including DRT

4. SUBJECT LAND
 Assessment Roll Number: 0812812025496000000
 Civic Address: 208 Downie Island, Lansdowne (Township of)
 Legal Description (Concession, Lot, Part, Reference Plan numbers): PIN 44218 - 0156 LT
PT FLOAT OR DOWNIE ISLAND, PL 120 IN THE ST. LAWRENCE RIVER IN FRONT OF THE TWP OF LANSDOWNE AS IN LR371970; LEEDS/THOUSAND ISLANDS
 Date subject land acquired by current owner: May 21, 2021

5. REGISTERED OWNER(S)

All owners must be included. If company, identify principals. A separate page may be submitted, if needed.

Name(s): _____ Lindsay Bolton & Craig Bolton

Company Name (if applicable): _____

Mailing Address: _____

Phone (home): _____

Phone (cell): _____

Email Address: _____

6. APPLICANT INFORMATION

*If an applicant is NOT the owner of the subject lands, written authorization from **all registered owner(s)** must be obtained stating that the agent is authorized to make the application (Section 13)*

6.1 Is the applicant the same as the owner?



Yes (same information as above)



No (please fill out below **and** complete Section 14 – Agreement, Authorization and Declaration)

6.2 Name(s): _____

Company Name (if applicable): _____

Mailing Address: _____

Phone (home): _____

Phone (cell): _____

Phone (work): _____

Email Address: _____

7. SUBJECT LAND CHARACTERISTICS

7.1 Please list and describe any existing easements, right-of-ways or restrictive covenants that apply to the subject property (required to be shown on sketch)

hydro easement

7.2 Site Description: (briefly describe factors that may impact the proposed development, such as soil type and depth, lot configuration, steep slopes or low-lying areas, natural feature, etc.)

Proposed shed is to be accessory structure to existing cottage on St. Lawrence River. The lot is long and narrow with Hydro easement separating the water access only site from the remaining majority of the deep forested property. Site consist of high, exposed areas, natural feature bedrock with shallow pockets of thin soil overburden. The slope near the existing cottage is rough bedrock. The shed is approximately 7 m horizontal elevation from the water and located a greater distance from the water than any other existing property structure. There is bedrock ledge and an elevated course rift running bilateral parallel lengths through property providing limited space for accessory shed placement to remain functionally accessible to cottage and water only boat access.

7.3 Dimensions of Subject Land

| | | | | |
|-----------------------|-----|----------|-----|-------|
| Total Lot Area: | | hectares | 7 | acres |
| Lot Depth: | 254 | metres | 836 | feet |
| Lot Width (frontage): | 111 | metres | 366 | feet |

7.4 Road Access (include name)

- ☐ Provincial Highway: _____
- ☐ County Road: _____
- ☐ Municipal Road: _____
- ☐ Private Right-of-Way: _____
- ☒ Water Only: Water access only

7.5 If access to the subject land is by water only, provide details of parking and docking facilities to be used and the approximate distance of these from the subject land and the nearest public road:

Vehicle parking and water access via marina on mainland. Boat docking at property using previously installed docks

7.6 Servicing – Water

Existing Proposed Not Applicable

Municipal Piped Water System

☐☐☒

Privately Owned and Operated Well

☐ Dug☐☐☐☐ Drilled☐☐☐☐ Communal☐☐☐

Lake or Other Water Body:

☒☐☐

Other:

☐☐☐**7.7 Servicing – Sewage**

Existing Proposed Not Applicable

Municipal

☐☐☒

Privately-Owned

☒ Individual Sanitary Sewage System☒☐☐☐ Communal Sanitary Sewage System☐☐☐☐ Composting/Self-Contained Toilet☐☐☐☐ Privy☐☐☐☐ Outhouse☐☐☐

Other: (Specify)

☐☐☐**7.8 Servicing – Storm Drainage**

Existing Proposed Not Applicable

Sewers

☐☐☐

Ditches

☐☐☐

Swales

☐☐☐

Other (Specify): _____

☐☐☐

| | | |
|---|-------------------------------|--------------------------------------|
| 8. OFFICIAL PLAN, ZONING BY-LAW AND LAND USE INFORMATION | | |
| 8.1 Official Plan Designation: Rural | | |
| 8.2 Special Policy Area: <input checked="" type="checkbox"/> 1000 Islands <input type="checkbox"/> Highly Sensitive Lake Trout Lake <input type="checkbox"/> No | | |
| 8.3 Zoning: Island Residential (RI) | | |
| 8.4 Is this a designated heritage property: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | |
| 8.5 Existing Use(s): (indicate uses and length of time uses have continued) | | |
| Cottage property | | |
| 8.6 Proposed Use(s): | | |
| See Planning Justification Report; shed (3.3 x 4.5m, i.e., 14.85 sq m) accessory structure to existing cottage at 208 Downie Island. Shed location to fall within the 30m setback line from the water, farther back than the existing cottage structure. Chosen location is a level site that is elevated and back from the water for storage while still allowing for accessibility and proximity to current existing cottage structure. | | |
| 8.7 Existing Use on Adjacent Lands: | | |
| North: | waterway | South: neighbouring cottage property |
| East: | neighbouring cottage property | West: neighbouring cottage property |
| 8.8 Previous Use(s): (indicate all previous land uses on the subject land or adjacent lands including any industrial or commercial use, or if there is suspected contamination) | | |
| Cottage use only. No industrial or commercial use. No contamination | | |
| 8.9 Indicate any current or previous application under the <i>Planning Act</i> affecting the subject land: | | |
| Application Type | File Number | File Status |
| Minor Variance | | |
| Site Plan Agreement | | |
| Zoning By-Law Amendment | | |
| Official Plan Amendment | | |
| Consent | | |
| Subdivision | | |
| Other: | | |
| <input checked="" type="checkbox"/> There have been no previous Planning Act applications affecting the subject lands | | |

| 8.10 Potential Land Use Constraints: | On Subject Lands | On Adjacent Lands Within | No |
|--|-------------------------------------|-----------------------------------|-------------------------------------|
| Agricultural Operation including Livestock Facility or Stockyard (If Yes, MDS info must be submitted) | <input type="checkbox"/> | <input type="checkbox"/> 1000m | <input checked="" type="checkbox"/> |
| Waste Management Site or Landfill | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Sewage Treatment Plant or Waste Stabilization | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Provincially Significant Wetland (PSW) | <input type="checkbox"/> | <input type="checkbox"/> 120m | <input checked="" type="checkbox"/> |
| Locally Significant Wetland (LSW) | <input type="checkbox"/> | <input type="checkbox"/> 50m | <input checked="" type="checkbox"/> |
| Area of Natural and Scientific Interest (ANSI) | <input type="checkbox"/> | <input type="checkbox"/> 50m | <input checked="" type="checkbox"/> |
| Flood Plain | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| Wellhead Protection (Village of Lansdowne) | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| James W. King Intake Protection Zone - St. Lawrence River - South of Gananoque (OP Schedule A6) | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| Licensed Mine, Pit or Quarry or an area designated for Aggregate Extraction | <input type="checkbox"/> | <input type="checkbox"/> 1000m | <input checked="" type="checkbox"/> |
| Rehabilitated Mine/Pit/Quarry Site? | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Industrial or Commercial Use, or Wrecking Yard | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Specify Use: _____ | | | |
| Active Railway Line | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Municipal or Federal Airport | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Provincial Highway 401 | <input type="checkbox"/> | <input type="checkbox"/> 250m | <input checked="" type="checkbox"/> |
| Utility Corridor(s) i.e. Power Lines, Hydro Easement | <input checked="" type="checkbox"/> | <input type="checkbox"/> 500m | <input type="checkbox"/> |
| i.e. Natural Gas or Oil Pipeline, etc. | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Gas Station – Currently or at Any Time | <input type="checkbox"/> | <input type="checkbox"/> Adjacent | <input checked="" type="checkbox"/> |
| Lands suspected to be contaminated | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Has grading of the subject land been changed by adding earth or other material(s)? | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| Designated Heritage Building/Site | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| 8.11 Additional information that may be relevant to the review of the application: | | | |
| Please see Planning Justification Report. | | | |
| We really tried to be compliant and place the shed in a location that was no closer to the water than any other existing structure on the property in a location that was safe, stable and practical while remaining accessible to water access only cottage that sits on a large, but very narrow property with much surrounding water in two separate bays that makes the majority of useful places close to the water. Alternatively the only location that would be compliant with 30m setback would lie on elevated, unstable rock or on the far side of hydro easement, nearly 100m from any indoor or outdoor living space. | | | |
| <input checked="" type="checkbox"/> Provided on a Separate Sheet - Please see Planning Justification Report | | | |

9. REQUIRED PLANS

9.1 A detailed sketch in metric has been attached with the required ☒ Yes ☐ No information as noted in Section 9.2.

All required site plan drawings, elevations, cross-sections, ☒ Yes ☐ No grading, drainage, etc. along with the required information as noted in Section 9.3.

9.2 Sketch Requirements

For minor variance, a detailed sketch **is required**. The sketch must include:

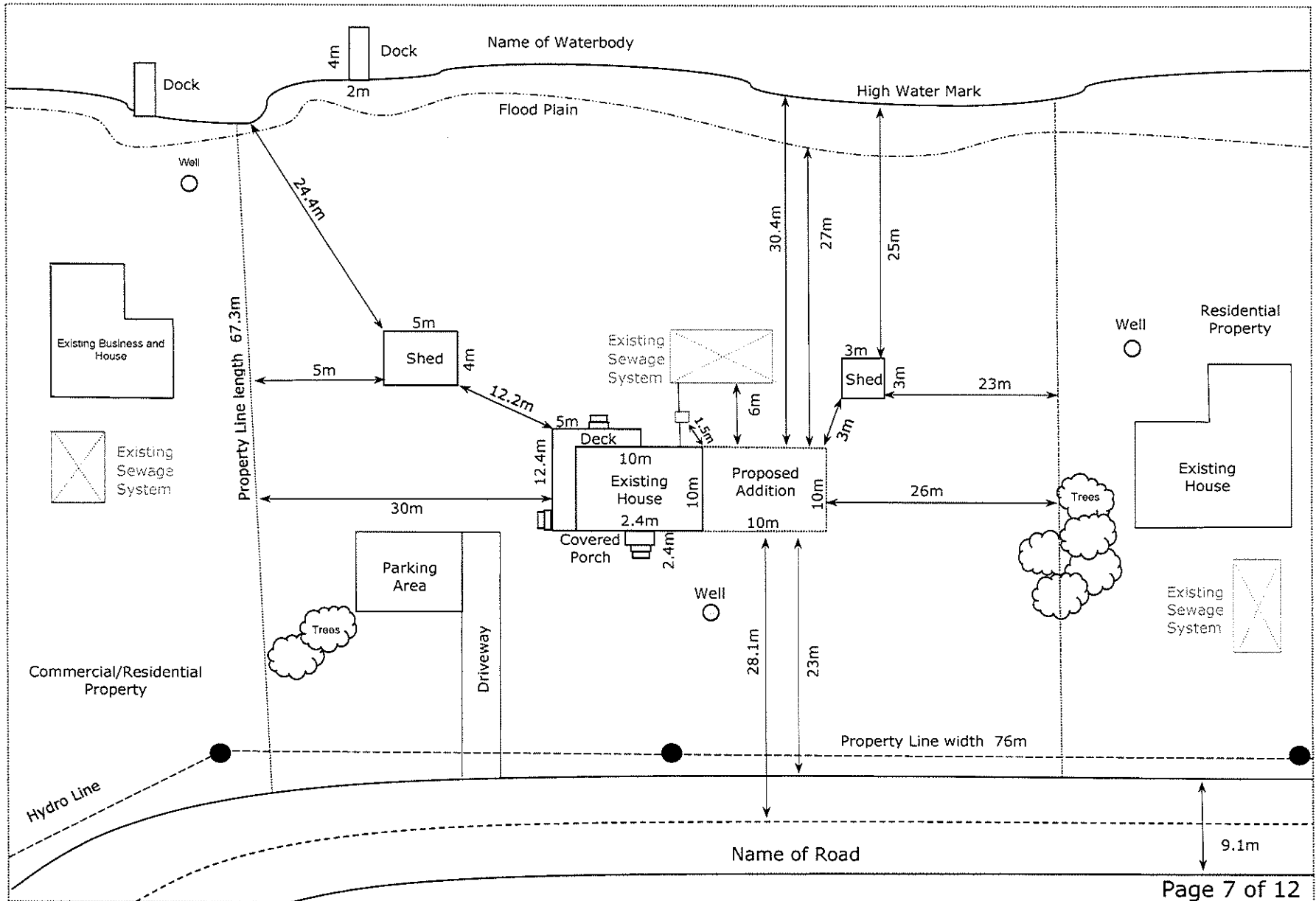
- (a) The boundaries and dimensions of the subject land.
- (b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating their distance from the front lot line, rear lot line and side lot line.
- (c) The approximate location of all natural and artificial features (for example, buildings, railways, roads, watercourses, flood plains drainage, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that:
 - (i) Are located on the subject land and on land that is adjacent to it, and
 - (ii) In the applicant's opinion, may affect the application.
- (d) The current uses of land that is adjacent to the subject land.
- (e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.
- (f) If access to the subject land will be by water only, the location of the parking and docking facilities to be used; and
- (g) The location and nature of any easement affecting the subject land.

9.3 Site Plan Requirements

In addition to Section 9.2, for site plan applications, drawings showing plan, elevation and cross-section views for each building to be erected, except a building to be used for residential purposes containing fewer than 25 dwelling units which drawings are sufficient to display,

- (a) The massing and conceptual design of the proposed building;
- (b) The relationship of the proposed building to adjacent buildings, streets and exterior areas to which members of the public have access;
- (c) The provision of interior walkways, stairs, elevators and escalators to which members of the public have access from streets, open spaces and interior walkways in adjacent buildings;
- (d) Matters relating to exterior design, including without limitation the character, scale, appearance and design features of buildings, and their sustainable design, but only to the extent that it is a matter of exterior design
- (d.1) Matters relating to exterior access to each building that will contain affordable housing units or to any part of such building, but only to the extent that it is a matter of exterior design;
- (e) the sustainable design elements on any adjoining highway under a municipality's jurisdiction, including without limitation trees, shrubs, hedges, plantings or other ground cover, permeable paving materials, street furniture, curb ramps, waste and recycling containers and bicycle parking facilities; and
- (f) facilities designed to have regard for accessibility for persons with disabilities.

9.3 SAMPLE SKETCH – Measurements, setbacks for all structures must be transcribed onto Sections 10 and 11.



10. EXISTING STRUCTURES & SETBACKS ON SUBJECT LAND (Indicate any to be demolished)**10.1 Existing Structures in metres. Include all structures on subject land, including marine facilities and structures under 10 square metres.**

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Stories | Dimensions | | | Year Built |
|-------------------|----------------------|------------------|-------------------|------------|-------|--------|------------|
| | | | | Length | Width | Height | |
| Cottage | 103.7 m ² | | 1 | 12.2 m | 8.5 m | 3.9 m | 1972 |
| old shed | 2.9 m ² | | 1 | 1.8m | 1.6m | 2.1m | unknown |
| Deck | 50.7 m ² | | 1 | 13.7 m | 3.7 m | | unknown |
| boat port | 103.7 m ² | | 1 | 12.2m | 8.5 m | | unknown |
| fixed dock | 52.4 m ² | | 1 | 10.7m | 4.9m | | unknown |
| floating dock | 29.3 m ² | | 1 | 12.2m | 2.4m | | unknown |
| | | | | | | | |

10.2 Setbacks of Existing Structures to property boundaries, shoreline, etc. in metres

| Type of Structure | Front | Side | Side | Rear | Water | Flood Plain | Public Road (center) | Right of Way (edge) | Other |
|-------------------|-------|------|------|------|-------|-------------|----------------------|---------------------|-------|
| Cottage | 11m | 46m | 85m | 174m | 11m | | | | |
| old shed | 4.6m | 21m | 101m | 180m | 4.6m | | | | |
| Deck | 6.7m | 41m | 85 m | 178m | 6.7m | | | | |
| boat port | 0m | 13m | 88m | 195m | 0m | | | | |
| fixed dock | 0m | 24m | 61m | 197m | 0m | | | | |
| floating dock | 0m | 32m | 55m | 190m | 0m | | | | |
| | | | | | | | | | |

10.3 Existing Parking & Loading Spaces boat access only

Existing Number of Standard Parking Spaces:

Existing Number of Barrier Free Parking Spaces:

Existing Number of Loading Spaces:

11. PROPOSED STRUCTURES & SETBACKS ON SUBJECT LAND (Indicate any to be demolished)**11.1** Proposed Development (**if any**) in square metres, metres

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Stories | Dimensions | | | Year Built |
|-------------------|-------------------|------------------|-------------------|------------|-------|--------|------------|
| | | | | Length | Width | Height | |
| shed | 14.85 m2 | 14.85 m2 | 1 | 4.5 m | 3.3 m | 3.6 m | 2024 |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
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| | | | | | | | |
| | | | | | | | |

11.2 Setbacks of Proposed Structures to property boundaries, shoreline, etc. in metres

| Type of Structure | Front | Side | Side | Rear | Water | Flood Plain | Public Road (center) | Right of Way (edge) | Other |
|-------------------|-------|------|------|------|-------|-------------|----------------------|---------------------|-------|
| shed | 17.4m | 32m | 96m | 168m | 17.4m | | | | |
| | | | | | | | | | |
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| | | | | | | | | | |

11.3 Proposed Parking & Loading Spaces

boat access only

Proposed Number of Standard Parking Spaces: 0

Proposed Number of Barrier Free Parking Spaces: 0

Proposed Number of Loading Spaces: 0

12. MINOR VARIANCE INFORMATION**12.1 Description of Proposal**

Please see planning justification report. We built an accessory structure for storage conveniently located a functional distance from the existing cottage structure, but farther back from the water than any current structure on the property. We are seeking relief of 12.6 m as the only functional location for our project lies within the 30 m setback.

12.2 Variance Requested from Zoning By-Law:

| Section | Zone Requirement | Proposed Standard | Variance Required |
|---------|--|---|--|
| 3.32(b) | Where any lot is adjacent to a waterbody or watercourse, any building, structure, campsite, agricultural use that includes the keeping of livestock, and septic disposal system shall be set back a minimum of 30.0 metres (98.43 ft.) from the high water mark. | To construct within the 30m setback of the high water mark. | seeking relief for 12.6 m. Proposed accessory structure is 17.4 m from water |

12.3 Why is it not possible to comply with the provisions of the Zoning By-Law?

Please see Planning Justification Report. The shed is to be located 17.4m from the water, at an elevation greater than 7m above water level. The location was chosen behind / farther from the water, than the existing cottage, but still within an accessible distance for ease of use for storage. Furthermore, finding an acceptable site location was challenging due to the uneven, sloped and rocky terrain, while maintaining a location between the cottage and the existing hydro easement, to ensure the shed remained practical and accessible. The property may be large in area, but is quite long, narrow with multiple water bays and has a small essential usable area once the exiting structures and undulating shoreline with surrounding water frontage is considered. A location for the shed accessory structure that was both compliant with setback requirements and allowed for practical use does not exist.

13. AUTHORIZATIONS & PERMISSION TO ENTER

All Registered Owner(s) must complete the following to authorize the applicant/agent to make the application on their behalf (if Owner is NOT the applicant) and/or to permit Council, Committees of Council, Township Staff or authorized agents to enter the subject property to conduct site inspections related to this application. If multiple owners, an authorization letter from each owner is required.

I/We Lindsay Bolton & Craig Bolton

(name(s) of owner(s) or company)


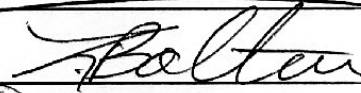
being the registered owner(s) of the subject property of this application:

- ☐ Hereby authorize the following person(s) to act as our agent to prepare, submit the application and pay any associated fees on my/our behalf (if applicable):

(Name of Applicant(s)/Authorized Agent(s))

- ☒ Hereby authorize Council, Committees of Council, and Township Staff or authorized agents to enter the subject property without notice to conduct site inspections related to this application.
- ☒ Agree to ensure that any driveway/lanes are accessible during the circulation period of the application so that Committee members, Township staff and other agencies do not have any barriers blocking access to the subject land. Island properties will require a boat ride, which is to be provided by the owner/agent. If applicable, Township Staff will make arrangements for the most suitable date and time.
- ☒ Agree to post any required signage on site, which is prepared by Township Staff, with respect to this application in the requested timeframe of the Planning Act and upon notification by Township Staff. I/We also agree to provide photographic evidence of the posted sign at the request of Township Staff.
- ☒ Agree to stake the area of any proposed construction a minimum of 1 week prior to the hearing/meeting date of your application.
- ☒ Have included the written approval of all surveyors, designers, etc. that designed any documents, plot plans etc. to allow the Township to use their plan(s) in the notice or hearing and other documents which are viewable by the public.
- ☒ Hereby acknowledge and provide my consent, in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, that the information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Signature(s):

Date:

~~Feb~~ ^(C2) March 3, 2025

14. AGREEMENT TO INDEMNIFY & STATUTORY DECLARATION

I/We, Craig Bolton
(name of owner, applicant or authorized agent)

Of the Ameliasburg
(name of Municipality)

In the Prince Edward County
(name of County)

Hereby agree to indemnify and save harmless The Corporation of the Township of Leeds and Thousand Islands (the "Municipality") from all costs and expenses that the Municipality may incur in connection with the processing of the applicant's application for approval under the Planning Act.

Without limiting the foregoing, such costs and expenses will include all legal, engineering, planning, advertising and consulting fees and charges incurred or payable by the Municipality to process the application together with all costs and expenses arising from or incurred in connection with the Municipality being required, or requested by the applicant, to appear at the hearing of any appeal to the Local Planning Appeal Tribunal from any decision of the Council approving the applicant's application.

I/We acknowledge and agree that if any amount owing to the Municipality in respect of the application is not paid when due, the Municipality will not be required to process or to continue processing the application, or to appear before the Local Planning Appeal Tribunal in support of a decision approving the application until the amount has been paid in full.

I/We further acknowledge and agree that any amount owing by the applicant to the Municipality is, when due, a debt of the applicant and the Municipality may, in addition to any other remedies available to it at law, recover the amount owing together with interest from the applicant by action.

I/We solemnly declare that all of the above statements contained herein and all exhibits transmitted herewith including this application and any required document attached hereto are true, and I/We make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Signature(s): [Signature]

Declared before me at the: Township of Leeds and the 1000 Islands
(name of municipality)

in the United Counties of Leeds and Grenville
(name of County)

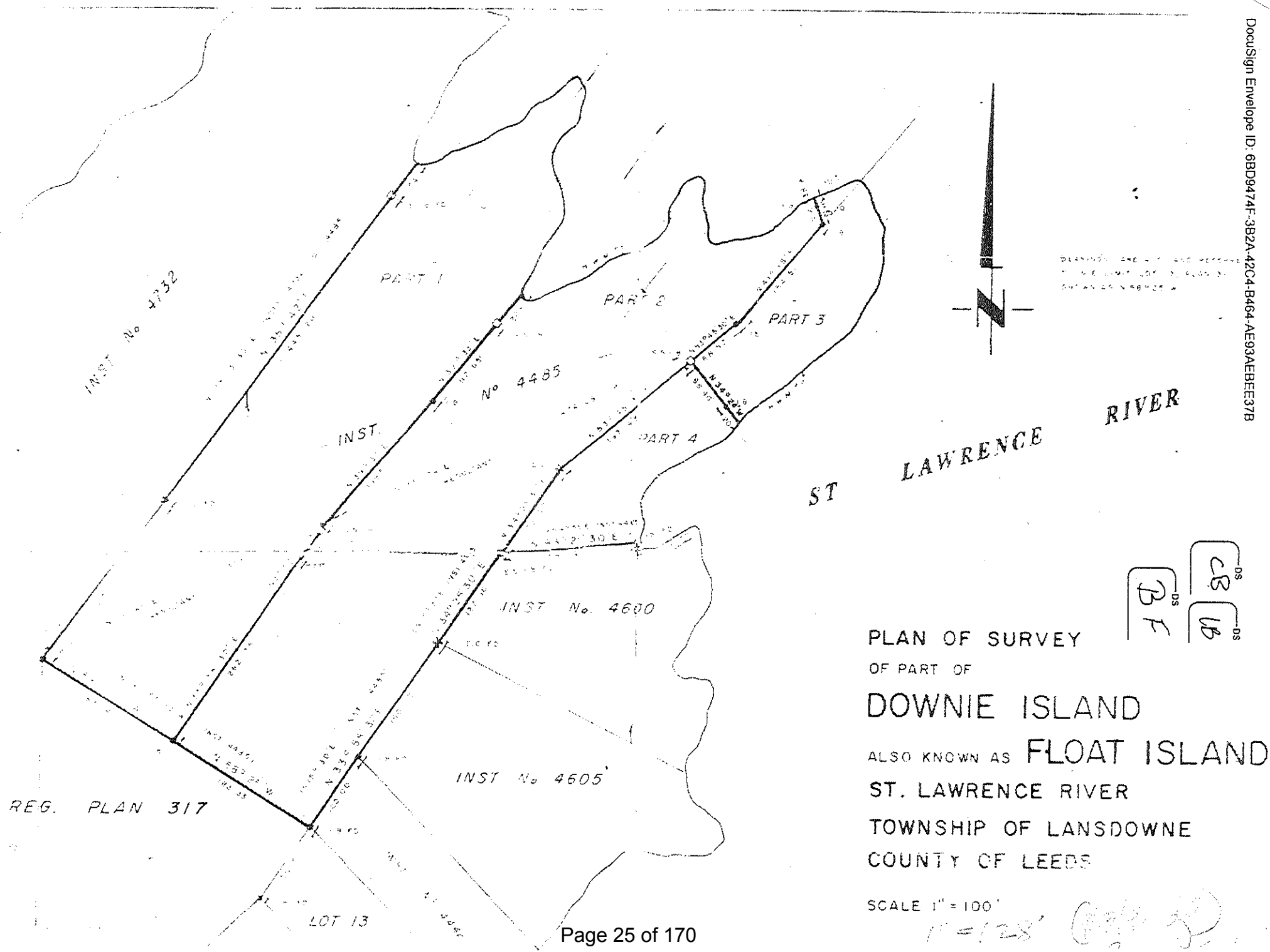
This 3rd day of March, 2025.

[Signature]
Signature of Commissioner of Oaths, etc.

AMANDA ZORA WERNER-MACKELER,
a Commissioner, etc., Province of Ontario,
the Corporation of the Township of Leeds
and the Thousand Islands.
Expires August 18, 2025.

(Official Stamp of Commissioner of Oaths)





Planning Justification Report for Minor Variance Application 208 Downie Island, Township of Leeds and the Thousand Islands

Subject: Minor Variance Application for Proposed Accessory Structure within the 30m Waterway Setback

Property Address: 208 Downie Island

Application Number: D00-2023-075

Roll Number: 0812812025496000000

Application Overview

This report provides a comprehensive planning justification in support of a minor variance application for the construction of an accessory structure (shed) at 208 Downie Island. The shed is proposed to be set back 17.4 meters from the high-water mark of the St. Lawrence River, which is non-compliant with the 30-meter setback requirement stipulated in Section 3.32(b) of the Township Zoning By-Law 07-079. The property is zoned Island Residential (IR) with the surrounding area designated as "Rural" in the Official Plan. The proposed shed will be a storage structure with an area of less than 15 square meters and will be located on a level, well-elevated site, positioned farther back from the water than the existing cottage structure.

1. Site Context and Existing Conditions

The property at 208 Downie Island is located adjacent to the St. Lawrence River and is subject to the Island Residential zoning under Township Zoning By-Law 07-079. The property features a significant portion of land that lies outside of the 30-meter waterway setback, which would typically allow for the potential relocation of the shed to a compliant location. However, the site's steep topography, uneven terrain, and the presence of a hydro easement restrict the possibility of moving the structure farther back into the property, where it would be rendered essentially unusable due to its remoteness from the existing cottage and waterfront access.

The proposed shed location is strategically chosen to be situated farther from the water than the existing cottage, in a level area that is well elevated from the high-water mark. This location provides accessibility to the shed while maintaining proximity to the existing primary dwelling, the water only access while it minimizes disturbance to the natural landscape.

2. Site Constraints and Challenges for Relocation

While there is land available outside of the 30-meter setback, relocating the shed to this area is not a feasible option due to the following constraints:

- **Steep Topography and Uneven Terrain**
The property's uneven terrain and steep slopes would make relocating the structure deeper into the property both impractical and inefficient, resulting in a location that is remote and inconvenient for use. The further back relocation would render the shed practically inaccessible from the current primary dwelling and waterfront recreational access structures.
- **Hydro Easement**
A hydro easement runs across the property, which limits structures in that area. This further limits the ability to shift the shed further inland without conflicting with the easement or rendering the shed remote to regular usage.

Given these challenges, the proposed location closer to the existing structures and further from the water remains the most suitable and functional site for the shed.

3. Provincial Policy Statement (PPS)

The Provincial Policy Statement (PPS) 2020, issued under the Planning Act, provides guidelines to ensure sustainable land use planning. Relevant policies that support the minor variance application include:

- **4.1 – Natural Heritage**
The PPS stresses the need to protect natural heritage features and their functions. The proposed accessory structure is situated in an area that minimizes disturbance to natural features, as it is set back from the water, behind the current cottage and not within sensitive environmental areas. Its location on a well-elevated, level site ensures minimal impact on the surrounding natural landscape
- **4.2 – Water**
Development near waterbodies must avoid negative impacts on water quality and water resources. The proposed structure will not introduce any adverse impacts on water quality, as it is a small, low-impact storage shed, with no plumbing or sewage systems. Its location will have no impact on surface water or ground water features.
- **2.1 (6) - Planning for People and Homes**
“Planning authorities should support the achievement of complete communities by ... improving accessibility for people of all ages and abilities by addressing land use barriers which restrict their full participation in society and improving social equity and overall quality of life for people of all ages and abilities.” While the location of the accessory structure is not outside the 30m setback, a minor variance has been requested, as it has been placed within a reasonable distance from the existing main cottage structure to allow reasonable access and use for aging family members with declining mobility to maintain access to shed storage facility.

4. Township Official Plan (OP)

The Township's Official Plan designates the property as "Rural," with additional special policies regarding woodlands and the highly vulnerable aquifer. The following policies from the OP are relevant:

- **4.2 Accessory Uses, Buildings, or Structures**

The use of the accessory structure for storage is essential and should be permitted.

- **6.1.4.2 Waterfront Development**

The OP encourages responsible development in the waterfront areas to maintain or complements the character of the existing development and preserve the ecological and natural features of the lands, water, and shoreline. The proposed shed is designed to blend into the natural landscape and is positioned to minimize any environmental impact, consistent with the goals of the OP.

- **6.1.4.2 (3) Waterfront Development**

It is the intent of this Plan that new development in waterfront areas be directed to lands that are physically suitable for development in their natural state, in an effort to maintain the area's unique character. The shed has been placed in a natural level opening, without alteration of surface soil or alteration in rainwater drainage or natural elements.

- **6.1.4.2 (5) Waterfront Development**

It is understood that new development should generally be setback 30 metres if possible/feasible, otherwise as far back, with minimum disturbance of the native soils and very limited removal of the shoreline vegetation beyond that required for development. As outlined in the official plan, we have complied, while being unable to adhere to the proposed reduction to the 30 m minimum setback, we shall by a) being consistent with any applicable policies in the Provincial Policy Statement and related implementation guidelines; b) maximizing the setback through shed design and orientation whilst still keeping the accessory structure usable; and c) minimize disturbance to native soils with no disturbance at all to any shoreline vegetation in accordance with other policies of this Plan.

- **6.1.4.2 (8) Waterfront Development**

The placement of the accessory structures within the 30 m water setback is supported by the Official Plan where a) They are a reasonable size for the intended use; and b) Suitable methods to minimize negative impacts on surface water, riparian lands, and the littoral zone are incorporated into the design of the development. The structure has been placed with minimal disruption and no negative impact on surface water. It is of reasonable size, less than 15 square metres in size, and is exempt from the requirement for a building permit.

- **5.2 – Environmental Protection**

The OP stresses that development should not disturb sensitive areas, particularly near watercourses. The proposed location of the shed, 17.4 meters from the water, is

appropriate given the size and function of the structure. No significant vegetation removal or disturbance to the environment is required. After pre-consultation with Cataraqui Conservation, it has been decided the structure meets the flooding and erosion hazard setbacks required under Ontario Regulation 41/24 and Conservation staff can issue a retroactive permit for the structure in its current location.

- The OP encourages maintaining setbacks to protect both the environment and public interest. While the proposed variance reduces the setback by 12.6 meters, this reduction is small and does not interfere with the overarching goals of the OP. The location of the shed ensures minor environmental impact and respects the intent of the waterfront development policy.

5. Zoning By-Law 07-079

As per Section 3.32(b) of Township Zoning By-Law 07-079, any building or structure located adjacent to a watercourse must be set back a minimum of 30 meters from the high-water mark. The proposed shed's location, 17.4 meters from the St. Lawrence River, does not meet this setback requirement and we are requesting relieve of 12.6 meters. Several factors support the granting of the minor variance:

- **Intent of the Setback**
The 30-meter setback is designed to protect the shoreline and water quality. The proposed shed is located on a site that is both well elevated (6.5m) from the water and distant from environmentally sensitive areas. The shed's minimal size and its non-intrusive design ensure that it does not interfere with the natural environment or the waterway.
- **Minor Variance Criteria**
The Township's Zoning By-Law allows for minor variances if the general intent of the by-law is maintained. The requested variance is small and its impact minor in nature with low-impact nature of the shed. There are no negative impacts on surrounding properties and the structure does not block views or access to the water.
- **Cataraqui Conservation**
Cataraqui Conservation has reviewed the application and confirmed that the proposed structure complies with the required flooding and erosion hazard setbacks under Ontario Regulation 41/24. This ensures that the proposed shed does not pose a risk of flooding or erosion, allowing Township staff to issue a retroactive permit for the structure in its current location.

6. Pre-Consultation and Agency Comments

A pre-consultation meeting (DRT-2023-075) was held with the Township Planning Department and relevant agencies. The following comments were received:

- **Township Planning Department:** The property is zoned Island Residential (IR), and the 30-meter setback requirement is noted under Section 3.32(b) of the Zoning By-Law. The proposed variance would reduce the setback by 12.6 meters, but the overall impact is deemed minor.
- **Township Building Department:** Provided the shed remains under 15 square meters and is used for storage, it is exempt from requiring a building permit. No objections were raised.
- **Cataraqui Conservation:** The structure meets the flooding and erosion hazard setbacks required under Ontario Regulation 41/24. Cataraqui Conservation staff have offered to issue a retroactive permit for the structure in its current location.

7. Planning Rationale and Justification

The proposed minor variance meets the criteria set out in Section 45 of the Planning Act, as it is:

1. **Minor:** The requested setback reduction is minimal and its impact is minor, not substantially affecting the intent of the Zoning By-Law.
2. **Desirable for appropriate development:** The location of the shed enhances the property's functionality, maintaining accessibility to the primary dwelling while minimizing environmental impact.
3. **Consistent with the Zoning By-Law:** The variance maintains the general intent of the Zoning By-Law by ensuring the shed remains a low-impact structure located in an elevated area, away from environmentally sensitive areas.
4. **Consistent with the Official Plan:** The proposed structure complies with the Official Plan policies that promote responsible development near waterbodies, balancing development needs with environmental protection.

8. Conclusion

In conclusion, the proposed minor variance for the accessory shed at 208 Downie Island is consistent with the relevant policies of the Provincial Policy Statement, Township Official Plan, and the Township Zoning By-Law. The variance is minor in nature and necessary due to site-specific constraints such as steep topography and a hydro easement. The shed will be set farther from the water than the existing cottage structure, is appropriately located on a level, accessible and elevated site and will not negatively impact the natural environment or surrounding properties.

We respectfully request that the Planning Staff of Township of Leeds and the Thousand Islands **approve** the minor variance application for the proposed shed, recognizing its minimal impact on the waterway and the environment.

Thank you.

Prepared By:
Craig Bolton, Applicant

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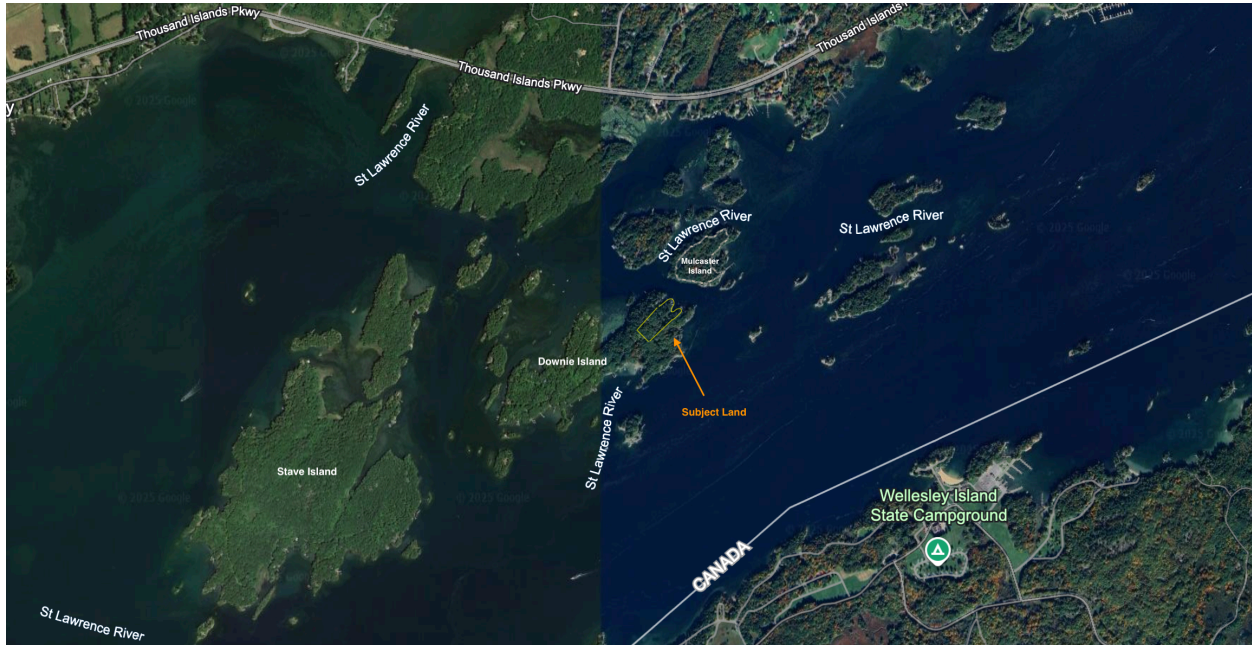


Figure 1.1 and 1.2 Location Map





Figure 2. Location of Accessory Structure (shed).



Figure 3. Accessory Structure Shed. Build in manner to blend with existing cottage structure style.



Figure 4. Accessory Structure located behind existing cottage structure & deck.

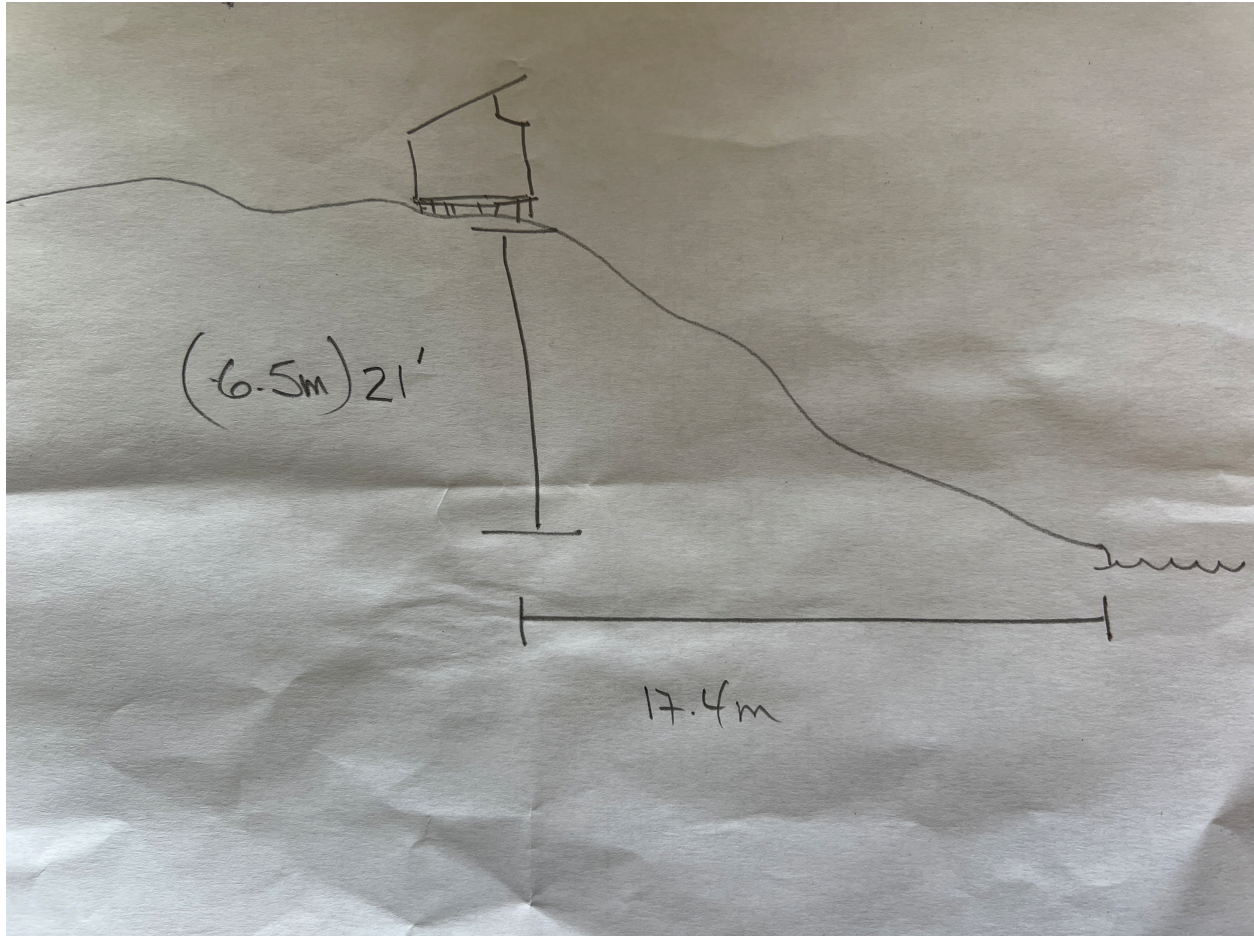


Figure 5. Elevation of Accessory structure (6.5m) above water.



Figure 5.1 Photo of Accessory Structure (6.5m) above water and blending into natural environment



Notice of Committee of Adjustment Hearing
Permission Application
(Section 45 of the Planning Act)

Date: Tuesday, April 29, 2025

Time: 1:00 pm

Location: 1233 Prince Street, Lansdowne, ON.

The hearing may be attended in person in the Council Chambers and virtually online/by phone through Zoom. Details on how to participate for both options are below.

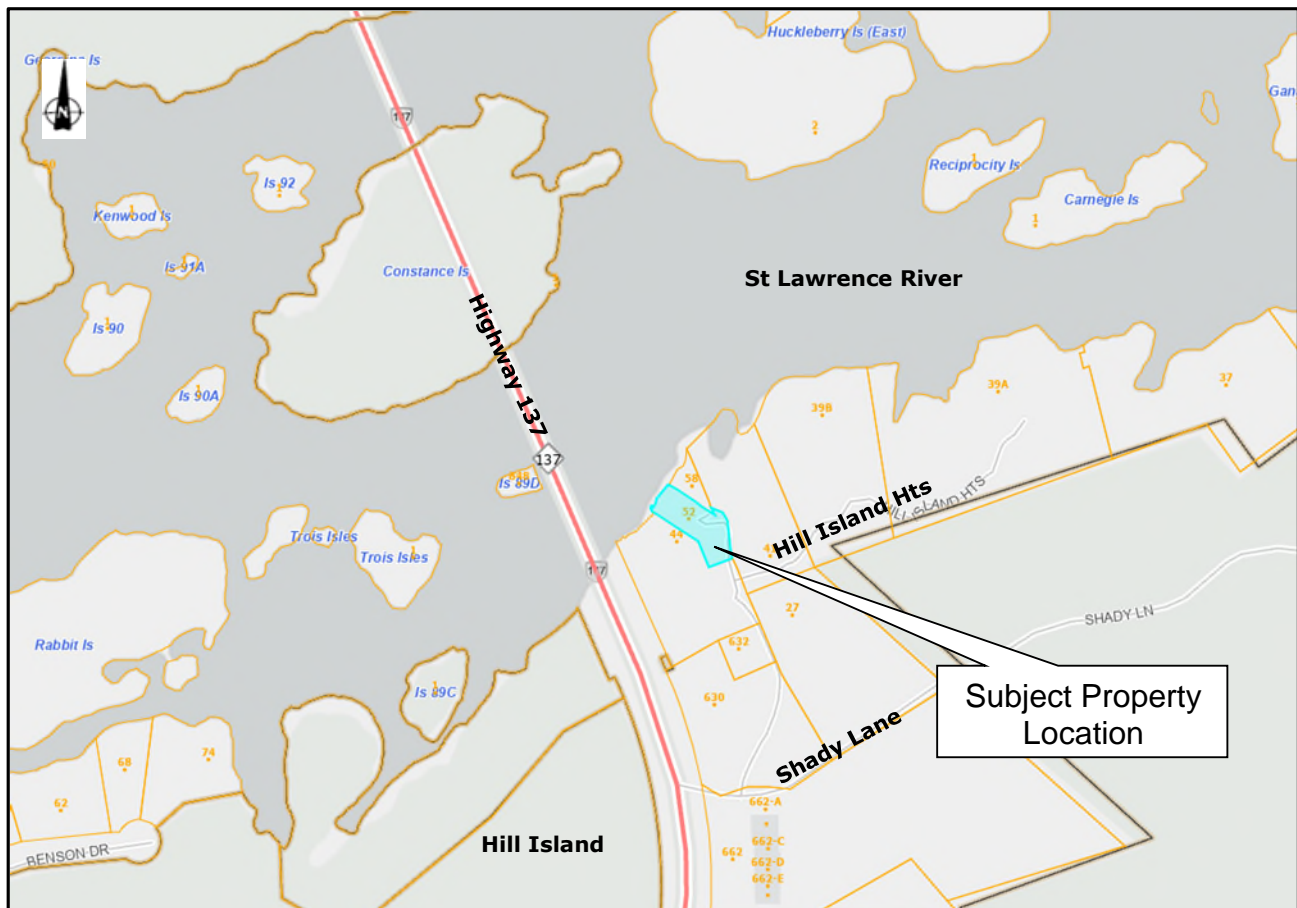
File Number: D13-2025-011

Applicant: Brad and Kerlyn Snelling

Agent: Not Applicable

Location: 52 Hill Island Hts

Ward: Ward 1 (Former Front of Leeds and Lansdowne)



Key Map: property subject to application for Permission shown in blue.

Purpose of Application

The application is requesting a permission to expand an uncovered deck that is attached to the existing dwelling. The existing dwelling and attached uncovered decking are legal non-complying with respect to the minimum 30 metre setback from the highwater mark of the St. Lawrence River and the minimum 30 metre front yard provision of the Island Residential zone of Township Zoning By-Law Number 07-079. The existing uncovered attached decking is 78 square metres. The proposed expansion is 14.4 square metres, bringing the total uncovered attached decking is 92.4 square metres. The entirety of the existing attached uncovered decking is proposed to be reconstructed with the 14.4 square metre expansion. The reconstructed and expanded decking is proposed to be cantilevered.

| Section | Provision | Existing Attached Uncovered Decking | Proposed Attached Uncovered Decking | Permission Requested |
|---------|---|--------------------------------------|--------------------------------------|---|
| - | Increase in size of legal non-complying structure | 78 square metres (839.6 square feet) | 14.4 square metres (155 square feet) | Total uncovered decking attached to existing dwelling: 92.4 square metres (994.6 square feet) |

How to Participate in the Hearing:

All comments received will become part of the public record. Comments can only be received in a written format or verbally in person/virtually. Staff are unable to accept verbal comments over the phone or in person outside of the hearing.

Anyone attending in person in the Council Chambers or virtually online/by phone through Zoom will be provided the opportunity to comment on an application. The ways to comment on an application are:

1. Written Comments – Email: planningtechnician@townshipleeds.on.ca
 Mail: Township of Leeds and the Thousand Islands
 Attention: Amanda Werner-Mackeler, Secretary-Treasurer
 1233 Prince St PO Box 280
 Lansdowne, ON K0E 1L0
2. In Person Attendance – In person attendance will be in the Council Chambers at the Township Office at 1233 Prince St, Lansdowne, ON.
3. Virtual/Phone Attendance – If you wish to attend virtually/by phone, you are required to register to be an attendee prior to the hearing. Once registered, you will receive a follow up email from the Clerk with the details to attend the hearing by computer or by phone. To register to attend the hearing virtually/by phone, please register online at:

https://us02web.zoom.us/webinar/register/WN_6QzIU3WFRuKSkVPQ2xde8w

If you have any issues registering online, please call 613-659-2415 x 203 before April 25, 2025 and indicate your name, phone number, email address and application you wish to speak to. Staff will register you for the hearing using your email address and you will receive a follow up email from the Clerk with the details on how to attend the hearing by computer or by phone.

Make Your Views Known

The Committee of Adjustment will make a decision on the application on the basis of information or evidence received before and during the hearing. This notice has been mailed to you, as required by the Planning Act.

You may express your support or opposition to the proposed permission by either attending the above virtual public hearing or sending a letter by mail, e-mail, or hand-delivery prior to the hearing date. Any correspondence received will become part of the public record. Only the applicant, a specified person, public body, and the registered owner of any land to which the Committee of Adjustment applies may appeal a decision to the Ontario Land Tribunal.

No specified person, public body or registered owner to which the decision would apply shall be added as a party to the hearing of the appeal unless, before the decision was made, the specified person, public body or registered owner of any land to which the decision applies made oral submissions at a statutory public meeting or written submissions to the Committee of Adjustment prior to the decision or, in the opinion of the Tribunal, there are reasonable grounds to add the specified person or public body as a party.

“Public body” and “specified person” are defined under Section 1(1) of the Planning Act.

Collection of Personal Information:

Personal information is collected in order to gather feedback and communicate with interested parties regarding this development proposal. This information is collected under the authority of the *Planning Act* and in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*. With the exception of e-mail addresses and telephone numbers, all information and comments will become part of the public record and will appear on the Township's website. Council and Committee meetings are broadcast live over the internet on YouTube. If you speak at the meeting your voice will be heard in the broadcast. Broadcasts are archived and continue to be publicly available.

View the Application File

Additional information concerning the Permission Application is available online at <https://www.leeds1000islands.ca/en/governing/council-and-committee-calendar.aspx> or by contacting Amanda Werner-Mackeler, CPT, Secretary-Treasurer, during regular office hours at 613-659-2415 x 203 or email planningtechnician@townshipleeds.on.ca.

Receive a copy of the Committee's Decision

The Committee of Adjustment will make a decision on the application at the meeting. To receive a copy of the Committee's decision, you must make a written request to the Committee of Adjustment c/o Township of Leeds and the Thousand Islands, 1233 Prince Street, P.O. Box 280, Lansdowne, Ontario, K0E 1L0 or email planningtechnician@townshipleeds.on.ca.

Accessibility Information

If you are a person with a disability and need Township of Leeds and the Thousand Islands information provided in another format, please contact the Clerk's office at 613-659-2415 x 231 or clerk@townshipleeds.on.ca.

Multi-Residential Unit Notification

If you have received this notice and you are the owner of land that contains seven or more residential units, please post this notice in a location that is visible to all of the residents.

For more information about this matter, contact Amanda Werner-Mackeler, CPT Secretary-Treasurer, at 613-659-2415 x 203 or email planningtechnician@townshipleeds.on.ca.

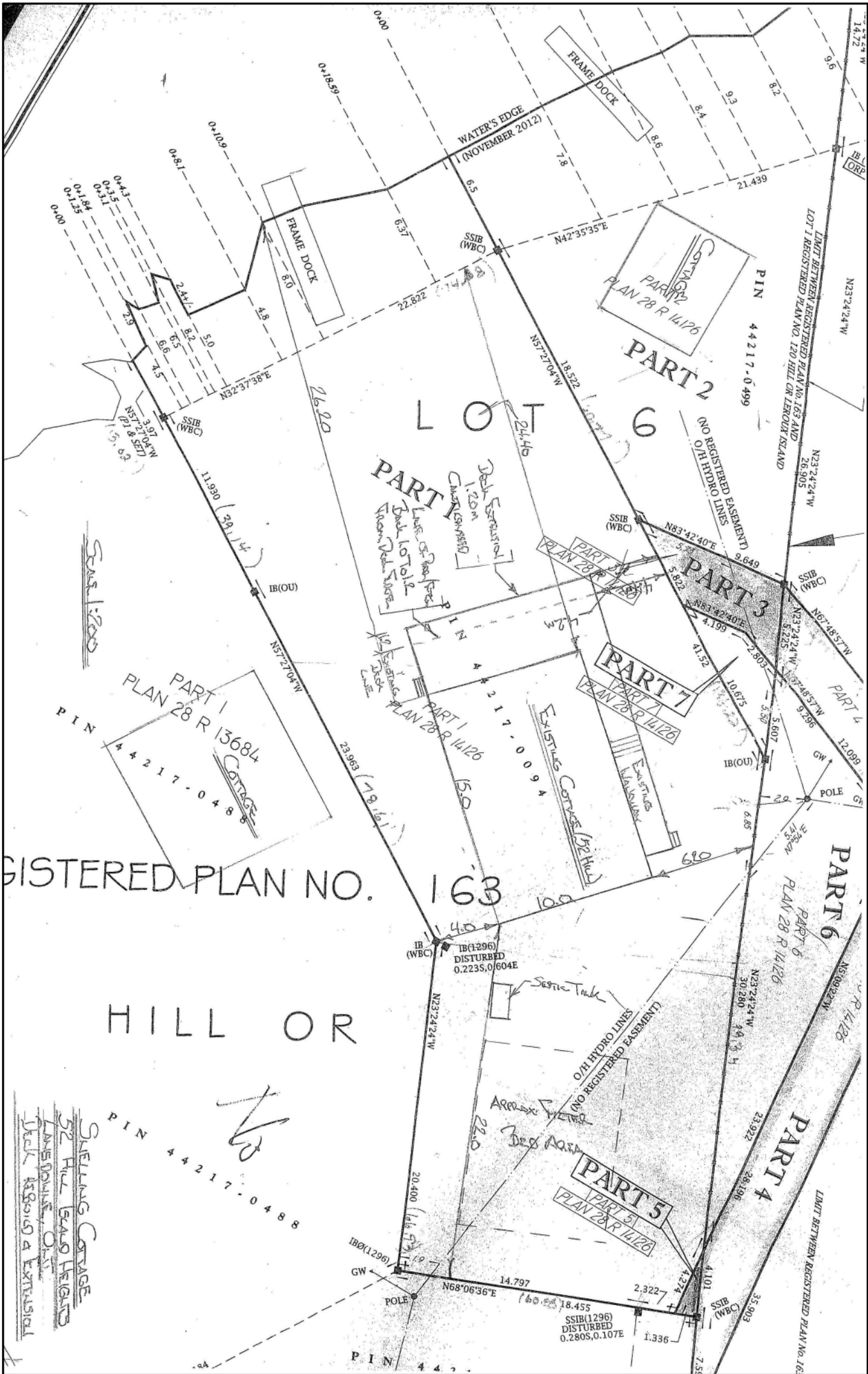
DATED at the Township of Leeds and the Thousand Islands on the 7th day of April, 2025.

Proposed Schedule A - Proposed Plot Plan

Permission Application: D13-2025-011

Owner: Brad and Kerlyn Snelling

Location: 52 Hill Island Hts





D. C. SNELLING LIMITED

General Contractors & Builders
Since 1958

March 3, 2025

Township of Leeds and the Thousand Islands
1233 Prince Street
Lansdowne, Ontario
K0E 1L0

Att: Lindsay Lambert, M.Pl., MCIP RPP, Senior Planner

Dear Ms. Lambert,

Re:- Minor Variance Permission - Deck Extension - 52 Hill Island Heights, Lansdowne, Ontario

Further to our recent meeting and emails please find enclosed herewith the following documentation: -

1. Development Application form duly completed.
2. Combination Survey/Site Plan indicating proposed deck extension and related setbacks.
3. Cheque in the amount of \$ 850.00 payable to T.L.T.I.
4. Cheque in the amount of \$ 445.00 payable to CRCA.

The current deck on the north (river) side of the cottage is only 10' - 0" wide which makes the room inadequate with furniture when entertaining guests. The plan is to extend the deck 4' - 0" on the north side only to provide additional space. The new deck will be cantilevered on the north side which will maximize the distance the piers will be from the river. The entire deck is to be rebuilt including supports and railings to improve current construction and bring to current O.B.C. requirements.

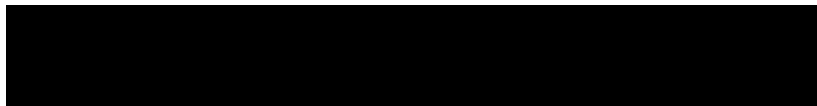
We trust that this submission will meet with your approval. However, should further explanation or clarification be required please do not hesitate to contact the undersigned.

Yours truly,

D. C. SNELLING LIMITED

B. C. Snelling, B.Tech., C.E.T., G.S.C.

BCS/bcs





Township of
**Leeds and the
Thousand Islands**

DEVELOPMENT APPLICATION

Section 22 (Official Plan Amendment), Section 34
(Zoning Amendment), Section 36 (Holding Zone
Removal), Section 41 (Site Plan Approval) of the
Planning Act

| OFFICE USE ONLY | | | |
|--|---|--|---|
| Application: | D13-2025-011 | Date Received: | March 3, 2025 |
| Roll Number: | 815-025-27900 | Deemed Complete: | April 3, 2025 |
| Application Fee: | \$850 | <input checked="" type="checkbox"/> Cheque | <input type="checkbox"/> Cash <input type="checkbox"/> Interac <input type="checkbox"/> N/A |
| Posting of Sign By: | <input checked="" type="checkbox"/> Owner | <input type="checkbox"/> Agent | <input type="checkbox"/> Staff (\$50 Fee) <input type="checkbox"/> Other |
| Posting of Sign Fee: | <input type="checkbox"/> Cheque | <input type="checkbox"/> Cash | <input type="checkbox"/> Interac <input checked="" type="checkbox"/> N/A |
| 1. APPLICATION TYPE (Check all that apply) | | | |
| <input checked="" type="checkbox"/> Zoning By-Law Amendment <input type="checkbox"/> Official Plan Amendment | | | |
| <input type="checkbox"/> Site Plan Agreement | | | |
| 2. PRE-CONSULTATION (Attach supporting documentation) | | | |
| <input type="checkbox"/> TLTI – Staff | | <input type="checkbox"/> Leeds, Grenville & Lanark Health Unit | |
| <input type="checkbox"/> CRCA | | <input type="checkbox"/> St. Lawrence Parks Commission | |
| <input type="checkbox"/> Other: | | | |
| 3. COMPLETE APPLICATION REQUIREMENTS | | | |
| <input checked="" type="checkbox"/> Complete Application Form | | | |
| <input type="checkbox"/> Authorization of Applicant (if applicable) | | | |
| <input type="checkbox"/> Affidavit signed by a Commissioner of Oaths, Notary, etc. (Available at Office) | | | |
| <input type="checkbox"/> Township and other Agency (if applicable) Applications and Fees | | | |
| <input type="checkbox"/> Cover Letter and/or report | | | |
| <input type="checkbox"/> Survey Plan (if available) | | | |
| <input type="checkbox"/> Deed | | | |
| <input type="checkbox"/> Scaled Sketch with setbacks identified (1 hard copy (11x17 paper or less) and 1 digital copy) | | | |
| <input type="checkbox"/> Minimum Distance Separation Calculation Form (if applicable) | | | |
| <input type="checkbox"/> All Supporting Information identified through Pre-Consultation including DRT | | | |
| 4. SUBJECT LAND | | | |
| Assessment Roll Number: <u>0812812-0252700</u> | | | |
| Civic Address: <u>52 Hill Island Heights, Langdonville, Ont.</u> | | | |
| Legal Description (Concession, Lot, Part, Reference Plan numbers): <u>Part of Lot 6, Plan 163 Plan 28R 14272</u> | | | |
| Date subject land acquired by current owner: <u>May 26, 2017</u> | | | |

5. REGISTERED OWNER(S)

All owners must be included. If company, identify principals. A separate page may be submitted, if needed.

Name(s): BRAD & KERRIE SNELLING

Company Name (if applicable):

Mailing Address:

Phone (home):

Phone (cell):

Email Address:

6. APPLICANT INFORMATION

If an applicant is NOT the owner of the subject lands, written authorization from **all registered owner(s)** must be obtained stating that the agent is authorized to make the application (Section 14)

6.1 Is the applicant the same as the owner?

☒ Yes (same information as above)

☐ No (please fill out below **and** complete Section 14 – Agreement, Authorization and Declaration)

6.2 Name(s):

Company Name (if applicable):

Mailing Address:

Phone (home):

Phone (cell):

Phone (work):

Email Address:

7. SUBJECT LAND CHARACTERISTICS

7.1 Please list and describe any existing easements, right-of-ways or restrictive covenants that apply to the subject property (required to be shown on sketch)

SEE SITE PLAN.

7.2 Site Description: (briefly describe factors that may impact the proposed development, such as soil type and depth, lot configuration, steep slopes or low-lying areas, natural feature, etc.)

N/A. Deck Trees House Sit On Rock In Front Terrace Area.

| | | | |
|--|-------------------------------------|--------------------------|--------------------------|
| 7.3 Dimensions of Subject Land | | | |
| Total Lot Area: | 132 | hectares | 326 acres |
| Lot Depth: | 56.29 | metres | 184.64 feet |
| Lot Width (frontage): | 22.822 | metres | 75 feet |
| 7.4 Road Access (include name) | | | |
| <input type="checkbox"/> Provincial Highway: _____ | | | |
| <input type="checkbox"/> County Road: _____ | | | |
| <input type="checkbox"/> Municipal Road: _____ | | | |
| <input checked="" type="checkbox"/> Private Right-of-Way: Hill Island Heights | | | |
| <input type="checkbox"/> Water Only: _____ | | | |
| 7.5 If access to the subject land is by water only, provide details of parking and docking facilities to be used and the approximate distance of these from the subject land and the nearest public road: | | | |
| N/A | | | |
| 7.6 Servicing – Water | Existing | Proposed | Not Applicable |
| Municipal Piped Water System | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Privately Owned and Operated Well | | | |
| <input type="checkbox"/> Dug | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> Drilled | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Communal | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Lake or Other Water Body: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Other: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 7.7 Servicing – Sewage | Existing | Proposed | Not Applicable |
| Municipal | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Privately-Owned | | | |
| <input checked="" type="checkbox"/> Individual Sanitary Sewage System | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Communal Sanitary Sewage System | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Composting/Self-Contained Toilet | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Privy | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Outhouse | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Other: (Specify) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 7.8 Servicing – Storm Drainage | Existing | Proposed | Not Applicable |
| Sewers | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Ditches | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Swales | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Other (Specify): Natural Controls | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

| | | |
|---|-------------------------------|-----------------------------|
| 8. OFFICIAL PLAN, ZONING BY-LAW AND LAND USE INFORMATION | | |
| 8.1 Official Plan Designation: <u>RESIDENTIAL RURAL WOODLANDS</u> <u>HIGHLY VULNERABLE AQUIFER</u> | | |
| 8.2 Special Policy Area: <input checked="" type="checkbox"/> 1000 Islands <input type="checkbox"/> Highly Sensitive Lake Trout Lake <input checked="" type="checkbox"/> No | | |
| 8.3 Zoning: <u>SEASONAL RESIDENTIAL</u> | | |
| 8.4 Is this a designated heritage property: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | |
| 8.5 Existing Use(s): (indicate uses and length of time uses have continued) <u>SUMMER COTTAGE</u> | | |
| 8.6 Proposed Use(s): <u>NO CHANGE</u> | | |
| 8.7 Existing Use on Adjacent Lands: | | |
| North: | — | South: <u>SEASONAL RES.</u> |
| East: <u>SEASONAL RES.</u> | West: | " " |
| 8.8 Previous Use(s): (indicate all previous land uses on the subject land or adjacent lands including any industrial or commercial use, or if there is suspected contamination. Note: When a property is being proposed for a more sensitive land than its current or most recent use, then a Record of Site Condition (RSC) per the Environmental Protection Act (EPA) is required prior to land use change. Please refer to Ontario Regulation 153/04 for list of uses that may require RSC.) <u>N/A</u> | | |
| 8.9 Indicate any current or previous application under the <i>Planning Act</i> affecting the subject land: | | |
| Application Type | File Number | File Status |
| Minor Variance | <u>APPLICATION A-2017-024</u> | |
| Site Plan Agreement | | |
| Zoning By-Law Amendment | | |
| Official Plan Amendment | | |
| Consent | | |
| Subdivision | | |
| Other: | | |
| <input type="checkbox"/> There have been no previous Planning Act applications affecting the subject lands | | |

[illegible]

9. REQUIRED PLANS

9.1 A detailed sketch in metric has been attached with the required information as noted in Section 9.2. ☒ Yes ☐ No

All required site plan drawings, elevations, cross-sections, grading, drainage, etc. along with the required information as noted in Section 9.3. ☐ Yes ☒ No

9.2 Sketch Requirements

For zoning and official plan amendment applications, a detailed sketch **is required**. The sketch must include:

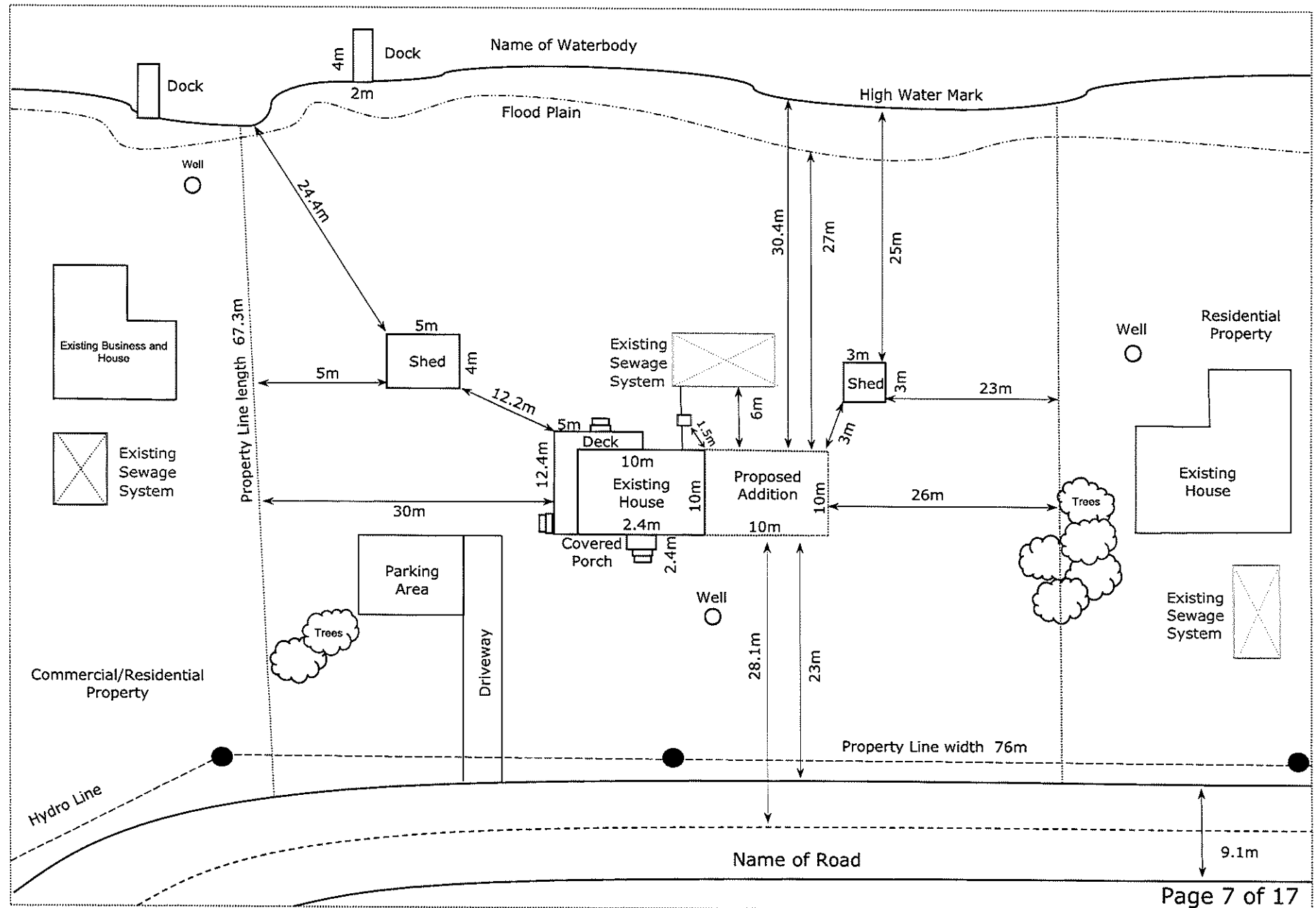
- (a) The boundaries and dimensions of the subject land.
- (b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating their distance from the front lot line, rear lot line and side lot line.
- (c) The approximate location of all natural and artificial features (for example, buildings, railways, roads, watercourses, flood plains drainage, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that:
 - (i) Are located on the subject land and on land that is adjacent to it, and
 - (ii) In the applicant's opinion, may affect the application.
- (d) The current uses of land that is adjacent to the subject land.
- (e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.
- (f) If access to the subject land will be by water only, the location of the parking and docking facilities to be used; and
- (g) The location and nature of any easement affecting the subject land.

9.3 Site Plan Requirements

In addition to Section 9.2, for site plan applications, drawings showing plan, elevation and cross-section views for each building to be erected, except a building to be used for residential purposes containing fewer than 25 dwelling units which drawings are sufficient to display,

- (a) The massing and conceptual design of the proposed building;
- (b) The relationship of the proposed building to adjacent buildings, streets and exterior areas to which members of the public have access;
- (c) The provision of interior walkways, stairs, elevators and escalators to which members of the public have access from streets, open spaces and interior walkways in adjacent buildings;
- (d) Matters relating to exterior design, including without limitation the character, scale, appearance and design features of buildings, and their sustainable design, but only to the extent that it is a matter of exterior design
- (d.1) Matters relating to exterior access to each building that will contain affordable housing units or to any part of such building, but only to the extent that it is a matter of exterior design;
- (e) the sustainable design elements on any adjoining highway under a municipality's jurisdiction, including without limitation trees, shrubs, hedges, plantings or other ground cover, permeable paving materials, street furniture, curb ramps, waste and recycling containers and bicycle parking facilities; and
- (f) facilities designed to have regard for accessibility for persons with disabilities.

9.3 SAMPLE SKETCH – Measurements, setbacks for all structures must be transcribed onto Sections 10 and 11.



10. EXISTING STRUCTURES & SETBACKS ON SUBJECT LAND (Indicate any to be demolished)**10.1 Existing Structures in metres. Include all structures on subject land, including marine facilities and structures under 10 square metres.**

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Stories | Dimensions | | | Year Built |
|-----------------------|-----------------------|------------------|-------------------|------------|-------|--------|------------|
| | | | | Length | Width | Height | |
| COTTAGE | 150.10 m ² | | 1 | 15.31 | 15.0 | 5.80 | 1982 |
| Deck | 36.08 m ² | | | 11.83 | 3.05 | 2.43 | 1982 |
| Deck | 65.12 | | | 21.35 | 3.05 | - | 2018 |
| Deck to be Demolished | | | | | | | |
| Walk Way (Paved) | 27.45 m ² | | | 15.00 | 1.53 | 2.14 | 1982 |

10.2 Setbacks of Existing Structures to property boundaries, shoreline, etc. in metres

| Type of Structure | Front | Side | Side | Rear | Water | Flood Plain | Public Road (center) | Right of Way (edge) | Other |
|-------------------|-------|------|------|------|-------|-------------|----------------------|---------------------|-------|
| COTTAGE | 24.40 | 4.0 | 6.20 | 22.0 | 30.45 | | | | |
| Deck | 21.36 | 4.40 | 8.00 | N/A | 27.40 | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
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| | | | | | | | | | |

10.3 Existing Parking & Loading Spaces 4

Existing Number of Standard Parking Spaces: N/A

Existing Number of Barrier Free Parking Spaces: N/A

Existing Number of Loading Spaces: N/A

11. PROPOSED STRUCTURES & SETBACKS ON SUBJECT LAND (Indicate any to be demolished)**11.1 Proposed Development (if any) in square metres, metres**

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Stories | Dimensions | | | Year Built |
|-------------------|----------------------|------------------|-------------------|------------|-------|--------|------------|
| | | | | Length | Width | Height | |
| Deck | 50.51 m ² | | | 4.27 | 11.83 | 2.14 | |
| Walk Way | 27.45 m ² | | | 15.00 | 1.83 | 2.14 | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |

11.2 Setbacks of Proposed Structures to property boundaries, shoreline, etc. in metres

| Type of Structure | Front | Side | Side | Rear | Water | Flood Plain | Public Road (center) | Right of Way (edge) | Other |
|-------------------|-------|------|------|-------|-------|-------------|----------------------|---------------------|-------|
| Deck | N/A | 4.20 | 7.20 | 24.40 | 26.20 | N/A | N/A | 4.20 | |
| | | | | | | | | | |
| | | | | | | | | | |
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11.3 Proposed Parking & Loading Spaces

Proposed Number of Standard Parking Spaces: N/A

Proposed Number of Barrier Free Parking Spaces: N/A

Proposed Number of Loading Spaces: N/A

12. MINOR VARIANCE INFORMATION**12.1** Description of Proposal

Extend Existing Deck 1.2m Towards River & Rebuild
Balcony of Deck.

12.2 Variance Requested from Zoning By-Law:

| Section | Zone Requirement | Proposed Standard | Variance Required |
|--|------------------|-------------------|-------------------|
| Expansion of Deck May- Concrete Deck | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

12.3 Why is it not possible to comply with the provisions of the Zoning By-Law?

Only Decking To High Deck.

13

14. AUTHORIZATION & PERMISSION TO ENTER

All Registered Owner(s) must complete the following to authorize the applicant/agent to make the application on their behalf (if Owner NOT the applicant) and/or to permit Council, Committees of Council, Township Staff or authorized agents to enter the subject property to conduct site inspections related to this application. If multiple owners, an authorization letter from each owner is required.

I/We

BRADFORD & KERRY SHELING

(name(s) of owner(s) or company)

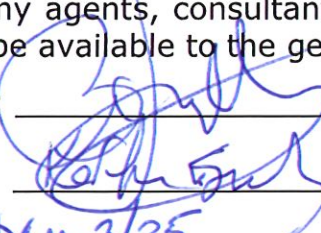
being the registered owner(s) of the subject property of this application:

- ☐ Hereby authorize the following person(s) to act as our agent to prepare, submit the application and pay any associated fees on my/our behalf (if applicable):

(Name of Applicant(s)/Authorized Agent(s))

- ☒ Hereby authorize Council, Committees of Council, and Township Staff or authorized agents to enter the subject property without notice to conduct site inspections related to this application.
- ☒ Agree to ensure that any driveway/lanes are accessible during the circulation period of the application so that Committee members, Township staff and other agencies do not have any barriers blocking access to the subject land. Island properties will require a boat ride, which is to be provided by the owner/agent. If applicable, Township Staff will make arrangements for the most suitable date and time.
- ☒ Agree to post any required signage on site, which is prepared by Township Staff, with respect to this application in the requested timeframe of the Planning Act and upon notification by Township Staff. I/We also agree to provide photographic evidence of the posted sign at the request of Township Staff.
- ☒ Agree to stake the area of any proposed construction a minimum of 15 days prior to the meeting date of your application.
- ☒ Have included the written approval of all surveyors, designers, etc. that designed any documents, plot plans etc. to allow the Township to use their plan(s) in the notice or hearing and other documents which are viewable by the public.
- ☒ Hereby acknowledge and provide my consent, in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, that the information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Signature(s):



Date:

Mar 3/25

14. AGREEMENT TO INDEMNIFY & STATUTORY DECLARATION

I/We, Bonifacio C. Salsedo
(name of owner, applicant or authorized agent)

Of the City of Brockville
(name of Municipality)

In the United Counties of Leeds & Grenville
(name of County)

Hereby agree to indemnify and save harmless The Corporation of the Township of Leeds and Thousand Islands (the "Municipality") from all costs and expenses that the Municipality may incur in connection with the processing of the applicant's application for approval under the Planning Act.

Without limiting the foregoing, such costs and expenses will include all legal, engineering, planning, advertising and consulting fees and charges incurred or payable by the Municipality to process the application together with all costs and expenses arising from or incurred in connection with the Municipality being required, or requested by the applicant, to appear at the hearing of any appeal to the Local Planning Appeal Tribunal from any decision of the Council approving the applicant's application.

I/We acknowledge and agree that if any amount owing to the Municipality in respect of the application is not paid when due, the Municipality will not be required to process or to continue processing the application, or to appear before the Local Planning Appeal Tribunal in support of a decision approving the application until the amount has been paid in full.

I/We further acknowledge and agree that any amount owing by the applicant to the Municipality is, when due, a debt of the applicant and the Municipality may, in addition to any other remedies available to it at law, recover the amount owing together with interest from the applicant by action.

I/We solemnly declare that all of the above statements contained herein and all exhibits transmitted herewith including this application and any required document attached hereto are true, and I/We make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Signature(s): [Signature]

Declared before me at the: Township of Leeds and the 1000 Islands
(name of municipality)

in the United Counties of Leeds and Grenville
(name of County)

This 3rd day of March, 2025.

[Signature]
Signature of Commissioner of Oaths, etc.

AMANDA ZORA WERNER-MACKELER,
a Commissioner, etc., Province of Ontario,
the Corporation of the Township of Leeds
and the Thousand Islands.
Expires August 18, 2025.

(Official Stamp of Commissioner of Oaths)



Township of
Leeds and the
Thousand Islands

Planning and Development Department
1233 Prince Street, P.O. Box 280
Lansdowne, ON K0E 1L0
Telephone: 613-659-2415; 866-220-2327
Fax: 613-659-3619
Email: planningtechnician@townshipleeds.on.ca

Notice of Committee of Adjustment Hearing
Minor Variance Application
(Section 45 of the Planning Act)

Date: Tuesday, April 29, 2025

Time: 1:00 pm

Location: 1233 Prince Street, Lansdowne, ON.

The hearing may be attended in person in the Council Chambers and virtually online/by phone through Zoom. Details on how to participate for both options are below.

File Number: D13-2025-012

Applicant: John and Catherine MacDonald

Agent: Precision Development Ltd (Dustin Kennedy)

Location: 33 Vanston Road

Ward: Ward 3 (Former Front of Escott)



Key Map: property subject to application for Minor Variance shown in blue.

Purpose of Application

The application is requesting variances to Township Zoning By-Law Number 07-079 to permit an accessory structure (hot tub) that is 9 square metres in size to be constructed on top of a concrete patio. The accessory structure is proposed to be located within the minimum required 30 metre setback from the high-water mark of the St. Lawrence River and the minimum required 30 metre front yard setback of the Shoreline Residential (RS) zone.

The following variances are requested:

| Section | Provision | Proposed Structures | Relief Requested |
|---------|---|----------------------------------|--------------------------------|
| 3.32(b) | Minimum setback required from a waterbody shall be 30m (98.43 ft) | Hot tub: 12.3 metres (40.3 feet) | Hot tub: 17.7 metres (58 feet) |
| 5.5(b) | Minimum front yard setback of the RS zone shall be 30m (98.43 ft) | Hot tub: 12.3 metres (40.3 feet) | Hot tub: 17.7 metres (58 feet) |

How to Participate in the Hearing:

All comments received will become part of the public record. Comments can only be received in a written format or verbally in person/virtually. Staff are unable to accept verbal comments over the phone or in person outside of the hearing.

Anyone attending in person in the Council Chambers or virtually online/by phone through Zoom will be provided the opportunity to comment on an application. The ways to comment on an application are:

- 1. Written Comments – Email: planningtechnician@townshipleeds.on.ca
Mail: Township of Leeds and the Thousand Islands
Attention: Amanda Werner-Mackeler, Secretary-Treasurer
1233 Prince St PO Box 280
Lansdowne, ON K0E 1L0
- 2. In Person Attendance – In person attendance will be in the Council Chambers at the Township Office at 1233 Prince St, Lansdowne, ON.
- 3. Virtual/Phone Attendance – If you wish to attend virtually/by phone, you are required to register to be an attendee prior to the hearing. Once registered, you will receive a follow up email from the Clerk with the details to attend the hearing by computer or by phone. To register to attend the hearing virtually/by phone, please register online at:

https://us02web.zoom.us/webinar/register/WN_6QzIU3WFRuKSkVPQ2xde8w

If you have any issues registering online, please call 613-659-2415 x 203 before April 25, 2025 and indicate your name, phone number, email address and application you wish to speak to. Staff will register you for the hearing using your email address and you will receive a follow up email from the Clerk with the details on how to attend the hearing by computer or by phone.

Make Your Views Known

The Committee of Adjustment will make a decision on the application on the basis of information or evidence received before and during the hearing. This notice has been mailed to you, as required by the Planning Act.

You may express your support or opposition to the proposed minor variance by either attending the above virtual public hearing or sending a letter by mail, e-mail, or hand-delivery prior to the hearing date. Any correspondence received will become part of the public record. Only the applicant, a specified person, public body, and the registered owner of any land to which the Committee of Adjustment applies may appeal a decision to the Ontario Land Tribunal.

No specified person, public body or registered owner to which the decision would apply shall be added as a party to the hearing of the appeal unless, before the decision was made, the specified person, public body or registered owner of any land to which the decision applies made oral submissions at a statutory public meeting or written submissions to the Committee of Adjustment prior to the decision or, in the opinion of the Tribunal, there are reasonable grounds to add the specified person or public body as a party.

“Public body” and “specified person” are defined under Section 1(1) of the Planning Act.

Collection of Personal Information:

Personal information is collected in order to gather feedback and communicate with interested parties regarding this development proposal. This information is collected under the authority of the *Planning Act* and in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*. With the exception of e-mail addresses and telephone numbers, all information and comments will become part of the public record and will appear on the Township's website. Council and Committee meetings are broadcast live over the internet on YouTube. If you speak at the meeting your voice will be heard in the broadcast. Broadcasts are archived and continue to be publicly available.

View the Application File

Additional information concerning the Minor Variance Application is available online at <https://www.leeds1000islands.ca/en/governing/council-and-committee-calendar.aspx> or by contacting Amanda Werner-Mackeler, CPT, Secretary-Treasurer, during regular office hours at 613-659-2415 x 203 or email planningtechnician@townshipleeds.on.ca.

Receive a copy of the Committee's Decision

The Committee of Adjustment will make a decision on the application at the meeting. To receive a copy of the Committee's decision, you must make a written request to the Committee of Adjustment c/o Township of Leeds and the Thousand Islands, 1233 Prince Street, P.O. Box 280, Lansdowne, Ontario, K0E 1L0 or email planningtechnician@townshipleeds.on.ca.

Accessibility Information

If you are a person with a disability and need Township of Leeds and the Thousand Islands information provided in another format, please contact the Clerk's office at 613-659-2415 x 231 or clerk@townshipleeds.on.ca.

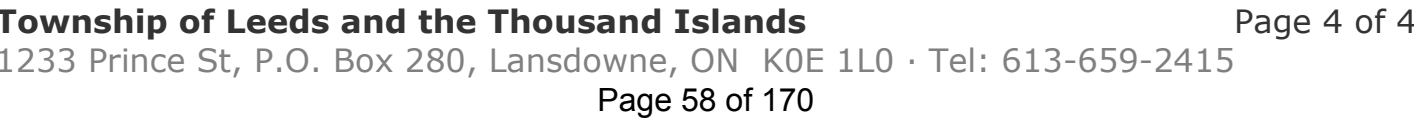
Multi-Residential Unit Notification

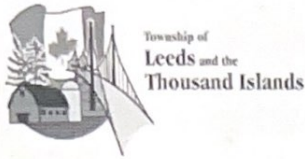
If you have received this notice and you are the owner of land that contains seven or more residential units, please post this notice in a location that is visible to all of the residents.

For more information about this matter, contact Amanda Werner-Mackeler, CPT Secretary-Treasurer, at 613-659-2415 x 203 or email planningtechnician@townshipleeds.on.ca.

DATED at the Township of Leeds and the Thousand Islands on the 7th day of April, 2025.

Location: 33 Vanston Rd





DEVELOPMENT APPLICATION
Section 41 (Site Plan Approval) and
Section 45 (Minor Variance) of the Planning Act

| OFFICE USE ONLY | | | |
|---|---------------------------------|--|---|
| Application: | D13-2025-012 | Date Received: | March 10, 2025 |
| Roll Number: | 809-010-49601 | Deemed Complete: | April 3, 2025 |
| Application Fee: | \$900 | <input checked="" type="checkbox"/> Cheque | <input type="checkbox"/> Cash <input type="checkbox"/> Interac <input type="checkbox"/> N/A |
| Posting of Sign By: | <input type="checkbox"/> Owner | <input type="checkbox"/> Agent | <input checked="" type="checkbox"/> Staff (\$50 Fee) <input type="checkbox"/> Other |
| Posting of Sign Fee: | <input type="checkbox"/> Cheque | <input type="checkbox"/> Cash | <input checked="" type="checkbox"/> Interac <input type="checkbox"/> N/A |
| 1. APPLICATION TYPE (Check all that apply) | | | |
| <input checked="" type="checkbox"/> Minor Variance Application | | | |
| <input type="checkbox"/> Site Plan Agreement | | | |
| 2. PRE-CONSULTATION (Attach supporting documentation) | | | |
| <input checked="" type="checkbox"/> TLTI – Staff | | <input type="checkbox"/> Leeds, Grenville & Lanark Health Unit | |
| <input type="checkbox"/> CRCA | | <input type="checkbox"/> St. Lawrence Parks Commission | |
| <input type="checkbox"/> Other: | | | |
| 3. COMPLETE APPLICATION REQUIREMENTS | | | |
| <input type="checkbox"/> Complete Application Form | | | |
| <input type="checkbox"/> Authorization of Applicant (if applicable) | | | |
| <input type="checkbox"/> Affidavit signed by a Commissioner of Oaths, Notary, etc. (Available at Office) | | | |
| <input type="checkbox"/> Township and other Agency (if applicable) Applications and Fees | | | |
| <input type="checkbox"/> Cover Letter and/or report | | | |
| <input type="checkbox"/> Survey Plan (if available) | | | |
| <input type="checkbox"/> Deed | | | |
| <input type="checkbox"/> Scaled Sketch as per Section 11 (1 hard copy (11x17 paper or less) or 1 digital copy) | | | |
| <input type="checkbox"/> Minimum Distance Separation Calculation Form (if applicable) | | | |
| <input type="checkbox"/> All Supporting Information identified through Pre-Consultation including DRT | | | |
| 4. SUBJECT LAND | | | |
| Assessment Roll Number: <u>809-010-49601</u> | | | |
| Civic Address: <u>33 VANSTON ROAD, MALLORETTOWN, ON. K0E 1R0</u> | | | |
| Legal Description (Concession, Lot, Part, Reference Plan numbers): <u>COUNTY OF LEEDS</u> <u>PART OF LOT 24, PLAN 28R-1861</u> | | | |
| Date subject land acquired by current owner: <u>2014</u> | | | |

5. REGISTERED OWNER(S)

All owners must be included. If company, identify principals. A separate page may be submitted, if needed.

Name(s): JOHN & CATHERINE MACDONALD

Company Name (if applicable):

Mailing Address:

Phone (home):

Phone (cell):

Email Address:

6. APPLICANT INFORMATION

If an applicant is NOT the owner of the subject lands, written authorization from **all registered owner(s)** must be obtained stating that the agent is authorized to make the application (Section 13)

6.1 Is the applicant the same as the owner?

☐ Yes (same information as above)

☒ No (please fill out below **and** complete Section 14 - Agreement, Authorization and Declaration)

6.2 Name(s): DUSTIN KENNEDY

Company Name (if applicable): PRECISION DEVELOPMENTS LTD

Mailing Address:

Phone (home):

Phone (cell):

Phone (work):

Email Address:

7. SUBJECT LAND CHARACTERISTICS

7.1 Please list and describe any existing easements, right-of-ways or restrictive covenants that apply to the subject property (required to be shown on sketch)

No known easements or right-of-ways. Refer to Plot Plan, Site Plan & Legal Survey.

7.2 Site Description: (briefly describe factors that may impact the proposed development, such as soil type and depth, lot configuration, steep slopes or low-lying areas, natural feature, etc.)

legal, non-conforming lot configuration. Hot tub proposed location within 30m. set back from water due to lot
septic location in front lawn North
Hot tub location in rear property South

7.3 Dimensions of Subject Land

Total Lot Area: Approx. 3000 sq.m. hectares acres
 Lot Depth: 64.56 metres feet
 Lot Width (frontage): 48.00 metres feet

7.4 Road Access (include name)

- ☐ Provincial Highway: _____
☐ County Road: _____
☒ Municipal Road: VANSTON ROAD
☐ Private Right-of-Way: _____
☐ Water Only: _____

7.5 If access to the subject land is by water only, provide details of parking and docking facilities to be used and the approximate distance of these from the subject land and the nearest public road:

N/A

7.6 Servicing – Water

Existing Proposed Not Applicable

Municipal Piped Water System ☐ ☐ ☒

Privately Owned and Operated Well

☐ Dug ☐ ☐ ☒

☒ Drilled ☒ ☐ ☐

☐ Communal ☐ ☐ ☒

Lake or Other Water Body: ☐ ☐ ☒

Other: ☐ ☐ ☒

7.7 Servicing – Sewage

Existing Proposed Not Applicable

Municipal ☐ ☐ ☒

Privately-Owned

☐ Individual Sanitary Sewage System ☒ ☐ ☐

☐ Communal Sanitary Sewage System ☐ ☐ ☐

☐ Composting/Self-Contained Toilet ☐ ☐ ☐

☐ Privy ☐ ☐ ☐

☐ Outhouse ☐ ☐ ☐

Other: (Specify) ☐ ☐ ☐

7.8 Servicing – Storm Drainage

Existing Proposed Not Applicable

Sewers ☐ ☐ ☒

Ditches ☐ ☐ ☒

Swales ☐ ☐ ☒

Other (Specify): _____ ☐ ☐ ☒

8. OFFICIAL PLAN, ZONING BY-LAW AND LAND USE INFORMATION

8.1 Official Plan Designation: *Rural, Flood Plain ? Highly Vulnerable Aquifer*

8.2 Special Policy Area: ☒ 1000 Islands ☐ Highly Sensitive Lake Trout Lake ☐ No

8.3 Zoning: *Shoreline Residential (RS)*

8.4 Is this a designated heritage property: ☐ Yes ☒ No

8.5 Existing Use(s): (indicate uses and length of time uses have continued)

Residential Home

8.6 Proposed Use(s):

Residential Home

8.7 Existing Use on Adjacent Lands:

North: *VANSTON ROAD*

South: *ST. LAWRENCE RIVER*

East: *RESIDENTIAL NEIGHBOUR*

West: *ST. LAWRENCE RIVER*

8.8 Previous Use(s): (indicate all previous land uses on the subject land or adjacent lands including any industrial or commercial use, or if there is suspected contamination)

Not Known

8.9 Indicate any current or previous application under the *Planning Act* affecting the subject land:

| Application Type | File Number | File Status |
|-------------------------|-------------|-------------|
| Minor Variance | | |
| Site Plan Agreement | | |
| Zoning By-Law Amendment | | |
| Official Plan Amendment | | |
| Consent | | |
| Subdivision | | |
| Other: | | |

☒ There have been no previous Planning Act applications affecting the subject lands

| 8.10 Potential Land Use Constraints: | On Subject Lands | On Adjacent Lands Within | No |
|---|--------------------------|-----------------------------------|-------------------------------------|
| Agricultural Operation including Livestock Facility or Stockyard (If Yes, MDS info must be submitted) | <input type="checkbox"/> | <input type="checkbox"/> 1000m | <input checked="" type="checkbox"/> |
| Waste Management Site or Landfill | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Sewage Treatment Plant or Waste Stabilization | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Provincially Significant Wetland (PSW) | <input type="checkbox"/> | <input type="checkbox"/> 120m | <input checked="" type="checkbox"/> |
| Locally Significant Wetland (LSW) | <input type="checkbox"/> | <input type="checkbox"/> 50m | <input checked="" type="checkbox"/> |
| Area of Natural and Scientific Interest (ANSI) | <input type="checkbox"/> | <input type="checkbox"/> 50m | <input checked="" type="checkbox"/> |
| Flood Plain | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| Wellhead Protection (Village of Lansdowne) | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| James W. King Intake Protection Zone - St. Lawrence River - South of Gananoque (OP Schedule A6) | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| Licensed Mine, Pit or Quarry or an area designated for Aggregate Extraction | <input type="checkbox"/> | <input type="checkbox"/> 1000m | <input checked="" type="checkbox"/> |
| Rehabilitated Mine/Pit/Quarry Site? | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Industrial or Commercial Use, or Wrecking Yard Specify Use: _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Active Railway Line | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Municipal or Federal Airport | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Provincial Highway 401 | <input type="checkbox"/> | <input type="checkbox"/> 250m | <input checked="" type="checkbox"/> |
| Utility Corridor(s) i.e. Power Lines, Hydro Easement | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| i.e. Natural Gas or Oil Pipeline, etc. | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Gas Station - Currently or at Any Time | <input type="checkbox"/> | <input type="checkbox"/> Adjacent | <input checked="" type="checkbox"/> |
| Lands suspected to be contaminated | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Has grading of the subject land been changed by adding earth or other material(s)? | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| Designated Heritage Building/Site | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |

8.11 Additional information that may be relevant to the review of the application:

*Proposed hot tub location is within 30m. of water edge
due to legal non-centering lot configuration of dwelling.*

☐ Provided on a Separate Sheet

9. REQUIRED PLANS

9.1 A detailed sketch in metric has been attached with the required information as noted in Section 9.2. ☒ Yes ☐ No

All required site plan drawings, elevations, cross-sections, grading, drainage, etc. along with the required information as noted in Section 9.3. ☒ Yes ☐ No

9.2 Sketch Requirements

For minor variance, a detailed sketch **is required**. The sketch must include:

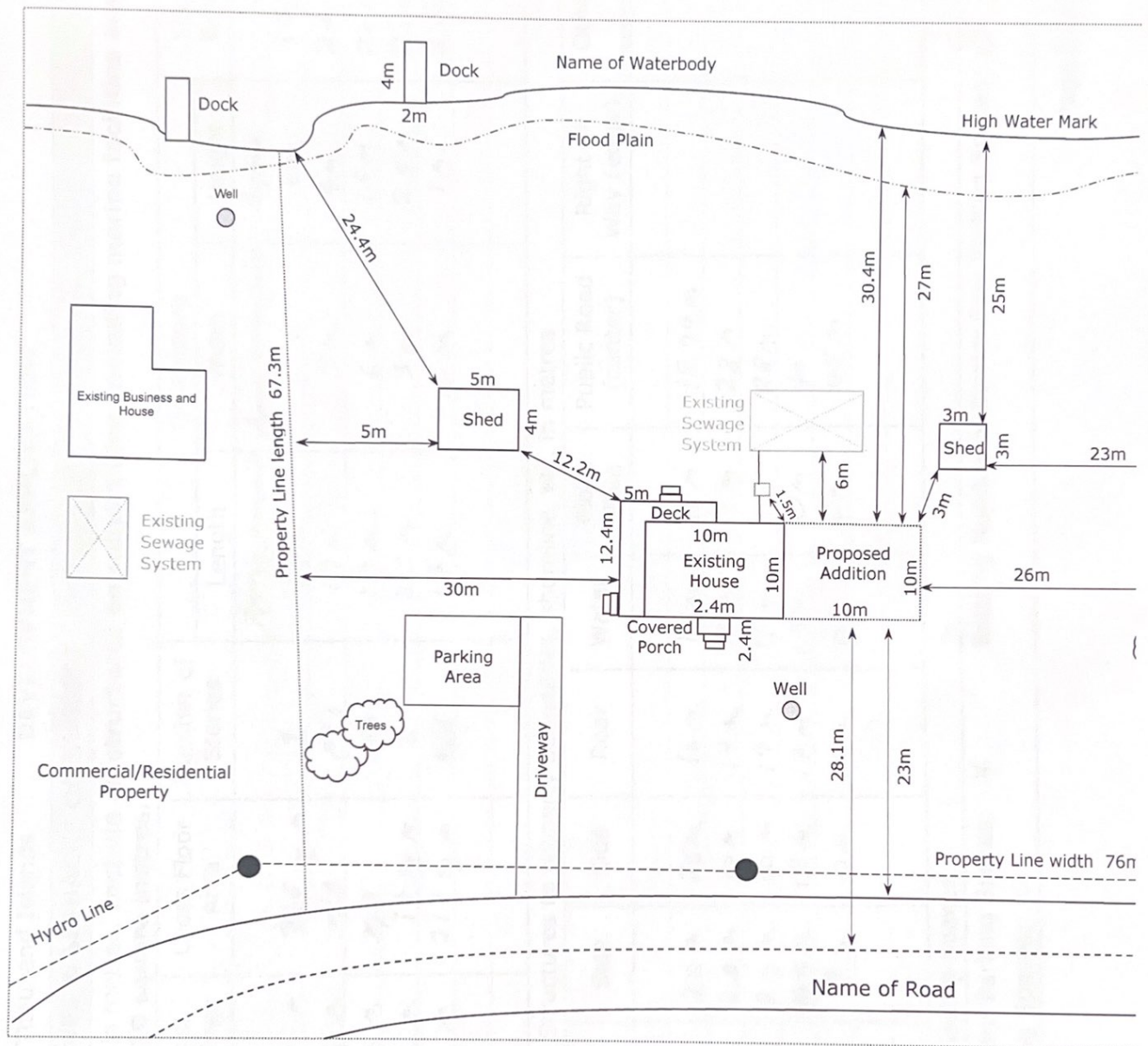
- (a) The boundaries and dimensions of the subject land.
- (b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating their distance from the front lot line, rear lot line and side lot line.
- (c) The approximate location of all natural and artificial features (for example, buildings, railways, roads, watercourses, flood plains drainage, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that:
 - (i) Are located on the subject land and on land that is adjacent to it, and
 - (ii) In the applicant's opinion, may affect the application.
- (d) The current uses of land that is adjacent to the subject land.
- (e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.
- (f) If access to the subject land will be by water only, the location of the parking and docking facilities to be used; and
- (g) The location and nature of any easement affecting the subject land.

9.3 Site Plan Requirements

In addition to Section 9.2, for site plan applications, drawings showing plan, elevation and cross-section views for each building to be erected, except a building to be used for residential purposes containing fewer than 25 dwelling units which drawings are sufficient to display,

- (a) The massing and conceptual design of the proposed building;
- (b) The relationship of the proposed building to adjacent buildings, streets and exterior areas to which members of the public have access;
- (c) The provision of interior walkways, stairs, elevators and escalators to which members of the public have access from streets, open spaces and interior walkways in adjacent buildings;
- (d) Matters relating to exterior design, including without limitation the character, scale, appearance and design features of buildings, and their sustainable design, but only to the extent that it is a matter of exterior design
- (d.1) Matters relating to exterior access to each building that will contain affordable housing units or to any part of such building, but only to the extent that it is a matter of exterior design;
- (e) the sustainable design elements on any adjoining highway under a municipality's jurisdiction, including without limitation trees, shrubs, hedges, plantings or other ground cover, permeable paving materials, street furniture, curb ramps, waste and recycling containers and bicycle parking facilities; and
- (f) facilities designed to have regard for accessibility for persons with disabilities.

9.3 SAMPLE SKETCH – Measurements, setbacks for all structures must be transcribed and 11.



10. EXISTING STRUCTURES & SETBACKS ON SUBJECT LAND (Indicate any to be demolished)**10.1 Existing Structures in metres. Include all structures on subject land, including marine facilities and structures under 10 square metres.**

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Stories | Dimensions | | | Year Built |
|---------------------|-------------------|------------------|-------------------|--------------------|--------------------|---------|------------|
| | | | | Length | Width | Height | |
| | | | | Approx. Dimensions | Approx. Dimensions | Approx. | |
| Primary Dwelling | 365 sq. m. | 365 sq. m. | 1 | 19 m. | 13 m. | 8 m. | 1982 |
| Existing Upper Deck | 59 sq. m. | N/A | N/A | 19 m. | 3 m. | 4 m. | 2018 |
| Existing Lower Deck | 122 sq. m. | N/A | N/A | 19 m. | 6 m. | 1.5 m. | 2018 |
| Existing Shed | 14 sq. m. | 14 sq. m. | 1 | 2.5 m. | 3 m. | 2.5 m | 2010 |
| Existing Dock Area | 217 sq. m. | 217 sq. m. | N/A | 17 m. | 12 m. | 1 m. | 2016 |
| | | | | | | | |
| | | | | | | | |

10.2 Setbacks of Existing Structures to property boundaries, shoreline, etc. in metres

| Type of Structure | Front | Side | Side | Rear | Water | Flood Plain | Public Road (center) | Right of Way (edge) | Other |
|---------------------|-------|---------|--------|-------|--------|-------------|----------------------|---------------------|-------|
| | | | | | | | | | |
| Primary Dwelling | 26 m. | 2.2 m. | 26 m. | 16 m. | 11 m. | 11 m | 18.94 m | | |
| Existing Upper Deck | 36 m. | 2.2 m. | 30 m | 14 m. | 11 m. | 11 m | 28 m | | |
| Existing Lower Deck | 36 m. | 2.2 m. | 30 m. | 14 m. | 11 m. | 11 m | 28 m | | |
| Existing Shed | 12 m. | 48.5 m. | 1.5 m. | 17 m. | 1.5 m. | 0 m | 40 m | | |
| Existing Dock Area | 0 m. | 9 m. | 0 m. | 0 m. | 0 m | 0 m | 45 m | | |
| | | | | | | | | | |
| | | | | | | | | | |

10.3 Existing Parking & Loading Spaces

Existing Number of Standard Parking Spaces: 4

Existing Number of Barrier Free Parking Spaces: 0

Existing Number of Loading Spaces: 0

11. PROPOSED STRUCTURES & SETBACKS ON SUBJECT LAND (Indicate any to be demolished)**11.1** Proposed Development (if any) in square metres, metres

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Stories | Dimensions | | | Year Built |
|-------------------------------|-------------------|------------------|-------------------|------------|--------|--------|------------|
| | | | | Length | Width | Height | |
| Pre-Fabricated Hot Tub/spa | 9.0 M sq. | 9.0 M. sq. | N/A | 4.50 M. | 2.0 M. | 1.2 M | 2025 |
| | | | | | | | |
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11.2 Setbacks of Proposed Structures to property boundaries, shoreline, etc. in metres

| Type of Structure | Front | Side | Side | Rear | Water | Flood Plain | Public Road (center) | Right of Way (edge) | Other |
|-------------------------------|-------|----------|-------|---------|----------|-------------|----------------------|---------------------|-------|
| Pre-Fabricated Hot Tub/spa | 39 M. | 11.29 M. | 35 M. | 11.1 M. | 12.36 M. | 11.1 M. | 28 M. | | |
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11.3 Proposed Parking & Loading Spaces

Proposed Number of Standard Parking Spaces: 0

Proposed Number of Barrier Free Parking Spaces: 0

Proposed Number of Loading Spaces: 0

12. MINOR VARIANCE INFORMATION**12.1** Description of Proposal

Installation of a pre-fabricated hot tub/spa
at rear of Property, adjacent to existing porch
and stairs - See Site Plan

12.2 Variance Requested from Zoning By-Law:

| Section | Zone Requirement | Proposed Standard | Variance Required |
|--|------------------|-------------------|-------------------|
| 30m. Set back from ST. LAWRENCE RIVER | 30m. | 11.10m. - 12.36m. | Yes |
| | | | |
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12.3 Why is it not possible to comply with the provisions of the Zoning By-Law?

The existing dwelling is within 30m. of water, so it is
not possible to have hot tub in rear of property without
encroaching on planning/zoning setbacks.

13. AUTHORIZATIONS & PERMISSION TO ENTER

All Registered Owner(s) must complete the following to authorize the applicant/agent to make the application on their behalf (if Owner is NOT the applicant) and/or to permit Council, Committees of Council, Township Staff or authorized agents to enter the subject property to conduct site inspections related to this application. If multiple owners, an authorization letter from each owner is required.

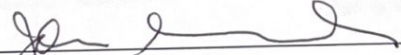
I/We Catherine & JOHN Macdonald,
(name(s) of owner(s) or company)

being the registered owner(s) of the subject property of this application:

- ☐ Hereby authorize the following person(s) to act as our agent to prepare, submit the application and pay any associated fees on my/our behalf (if applicable):

DUSTIN KENNEDY / PRECISION DEVELOPMENTS LTD
(Name of Applicant(s)/Authorized Agent(s))

- ☒ Hereby authorize Council, Committees of Council, and Township Staff or authorized agents to enter the subject property without notice to conduct site inspections related to this application.
- ☒ Agree to ensure that any driveway/lanes are accessible during the circulation period of the application so that Committee members, Township staff and other agencies do not have any barriers blocking access to the subject land. Island properties will require a boat ride, which is to be provided by the owner/agent. If applicable, Township Staff will make arrangements for the most suitable date and time.
- ☒ Agree to post any required signage on site, which is prepared by Township Staff, with respect to this application in the requested timeframe of the Planning Act and upon notification by Township Staff. I/We also agree to provide photographic evidence of the posted sign at the request of Township Staff.
- ☒ Agree to stake the area of any proposed construction a minimum of 15 days prior to the hearing date of your application.
- ☒ Have included the written approval of all surveyors, designers, etc. that designed any documents, plot plans etc. to allow the Township to use their plan(s) in the notice or hearing and other documents which are viewable by the public.
- ☒ Hereby acknowledge and provide my consent, in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, that the information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Signature(s): 

Macdonald

Date: March 7, 2025

14. AGREEMENT TO INDEMNIFY & STATUTORY DECLARATION

I/We, DUSTIN KENNEDY - PRECISION DEVELOPMENTS LTD
 (name of owner, applicant or authorized agent)

Of the LEEDS & THOUSAND ISLANDS
 (name of Municipality)

In the UNITED COUNTIES OF LEEDS & GRENVILLE
 (name of County)

Hereby agree to indemnify and save harmless The Corporation of the Township of Leeds and Thousand Islands (the "Municipality") from all costs and expenses that the Municipality may incur in connection with the processing of the applicant's application for approval under the Planning Act.

Without limiting the foregoing, such costs and expenses will include all legal, engineering, planning, advertising and consulting fees and charges incurred or payable by the Municipality to process the application together with all costs and expenses arising from or incurred in connection with the Municipality being required, or requested by the applicant, to appear at the hearing of any appeal to the Local Planning Appeal Tribunal from any decision of the Council approving the applicant's application.

I/We acknowledge and agree that if any amount owing to the Municipality in respect of the application is not paid when due, the Municipality will not be required to process or to continue processing the application, or to appear before the Local Planning Appeal Tribunal in support of a decision approving the application until the amount has been paid in full.

I/We further acknowledge and agree that any amount owing by the applicant to the Municipality is, when due, a debt of the applicant and the Municipality may, in addition to any other remedies available to it at law, recover the amount owing together with interest from the applicant by action.

I/We solemnly declare that all of the above statements contained herein and all exhibits transmitted herewith including this application and any required document attached hereto are true, and I/We make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Signature(s): [Signature]

Declared before me at the: Township of Leeds and the Thousand Islands
 (name of municipality)

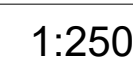
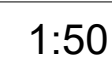
in the United Counties of Leeds and Grenville
 (name of County)


This 10th day of March, 2025.

[Signature]
 Signature of Commissioner of Oaths, etc.

AMANDA ZORA WERNER-MACKELER,
 a Commissioner, etc., Province of Ontario,
 the Corporation of the Township of Leeds
 and the Thousand Islands.
 Expires August 18, 2025.

(Official Stamp of Commissioner of Oaths)



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| 2025.02.12 | S.R BY | ISSUED FOR PERMIT APPLICATION REVISION | | | |
| | | DESIGN | S.R. | | |
| | | DRAWN | S.R. | | |
| | | SCALE | as shown | | |
| THESE DESIGN DOCUMENTS ARE PREPARED SOLELY FOR THE USE BY THE PARTY WITH WHOM AVIDITY DESIGNS HAS ENTERED INTO A CONTRACT. THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY THE DESIGNER TO ANY PARTY WITH WHOM AVIDITY DESIGNS HAS NOT ENTERED INTO A CONTRACT. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN AUTHORIZED BY AVIDITY DESIGNS IS NOT PERMITTED. | | | | | |
|  | | | | | |
| | | | | | |
| 33 VANSTON ROAD TOWNSHIP OF LEEDS AND THE THOUSAND ISLANDS, ONTARIO PROPOSED HOT TUB/SPA | | | | | |
| FILE NO. | | DRAWING NO. | | | |
| | | SHEET 01 OF 01 | | | |

THE THOUSAND ISLANDS PARKWAY

DEPOSITED PLAN No. 577

CAUTION - THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN THE MEANING OF SECTION 29, 32 OR 33 OF THE PLANNING ACT

RECEIVED AND DEPOSITED AS

PLAN 28R-2764

DATE: October 3rd, 1978.

REGISTRAR FOR THE REGISTRY DIVISION OF LEADS (No. 28)

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER PART II OF THE REGISTRY ACT

DATE 2nd OCTOBER, 1978.

A.J. Flatman
A.J. FLATMAN,
ONTARIO LAND SURVEYOR

MUNICIPAL TOWNSHIP OF THE FRONT OF ESCOTT

PLAN OF SURVEY
OF PART OF

LOT 23 AND LOT 24,
BROKEN FRONT CONCESSION
TOWNSHIP of ESCOTT
COUNTY of LEEDS

SCALE: 1 INCH = 60 FEET

1978

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT:

1. This survey and plan are correct and in accordance with The Surveys Act and The Registry Act and the regulations made thereunder.
2. The survey was completed on the 18th day of August, 1978.

6th SEPTEMBER, 1978

A.J. Flatman
A.J. FLATMAN,
ONTARIO LAND SURVEYOR.

NOTE: BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE NORTH-WESTERLY LIMIT OF PART I, PLAN 28R-2417, ASSUMED TO BE NORTH 64°55' EAST AS SHOWN THEREON. ALL HANGING LINES HAVE BEEN VERIFIED.

BC, EC DENOTE BEGINNING AND END OF CURVE

WIT DENOTES WITNESS POINT SET BACK FROM CORNER

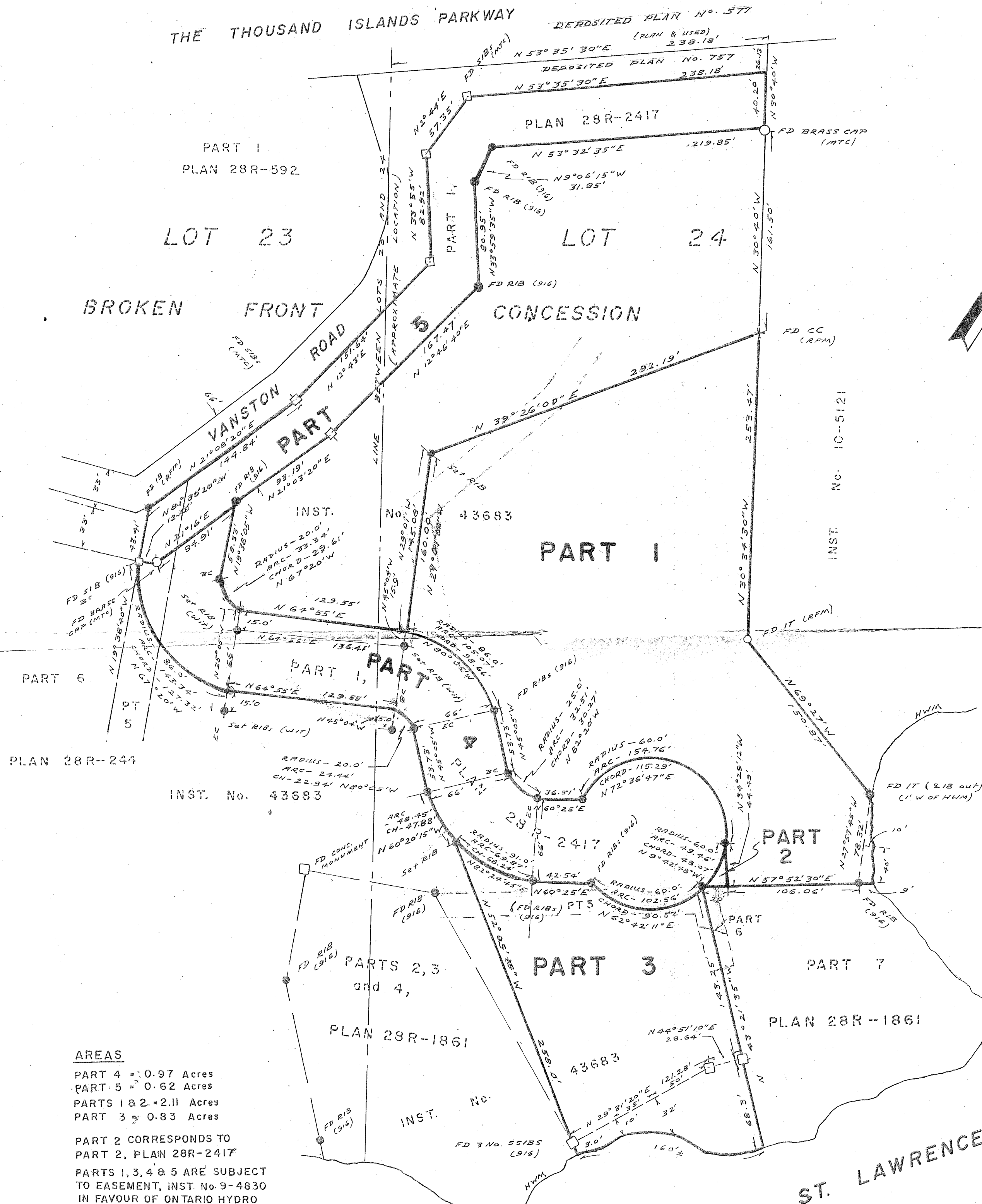
HIGH WATER MARK TIES ARE PERPENDICULAR TO TRAVERSE LINES UNLESS OTHERWISE INDICATED

- RIB DENOTES 3/4 INCH ROUND IRON BAR 2 FEET LONG WITH CAP
- SIB DENOTES 1 INCH SQUARE IRON BAR 4 FEET LONG
- SSIB DENOTES 1 INCH SQUARE IRON BAR 2 FEET LONG
- IB DENOTES 5/8 INCH SQUARE IRON BAR 2 FEET LONG
- FD DENOTES 'FOUND' DURING THE COURSE OF SURVEY
- *CC DENOTES CUT CROSS ON ROCK
- IT DENOTES IRON TUBE OR PIPE
- HWM DENOTES NORMAL ORDINARY HIGH WATER MARK

A. JAMES FLATMAN

ONTARIO LAND SURVEYOR
DOMINION LAND SURVEYOR
CONSULTING CIVIL ENGINEER

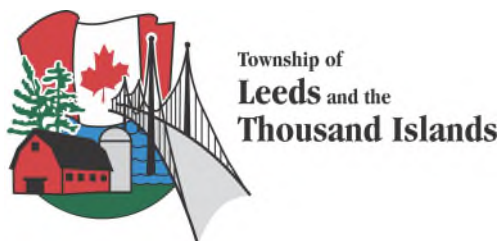
BOX 1674, PRESCOTT, ONTARIO.



AREAS

PART 4 = 0.97 Acres
PART 5 = 0.62 Acres
PARTS 1 & 2 = 2.11 Acres
PART 3 = 0.83 Acres

PART 2 CORRESPONDS TO
PART 2, PLAN 28R-2417
PARTS 1, 3, 4 & 5 ARE SUBJECT
TO EASEMENT, INST. No. 9-4830
IN FAVOUR OF ONTARIO HYDRO



Township of
Leeds and the
Thousand Islands

Planning and Development Department
1233 Prince Street, P.O. Box 280
Lansdowne, ON K0E 1L0
Telephone: 613-659-2415; 866-220-2327
Fax: 613-659-3619
Email: planningtechnician@townshipleeds.on.ca

Notice of Committee of Adjustment Hearing
Permission Application
(Section 45 of the Planning Act)

Date: Tuesday, April 29, 2025

Time: 1:00 pm

Location: 1233 Prince Street, Lansdowne, ON.

The hearing may be attended in person in the Council Chambers and virtually online/by phone through Zoom. Details on how to participate for both options are below.

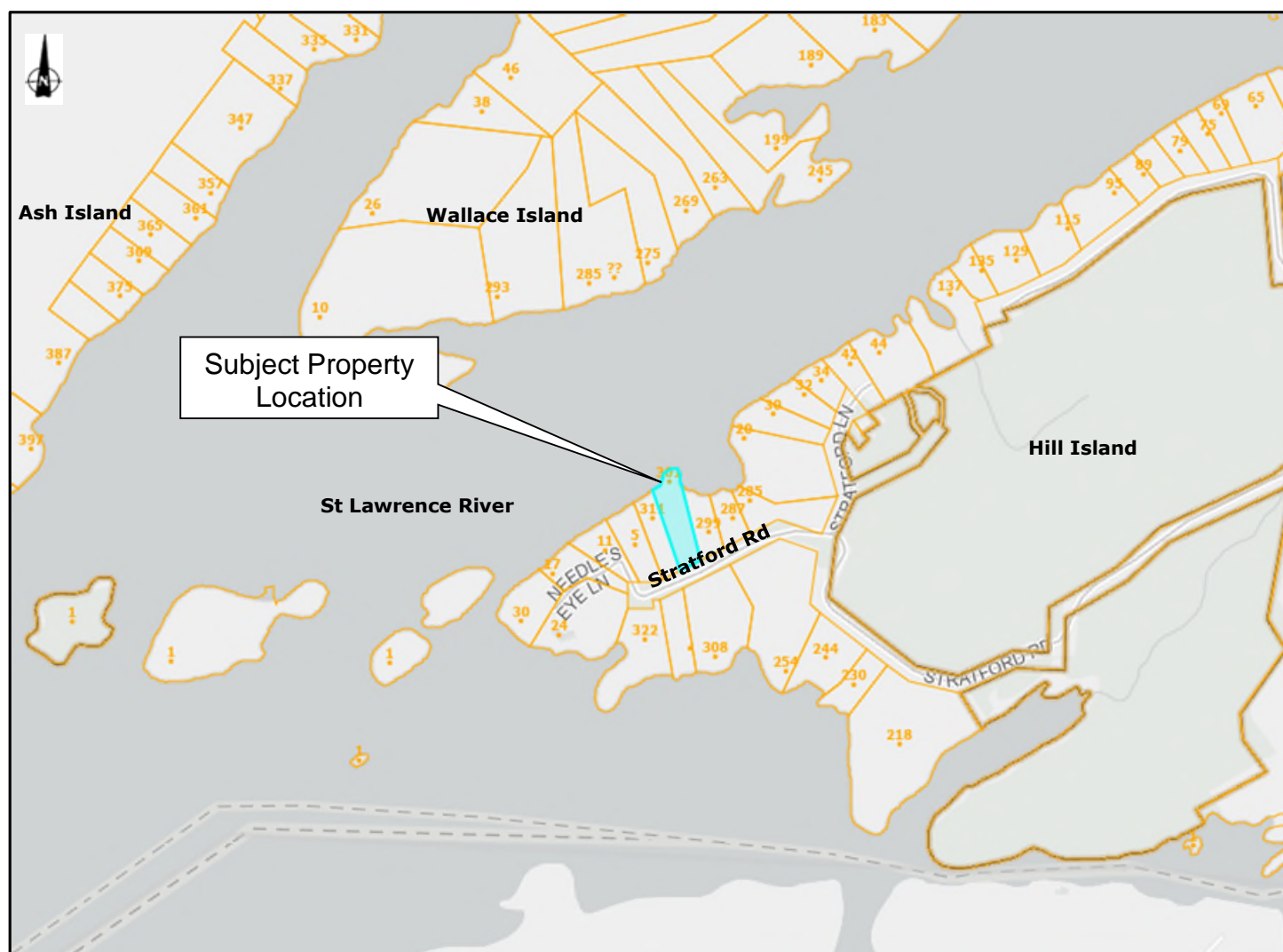
File Number: D13-2025-013

Applicant: Helen Dobbins

Agent: IN Engineering + Planning

Location: 301 Stratford Rd

Ward: Ward 1 (Former Front of Leeds and Lansdowne)



Key Map: property subject to application for Permission shown in blue.

Purpose of Application

This application is requesting a permission to expand an existing legal non-complying accessory structure (carport) with a two-storey addition to the southside of the structure. The existing accessory structure is legal non-complying with respect to the minimum 30-metre setback from the highwater mark of the St. Lawrence River. The proposed two-storey addition will increase the gross floor area and height of the existing legal non-complying structure.

| Section | Provision | Existing Height | Proposed Height | Permission Requested |
|---------|---|----------------------|------------------------|---|
| - | Increase in height of a legal non-complying structure | 3 metres (9.84 feet) | 6.9 metres (22.6 feet) | Total height of non-complying structure: 6.9 metres (22.6 feet) |

| Section | Provision | Existing Gross Floor Area | Proposed Gross Floor Area | Permission Requested |
|---------|---|--------------------------------------|---|--|
| - | Increase in floor area of a legal non-complying structure | 26 square metres (279.9 square feet) | 132.6 square metres (1,427.3 square feet) | Total gross floor area of non-complying structure: 132.6 square metres (1,427.3 square feet) |

How to Participate in the Hearing:

All comments received will become part of the public record. Comments can only be received in a written format or verbally in person/virtually. Staff are unable to accept verbal comments over the phone or in person outside of the hearing.

Anyone attending in person in the Council Chambers or virtually online/by phone through Zoom will be provided the opportunity to comment on an application. The ways to comment on an application are:

1. Written Comments – Email: planningtechnician@townshipleeds.on.ca
 Mail: Township of Leeds and the Thousand Islands
 Attention: Amanda Werner-Mackeler, Secretary-Treasurer
 1233 Prince St PO Box 280
 Lansdowne, ON K0E 1L0
2. In Person Attendance – In person attendance will be in the Council Chambers at the Township Office at 1233 Prince St, Lansdowne, ON.
3. Virtual/Phone Attendance – If you wish to attend virtually/by phone, you are required to register to be an attendee prior to the hearing. Once registered, you will receive a follow up email from the Clerk with the details to attend the hearing by computer or by phone. To register to attend the hearing virtually/by phone, please register online at:

https://us02web.zoom.us/webinar/register/WN_6QzIU3WFRuKSkVPQ2xde8w

If you have any issues registering online, please call 613-659-2415 x 203 before April 25, 2025 and indicate your name, phone number, email address and application you wish to speak to. Staff will register you for the hearing using your email address and you will receive a follow up email from the Clerk with the details on how to attend the hearing by computer or by phone.

Make Your Views Known

The Committee of Adjustment will make a decision on the application on the basis of information or evidence received before and during the hearing. This notice has been mailed to you, as required by the Planning Act.

You may express your support or opposition to the proposed permission by either attending the above virtual public hearing or sending a letter by mail, e-mail, or hand-delivery prior to the hearing date. Any correspondence received will become part of the public record. Only the applicant, a specified person, public body, and the registered owner of any land to which the Committee of Adjustment applies may appeal a decision to the Ontario Land Tribunal.

No specified person, public body or registered owner to which the decision would apply shall be added as a party to the hearing of the appeal unless, before the decision was made, the specified person, public body or registered owner of any land to which the

decision applies made oral submissions at a statutory public meeting or written submissions to the Committee of Adjustment prior to the decision or, in the opinion of the Tribunal, there are reasonable grounds to add the specified person or public body as a party.

“Public body” and “specified person” are defined under Section 1(1) of the Planning Act.

Collection of Personal Information:

Personal information is collected in order to gather feedback and communicate with interested parties regarding this development proposal. This information is collected under the authority of the *Planning Act* and in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*. With the exception of e-mail addresses and telephone numbers, all information and comments will become part of the public record and will appear on the Township’s website. Council and Committee meetings are broadcast live over the internet on YouTube. If you speak at the meeting your voice will be heard in the broadcast. Broadcasts are archived and continue to be publicly available.

View the Application File

Additional information concerning the Permission Application is available online at <https://www.leeds1000islands.ca/en/governing/council-and-committee-calendar.aspx> or by contacting Amanda Werner-Mackeler, CPT, Secretary-Treasurer, during regular office hours at 613-659-2415 x 203 or email planningtechnician@townshipleeds.on.ca.

Receive a copy of the Committee’s Decision

The Committee of Adjustment will make a decision on the application at the meeting. To receive a copy of the Committee’s decision, you must make a written request to the Committee of Adjustment c/o Township of Leeds and the Thousand Islands, 1233 Prince Street, P.O. Box 280, Lansdowne, Ontario, K0E 1L0 or email planningtechnician@townshipleeds.on.ca.

Accessibility Information

If you are a person with a disability and need Township of Leeds and the Thousand Islands information provided in another format, please contact the Clerk’s office at 613-659-2415 x 231 or clerk@townshipleeds.on.ca.

Multi-Residential Unit Notification

If you have received this notice and you are the owner of land that contains seven or more residential units, please post this notice in a location that is visible to all of the residents.

For more information about this matter, contact Amanda Werner-Mackeler, CPT Secretary-Treasurer, at 613-659-2415 x 203 or email planningtechnician@townshipleeds.on.ca.

DATED at the Township of Leeds and the Thousand Islands on the 7th day of April, 2025.



DEVELOPMENT APPLICATION

Section 41 (Site Plan Approval) and
Section 45 (Minor Variance) of the Planning Act

| OFFICE USE ONLY | | | |
|--|--|--|---|
| Application: | D13-2025-013 | Date Received: | March 13, 2025 |
| Roll Number: | 812-025-32200 | Deemed Complete: | April 3, 2025 |
| Application Fee: | \$850 | <input checked="" type="checkbox"/> Cheque | <input type="checkbox"/> Cash <input type="checkbox"/> Interac <input type="checkbox"/> N/A |
| Posting of Sign By: | <input checked="" type="checkbox"/> Owner | <input type="checkbox"/> Agent | <input type="checkbox"/> Staff (\$50 Fee) <input type="checkbox"/> Other |
| Posting of Sign Fee: | <input type="checkbox"/> Cheque | <input type="checkbox"/> Cash | <input type="checkbox"/> Interac <input checked="" type="checkbox"/> N/A |
| 1. APPLICATION TYPE <i>(Check all that apply)</i> | | | |
| <input checked="" type="checkbox"/> Minor Variance Application | | | |
| <input checked="" type="checkbox"/> Site Plan Agreement | | | |
| 2. PRE-CONSULTATION <i>(Attach supporting documentation)</i> | | | |
| <input checked="" type="checkbox"/> TLTI – Staff | <input type="checkbox"/> Leeds, Grenville & Lanark Health Unit | | |
| <input type="checkbox"/> CRCA | <input type="checkbox"/> St. Lawrence Parks Commission | | |
| <input type="checkbox"/> Other: | | | |
| 3. COMPLETE APPLICATION REQUIREMENTS | | | |
| <input type="checkbox"/> Complete Application Form | | | |
| <input type="checkbox"/> Authorization of Applicant (if applicable) | | | |
| <input type="checkbox"/> Affidavit signed by a Commissioner of Oaths, Notary, etc. (Available at Office) | | | |
| <input type="checkbox"/> Township and other Agency (if applicable) Applications and Fees | | | |
| <input type="checkbox"/> Cover Letter and/or report | | | |
| <input type="checkbox"/> Survey Plan (if available) | | | |
| <input type="checkbox"/> Deed | | | |
| <input type="checkbox"/> Scaled Sketch as per Section 11 (1 hard copy (11x17 paper or less) or 1 digital copy) | | | |
| <input type="checkbox"/> Minimum Distance Separation Calculation Form (if applicable) | | | |
| <input type="checkbox"/> All Supporting Information identified through Pre-Consultation including DRT | | | |
| 4. SUBJECT LAND | | | |
| Assessment Roll Number: <u>0812-812-025-32200</u> | | | |
| Civic Address: <u>301 STRATFORD RD.</u> | | | |
| Legal Description (Concession, Lot, Part, Reference Plan numbers): <u>PT HILL OR LEROUX ISLAND PCL (LT) 1 PL 120 IN THE ST. LAWRENCE RIVER IN FRONT OF THE TWP OF LANDSDOWNE AS THEREIN OVER PT 26,27 28R1962;LEEDS/THOUSAND ISLANDS</u> | | | |
| Date subject land acquired by current owner: <u>1965</u> | | | |

5. REGISTERED OWNER(S)

All owners must be included. If company, identify principals. A separate page may be submitted, if needed.

Name(s): Helen L. Dobbins

Company Name (if applicable): _____

Mailing Address: _____

Phone (home): _____

Phone (cell): _____

Email Address: _____

6. APPLICANT INFORMATION

*If an applicant is NOT the owner of the subject lands, written authorization from **all registered owner(s)** must be obtained stating that the agent is authorized to make the application (Section 13)*

6.1 Is the applicant the same as the owner?

☐

Yes (same information as above)

☒

No (please fill out below **and** complete Section 14 – Agreement, Authorization and Declaration)

6.2 Name(s): Tomlyn Graovac

Company Name (if applicable): _____

Mailing Address: _____

Phone (home): _____

Phone (cell): _____

Phone (work): _____

Email Address: _____

7. SUBJECT LAND CHARACTERISTICS

7.1 Please list and describe any existing easements, right-of-ways or restrictive covenants that apply to the subject property (required to be shown on sketch)

Stratford Road Easement

7.2 Site Description: (briefly describe factors that may impact the proposed development, such as soil type and depth, lot configuration, steep slopes or low-lying areas, natural feature, etc.)

Long and narrow shaped lot with existing cottage and structures located to the north (closest to the waterfront due to existing rocky ridges located along the southern portion of the lot. Majority of the property closest to Stratford Rd remains natural with various topography and vegetation

| | | | | |
|--|-------------------------------------|--------------------------|--------------------------|-------|
| 7.3 Dimensions of Subject Land | | | | |
| Total Lot Area: | 0.33 | hectares | 0.81 | acres |
| Lot Depth: | Irregular | metres | | feet |
| Lot Width (frontage): | 28m (road) 88.7m (water) | metres | | feet |
| 7.4 Road Access (include name) | | | | |
| <input type="checkbox"/> Provincial Highway: _____ | | | | |
| <input type="checkbox"/> County Road: _____ | | | | |
| <input checked="" type="checkbox"/> Municipal Road: <u>Stratford Rd.</u> | | | | |
| <input type="checkbox"/> Private Right-of-Way: _____ | | | | |
| <input type="checkbox"/> Water Only: _____ | | | | |
| 7.5 If access to the subject land is by water only, provide details of parking and docking facilities to be used and the approximate distance of these from the subject land and the nearest public road: | | | | |
| | | | | |
| | | | | |
| 7.6 Servicing – Water | Existing | Proposed | Not Applicable | |
| Municipal Piped Water System | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Privately Owned and Operated Well | | | | |
| <input type="checkbox"/> Dug | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| <input type="checkbox"/> Drilled | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| <input type="checkbox"/> Communal | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Lake or Other Water Body: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Other: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 7.7 Servicing – Sewage | Existing | Proposed | Not Applicable | |
| Municipal | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Privately-Owned | | | | |
| <input type="checkbox"/> Individual Sanitary Sewage System | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| <input type="checkbox"/> Communal Sanitary Sewage System | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| <input type="checkbox"/> Composting/Self-Contained Toilet | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| <input type="checkbox"/> Privy | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| <input type="checkbox"/> Outhouse | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Other: (Specify) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 7.8 Servicing – Storm Drainage | Existing | Proposed | Not Applicable | |
| Sewers | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Ditches | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Swales | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Other (Specify): _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |

| 8. OFFICIAL PLAN, ZONING BY-LAW AND LAND USE INFORMATION | | | | |
|--|---------------------------|-------------|--|--|
| 8.1 Official Plan Designation: | | | | |
| <u>Rural, Woodlands and Highly Vulnerable Aquifer</u> | | | | |
| 8.2 Special Policy Area: <input checked="" type="checkbox"/> 1000 Islands <input type="checkbox"/> Highly Sensitive Lake Trout Lake <input checked="" type="checkbox"/> No | | | | |
| 8.3 Zoning: Island Residential (RI) | | | | |
| 8.4 Is this a designated heritage property: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | | | |
| 8.5 Existing Use(s): (indicate uses and length of time uses have continued) | | | | |
| Existing cottage dwelling with carport, boat port and small shed like structures for storage | | | | |
| 8.6 Proposed Use(s): | | | | |
| No change of use. Looking to add an attached building onto the existing 26m2 carport and to remove the 10m2 shed | | | | |
| 8.7 Existing Use on Adjacent Lands: | | | | |
| North: St. Lawrence River | South: Island Residential | | | |
| East: Island Residential | West: Island Residential | | | |
| 8.8 Previous Use(s): (indicate all previous land uses on the subject land or adjacent lands including any industrial or commercial use, or if there is suspected contamination) | | | | |
| No commercial or industrial uses - the island has maintained cottage like dwellings for the last couple decades. | | | | |
| 8.9 Indicate any current or previous application under the <i>Planning Act</i> affecting the subject land: n/a | | | | |
| Application Type | File Number | File Status | | |
| Minor Variance | | | | |
| Site Plan Agreement | | | | |
| Zoning By-Law Amendment | | | | |
| Official Plan Amendment | | | | |
| Consent | | | | |
| Subdivision | | | | |
| Other: | | | | |
| <input checked="" type="checkbox"/> There have been no previous Planning Act applications affecting the subject lands | | | | |

| 8.10 Potential Land Use Constraints: | On Subject Lands | On Adjacent Lands Within | No |
|---|-------------------------------------|-----------------------------------|-------------------------------------|
| Agricultural Operation including Livestock Facility or Stockyard (If Yes, MDS info must be submitted) | <input type="checkbox"/> | <input type="checkbox"/> 1000m | <input checked="" type="checkbox"/> |
| Waste Management Site or Landfill | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Sewage Treatment Plant or Waste Stabilization | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Provincially Significant Wetland (PSW) | <input type="checkbox"/> | <input type="checkbox"/> 120m | <input checked="" type="checkbox"/> |
| Locally Significant Wetland (LSW) | <input type="checkbox"/> | <input type="checkbox"/> 50m | <input checked="" type="checkbox"/> |
| Area of Natural and Scientific Interest (ANSI) | <input type="checkbox"/> | <input type="checkbox"/> 50m | <input checked="" type="checkbox"/> |
| Flood Plain | <input checked="" type="checkbox"/> | N/A | <input type="checkbox"/> |
| Wellhead Protection (Village of Lansdowne) | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| James W. King Intake Protection Zone - St. Lawrence River - South of Gananoque (OP Schedule A6) | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| Licensed Mine, Pit or Quarry or an area designated for Aggregate Extraction | <input type="checkbox"/> | <input type="checkbox"/> 1000m | <input checked="" type="checkbox"/> |
| Rehabilitated Mine/Pit/Quarry Site? | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Industrial or Commercial Use, or Wrecking Yard Specify Use: _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Active Railway Line | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Municipal or Federal Airport | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Provincial Highway 401 | <input type="checkbox"/> | <input type="checkbox"/> 250m | <input checked="" type="checkbox"/> |
| Utility Corridor(s) i.e. Power Lines, Hydro Easement | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| i.e. Natural Gas or Oil Pipeline, etc. | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Gas Station – Currently or at Any Time | <input type="checkbox"/> | <input type="checkbox"/> Adjacent | <input checked="" type="checkbox"/> |
| Lands suspected to be contaminated | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Has grading of the subject land been changed by adding earth or other material(s)? | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| Designated Heritage Building/Site | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| 8.11 Additional information that may be relevant to the review of the application: | | | |
| n/a | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| <input type="checkbox"/> Provided on a Separate Sheet | | | |

9. REQUIRED PLANS

9.1 A detailed sketch in metric has been attached with the required ☒ Yes ☐ No
information as noted in Section 9.2.

All required site plan drawings, elevations, cross-sections, ☒ Yes ☐ No
grading, drainage, etc. along with the required information as
noted in Section 9.3.

9.2 Sketch Requirements

For minor variance, a detailed sketch **is required**. The sketch must include:

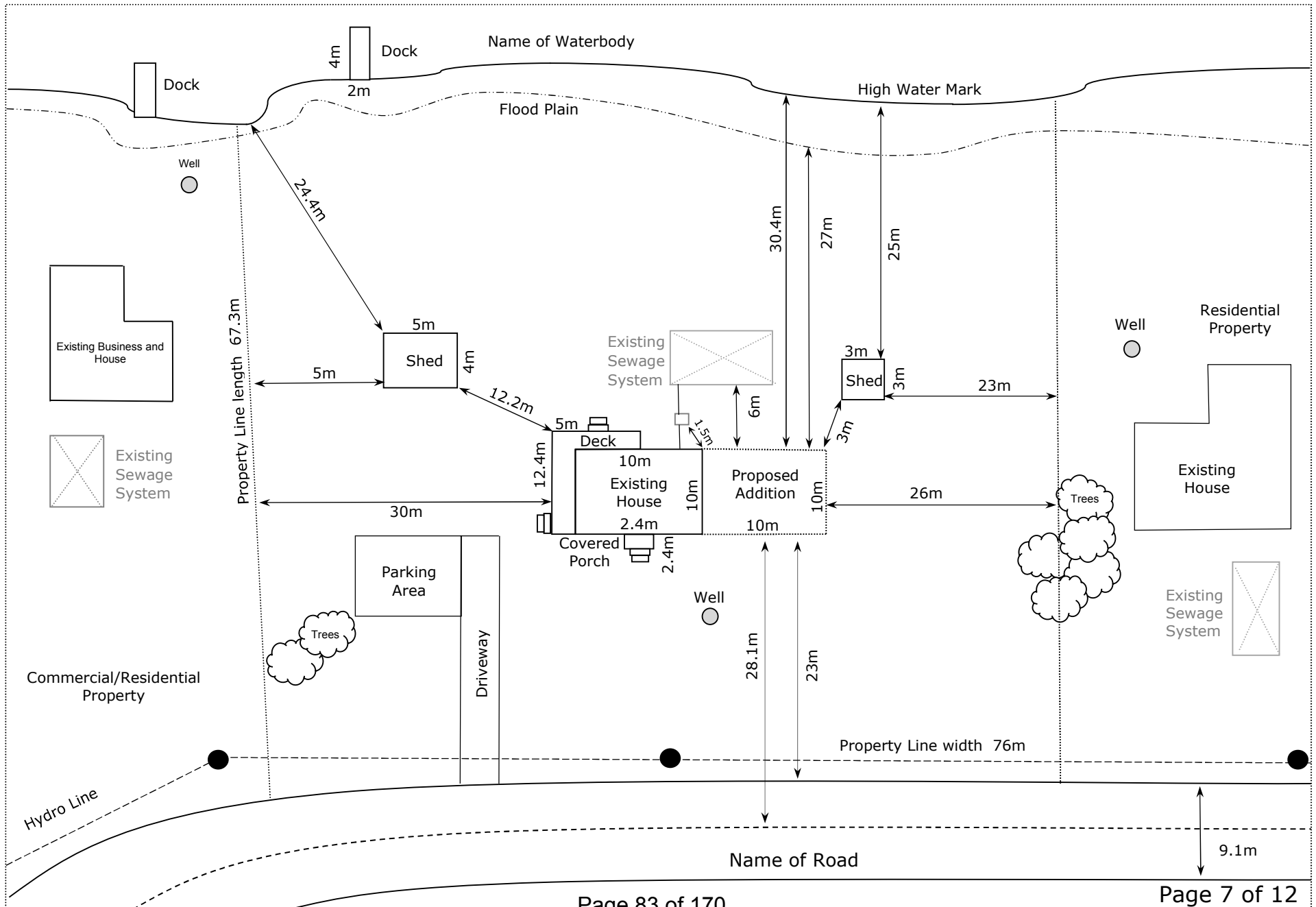
- (a) The boundaries and dimensions of the subject land.
- (b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating their distance from the front lot line, rear lot line and side lot line.
- (c) The approximate location of all natural and artificial features (for example, buildings, railways, roads, watercourses, flood plains drainage, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that:
 - (i) Are located on the subject land and on land that is adjacent to it, and
 - (ii) In the applicant's opinion, may affect the application.
- (d) The current uses of land that is adjacent to the subject land.
- (e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.
- (f) If access to the subject land will be by water only, the location of the parking and docking facilities to be used; and
- (g) The location and nature of any easement affecting the subject land.

9.3 Site Plan Requirements

In addition to Section 9.2, for site plan applications, drawings showing plan, elevation and cross-section views for each building to be erected, except a building to be used for residential purposes containing fewer than 25 dwelling units which drawings are sufficient to display,

- (a) The massing and conceptual design of the proposed building;
- (b) The relationship of the proposed building to adjacent buildings, streets and exterior areas to which members of the public have access;
- (c) The provision of interior walkways, stairs, elevators and escalators to which members of the public have access from streets, open spaces and interior walkways in adjacent buildings;
- (d) Matters relating to exterior design, including without limitation the character, scale, appearance and design features of buildings, and their sustainable design, but only to the extent that it is a matter of exterior design
- (d.1) Matters relating to exterior access to each building that will contain affordable housing units or to any part of such building, but only to the extent that it is a matter of exterior design;
- (e) the sustainable design elements on any adjoining highway under a municipality's jurisdiction, including without limitation trees, shrubs, hedges, plantings or other ground cover, permeable paving materials, street furniture, curb ramps, waste and recycling containers and bicycle parking facilities; and
- (f) facilities designed to have regard for accessibility for persons with disabilities.

9.3 SAMPLE SKETCH – Measurements, setbacks for all structures must be transcribed onto Sections 10 and 11.



10. EXISTING STRUCTURES & SETBACKS ON SUBJECT LAND (Indicate any to be demolished)**10.1 Existing Structures in metres. Include all structures on subject land, including marine facilities and structures under 10 square metres.**

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Stories | Dimensions | | | Year Built |
|-------------------|-------------------|------------------|-------------------|------------|----------|---------|------------|
| | | | | Length | Width | Height | |
| Cottage | 102m2 | 102m2 | 1 | +/-10.6m | +/-10.4m | Unknown | 1960 |
| Decking | 77m2 | 77m2 | 1 | +/-12.2m | +/-15m | +/-3m | 1980 |
| Boat Boart | 57m2 | 57m2 | 1 | +/-7.2m | +/-7.9m | +/-3m | 1980 |
| Frame Shed | 10m2 | 10m2 | 1 | +/-2.6m | +/-3.7m | +/-3m | 1990 |
| Carport | 26m2 | 26m2 | 1 | +/-4.8m | +/-5.4m | +/-3m | 1990 |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |

10.2 Setbacks of Existing Structures to property boundaries, shoreline, etc. in metres

| Type of Structure | Front | Side | Side | Rear | Water | Flood Plain | Public Road (center) | Right of Way (edge) | Other |
|-------------------|-------|------|-------|-------|-------|-------------|----------------------|---------------------|-------|
| Cottage | 1.1m | 6.3m | 3.8m | >7.5m | 1.1m | 1.1m | +/-90m | | |
| Decking | 0m | 4.3m | 3.8m | >7.5m | 0m | 0.8m | +/-90m | | |
| Boat Port | | | | | | | | | |
| Frame Shed (TBR) | 5m | 6.6m | 18.7m | >7.5m | 5m | 3.2m | +/-70m | | |
| Carport | 6.2m | 9.2m | 14m | >7.5m | 6.2m | 4.3m | +/-70m | | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |

10.3 Existing Parking & Loading Spaces

Existing Number of Standard Parking Spaces: 4

Existing Number of Barrier Free Parking Spaces: n/a

Existing Number of Loading Spaces: n/a

11. PROPOSED STRUCTURES & SETBACKS ON SUBJECT LAND (Indicate any to be demolished)**11.1** Proposed Development (**if any**) in square metres, metres

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Stories | Dimensions | | | Year Built |
|-------------------|--------------------|---------------------|-------------------|------------|-------|--------|------------|
| | | | | Length | Width | Height | |
| Carport | 53.3m ² | 106.6m ² | 2 | 7.3m | 7.3m | 6.9m | TBD |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |

11.2 Setbacks of Proposed Structures to property boundaries, shoreline, etc. in metres

| Type of Structure | Front | Side | Side | Rear | Water | Flood Plain | Public Road (center) | Right of Way (edge) | Other _____ |
|-------------------|-------|------|-------|-------|-------|-------------|----------------------|---------------------|-------------|
| Carport | 8.3m | 6.4m | 13.4m | >7.5m | 8.3m | 6m | >20m | >20m | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |

11.3 Proposed Parking & Loading Spaces

Proposed Number of Standard Parking Spaces:

Proposed Number of Barrier Free Parking Spaces:

Proposed Number of Loading Spaces:

12. MINOR VARIANCE INFORMATION

12.1 Description of Proposal

The proposal includes the addition of a new 2-storey structure, which will be located beside and attached to the existing carport. The existing carport will be preserved for storage purposes, enhancing the personal storage capacity for the family cottage/dwelling. The new expansion of the existing carport is to be situated 6 meters from the identified floodplain and 8.3m from the shoreline. The existing 10m² shed located 5m from the shoreline is to be removed in order to bring the project into greater compliance with the zoning regulations.

12.2 Variance Requested from Zoning By-Law:

[illegible]

12.3 Why is it not possible to comply with the provisions of the Zoning By-Law?

This proposal seeks approval for the expansion of an existing legal non-conforming use. Given the current placement of the existing carport structure and the proposed development to attach a new two-storey building to it, it is not feasible to position the new structure 30 meters from the shoreline. All current structures are situated near the northern edge of the property, adjacent to the shoreline. The proposed location for the attached structure is positioned 8.3 meters from the shoreline, with a minimum distance of 6 meters from the delineated floodplain.

13. AUTHORIZATIONS & PERMISSION TO ENTER

All Registered Owner(s) must complete the following to authorize the applicant/agent to make the application on their behalf (if Owner is NOT the applicant) and/or to permit Council, Committees of Council, Township Staff or authorized agents to enter the subject property to conduct site inspections related to this application. If multiple owners, an authorization letter from each owner is required.

I/We Helen L. Dobbins
(name(s) of owner(s) or company)

being the registered owner(s) of the subject property of this application:

- ☒ Hereby authorize the following person(s) to act as our agent to prepare, submit the application and pay any associated fees on my/our behalf (if applicable):

iN Engineering + Planning

(Name of Applicant(s)/Authorized Agent(s))

- ☒ Hereby authorize Council, Committees of Council, and Township Staff or authorized agents to enter the subject property without notice to conduct site inspections related to this application.
- ☒ Agree to ensure that any driveway/lanes are accessible during the circulation period of the application so that Committee members, Township staff and other agencies do not have any barriers blocking access to the subject land. Island properties will require a boat ride, which is to be provided by the owner/agent. If applicable, Township Staff will make arrangements for the most suitable date and time.
- ☒ Agree to post any required signage on site, which is prepared by Township Staff, with respect to this application in the requested timeframe of the Planning Act and upon notification by Township Staff. I/We also agree to provide photographic evidence of the posted sign at the request of Township Staff.
- ☒ Agree to stake the area of any proposed construction a minimum of 1 week prior to the hearing/meeting date of your application.
- ☒ Have included the written approval of all surveyors, designers, etc. that designed any documents, plot plans etc. to allow the Township to use their plan(s) in the notice or hearing and other documents which are viewable by the public.
- ☒ Hereby acknowledge and provide my consent, in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, that the information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Signature(s): Helen L. Dobbins

Date: 11/10/25

14. AGREEMENT TO INDEMNIFY & STATUTORY DECLARATION

I/We, Tomlyn Graovac (iN Engineering + Planning)
(name of owner, applicant or authorized agent)

Of the City of Brockville
(name of Municipality)

In the United Counties of Leeds and Grenville
(name of County)


Hereby agree to indemnify and save harmless The Corporation of the Township of Leeds and Thousand Islands (the "Municipality") from all costs and expenses that the Municipality may incur in connection with the processing of the applicant's application for approval under the Planning Act.

Without limiting the foregoing, such costs and expenses will include all legal, engineering, planning, advertising and consulting fees and charges incurred or payable by the Municipality to process the application together with all costs and expenses arising from or incurred in connection with the Municipality being required, or requested by the applicant, to appear at the hearing of any appeal to the Local Planning Appeal Tribunal from any decision of the Council approving the applicant's application.

I/We acknowledge and agree that if any amount owing to the Municipality in respect of the application is not paid when due, the Municipality will not be required to process or to continue processing the application, or to appear before the Local Planning Appeal Tribunal in support of a decision approving the application until the amount has been paid in full.

I/We further acknowledge and agree that any amount owing by the applicant to the Municipality is, when due, a debt of the applicant and the Municipality may, in addition to any other remedies available to it at law, recover the amount owing together with interest from the applicant by action.

I/We solemnly declare that all of the above statements contained herein and all exhibits transmitted herewith including this application and any required document attached hereto are true, and I/We make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Signature(s): 

Declared before me at the: City of Brockville
(name of municipality)

in the United Counties of Leeds and Grenville
(name of County)

This 16th day of January, 2025.

 
 Signature of Commissioner of Oaths, etc.

(Official Stamp of Commissioner of Oaths)

ST. LAWRENCE RIVER

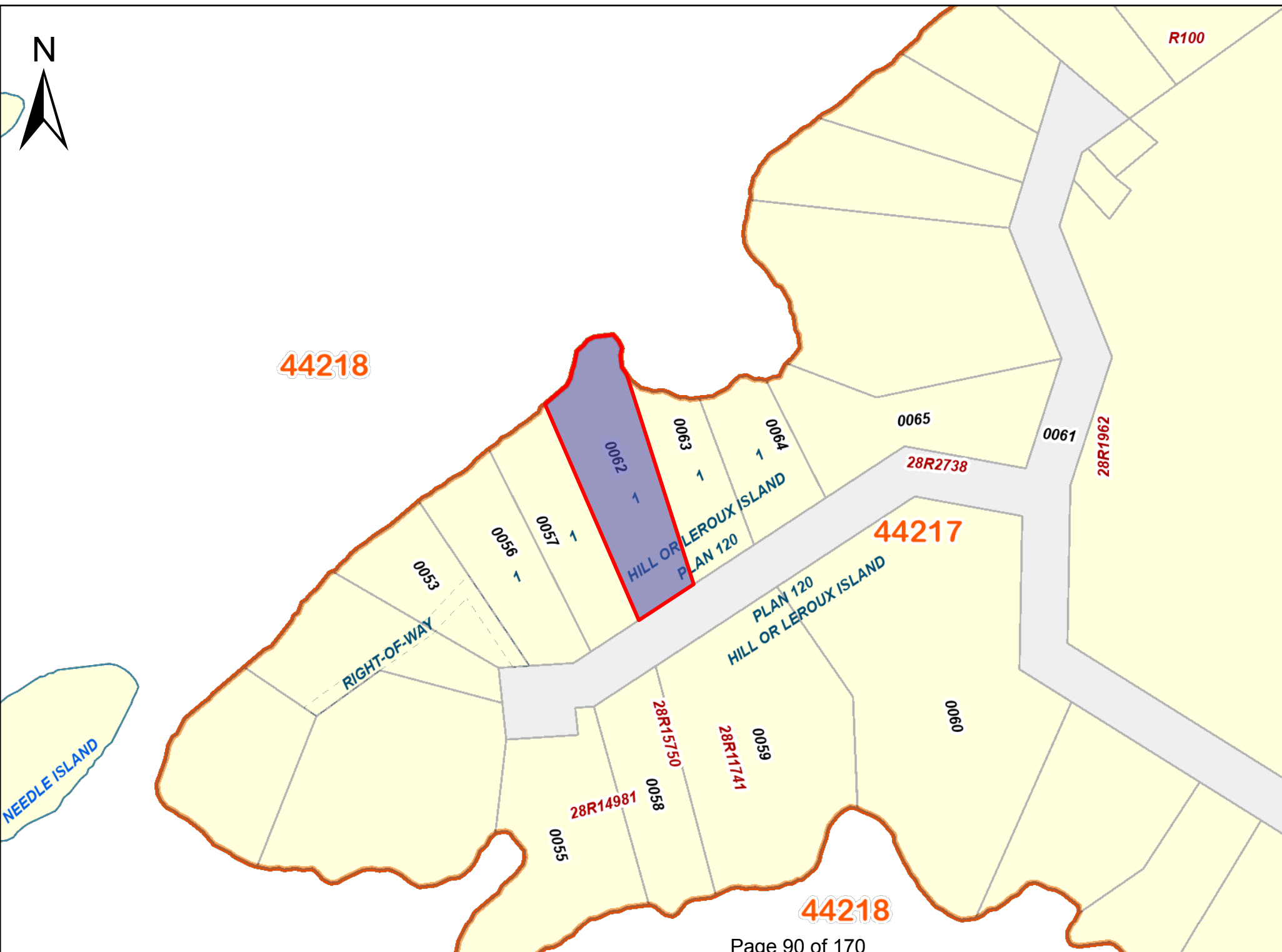
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1. SITE BENCHMARK IS TOP OF WELL CAP, HAVING A GEODETIC ELEVATION OF 78.14, AS SHOWN ON THE FACE OF THIS SKETCH.
2. ELEVATIONS ARE GEODETIC AND HAVE BEEN DERIVED USING GPS, CGVD 28.

1. DIMENSIONS AND INFORMATION SHOWN HEREON WERE DERIVED FROM FIELD MEASUREMENTS TAKEN JULY 12, 2023. .
2. DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.
3. THE SUBJECT PROPERTY IS PART OF LOT 1, HILL OR LEROUX ISLAND, PLAN NO. 120 GEOGRAPHIC TOWNSHIP OF LANSDOWNE, IN THE TOWNSHIP OF LEEDS & THE THOUSANDS ISLANDS, COUNTY OF LEEDS.

| | REQUIRED | EXISTING | PROPOSED |
|--------------------------|---------------|-----------------------------|-------------------|
| SITE AREA | 1 HA (2.5 AC) | 3,324M2 (0.3 HA) | 0.3 HA |
| LOT FRONTAGE | 76M | 88.7M | 88.7M |
| FRONT YARD | 30M | 1.1M (COTTAGE) 5M (SHED) | NO CHANGE 8.3M |
| REAR YARD (MAIN) | 7.5M | >7.5M | >7.5M |
| REAR YARD (ACCESS.) | 1M | >1M | >1M |
| INT. SIDE YARD (MAIN) | 3M | >3M | NO CHANGE |
| INT. SIDE YARD (ACCESS.) | 1M | >1M | 6.4M |
| EXT. SIDE YARD | 7.5M | N/A | N/A |
| BUILDING HEIGHT MAX. | 12M | <12M | <12M |
| ACCESSORY HEIGHT MAX. | 7M | +/-3.5M | 6.9M |
| LOT COVERAGE MAX. | 10% | 4.15% | 5.45% |
| DWELLINGS / LOT | 1 | 1 | NO CHANGE |
| SLEEPING CABINS /LOT | 1 | 0 | 0 |

| | | | |
|-----------------|----------|-------------|----------|
| COMPLETION DATE | PTY. CH. | DRN. BY | FILE NO. |
| MARCH 13, 2025 | M.S. | M.S. / J.G. | 11843SP4 |



PROPERTY INDEX MAP
LEEDS(No. 28)

LEGEND

| | |
|----------------------------------|-------|
| FREEHOLD PROPERTY | |
| LEASEHOLD PROPERTY | |
| LIMITED INTEREST PROPERTY | |
| CONDOMINIUM PROPERTY | |
| RETIRED PIN (MAP UPDATE PENDING) | |
| PROPERTY NUMBER | 0449 |
| BLOCK NUMBER | 08050 |
| GEOGRAPHIC FABRIC | |
| EASEMENT | |

THIS IS NOT A PLAN OF SURVEY

NOTES

REVIEW THE TITLE RECORDS FOR COMPLETE
PROPERTY INFORMATION AS THIS MAP MAY
NOT REFLECT RECENT REGISTRATIONS

THIS MAP WAS COMPILED FROM PLANS AND
DOCUMENTS RECORDED IN THE LAND
REGISTRATION SYSTEM AND HAS BEEN PREPARED
FOR PROPERTY INDEXING PURPOSES ONLY

FOR DIMENSIONS OF PROPERTIES BOUNDARIES SEE
RECORDED PLANS AND DOCUMENTS

ONLY MAJOR EASEMENTS ARE SHOWN

REFERENCE PLANS UNDERLYING MORE RECENT
REFERENCE PLANS ARE NOT ILLUSTRATED





Township of
Leeds and the
Thousand Islands

Planning and Development Department
1233 Prince Street, P.O. Box 280
Lansdowne, ON K0E 1L0
Telephone: 613-659-2415; 866-220-2327
Fax: 613-659-3619
Email: planningtechnician@townshipleeds.on.ca

Notice of Committee of Adjustment Hearing
Permission Application
(Section 45 of the Planning Act)

Date: Tuesday, April 29, 2025

Time: 1:00 pm

Location: 1233 Prince Street, Lansdowne, ON.

The hearing may be attended in person in the Council Chambers and virtually online/by phone through Zoom. Details on how to participate for both options are below.

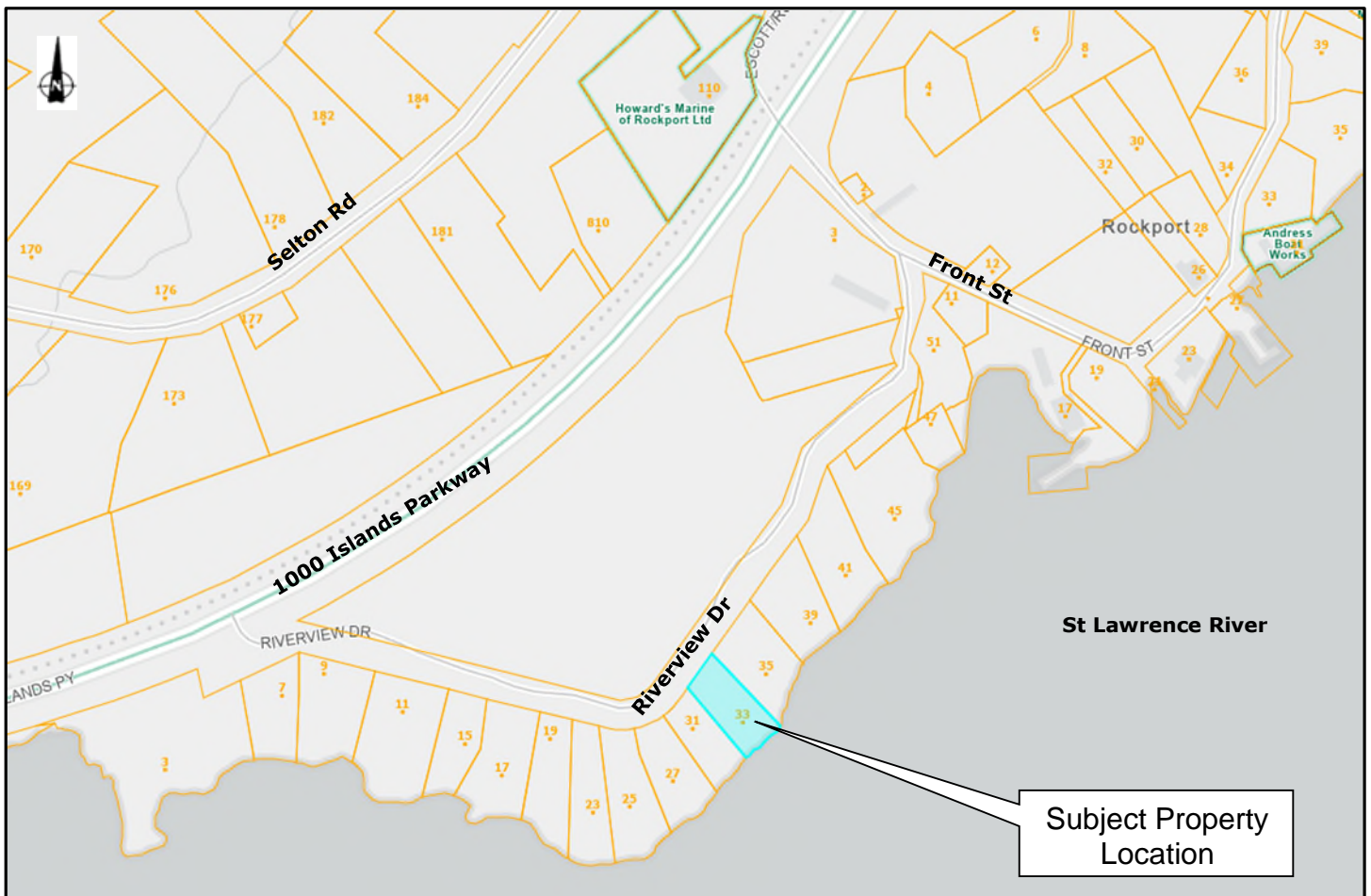
File Number: D13-2025-014

Applicant: Timothy Deacon and Carol Deacon

Agent: Not Applicable

Location: 33 Riverview Dr

Ward: Ward 3 (Former Front of Escott)



Key Map: property subject to application for Permission shown in blue.

Purpose of Application

This application is requesting a permission to expand the area, perimeter, and width of the existing legal non-complying marine facility (boathouse). The existing marine facility is a non-complying structure that does not meet the minimum required 4.6 metre setback from the straight-line projection of the side lot line into the abutting waterbody and the maximum permitted width of a marine facility. It is proposed to remove the existing boathouse and replace it with an expanded structure.

| Section | Provision | Existing Structure (Marine Facility) | Proposed Structure (Marine Facility) | Permission Requested |
|---------|--|---|--|---|
| - | Increase in area of a legal non-complying structure | 60.72 square metres (653.6 square feet) | 155.22 square metres (1,670.8 square feet) | Total floor area of non-complying structure (marine facility): 155.22 square metres (1,670.8 square feet) |
| - | Increase in perimeter of a legal non-complying structure | 44.3 metres (145.3 feet) | 64.51 metres (211.6 feet) | Total perimeter of non-complying structure (marine facility): 64.51 metres (211.6 feet) |
| - | Increase in width of a legal non-complying structure | 12 metres (39.4 feet) | 15.22 metres (49.93 feet) | Total floor area of non-complying structure (marine facility): 15.22 metres (49.93 feet) |

How to Participate in the Hearing:

All comments received will become part of the public record. Comments can only be received in a written format or verbally in person/virtually. Staff are unable to accept verbal comments over the phone or in person outside of the hearing.

Anyone attending in person in the Council Chambers or virtually online/by phone through Zoom will be provided the opportunity to comment on an application. The ways to comment on an application are:

1. Written Comments – Email: planningtechnician@townshipleeds.on.ca
 Mail: Township of Leeds and the Thousand Islands
 Attention: Amanda Werner-Mackeler, Secretary-Treasurer
 1233 Prince St PO Box 280
 Lansdowne, ON K0E 1L0
2. In Person Attendance – In person attendance will be in the Council Chambers at the Township Office at 1233 Prince St, Lansdowne, ON.
3. Virtual/Phone Attendance – If you wish to attend virtually/by phone, you are required to register to be an attendee prior to the hearing. Once registered, you will receive a follow up email from the Clerk with the details to attend the hearing by computer or by phone. To register to attend the hearing virtually/by phone, please register online at:

https://us02web.zoom.us/webinar/register/WN_6QzIU3WFRuKSkVPQ2xde8w

If you have any issues registering online, please call 613-659-2415 x 203 before April 25, 2025 and indicate your name, phone number, email address and application you wish to speak to. Staff will register you for the hearing using your email address and you will receive a follow up email from the Clerk with the details on how to attend the hearing by computer or by phone.

Make Your Views Known

The Committee of Adjustment will make a decision on the application on the basis of information or evidence received before and during the hearing. This notice has been mailed to you, as required by the Planning Act.

You may express your support or opposition to the proposed permission by either attending the above virtual public hearing or sending a letter by mail, e-mail, or hand-delivery prior to the hearing date. Any correspondence received will become part of the public record. Only the applicant, a specified person, public body, and the registered owner of any land to which the Committee of Adjustment applies may appeal a decision to the Ontario Land Tribunal.

No specified person, public body or registered owner to which the decision would apply shall be added as a party to the hearing of the appeal unless, before the decision was made, the specified person, public body or registered owner of any land to which the decision applies made oral submissions at a statutory public meeting or written submissions to the Committee of Adjustment prior to the decision or, in the opinion of the Tribunal, there are reasonable grounds to add the specified person or public body as a party.

“Public body” and “specified person” are defined under Section 1(1) of the Planning Act.

Collection of Personal Information:

Personal information is collected in order to gather feedback and communicate with interested parties regarding this development proposal. This information is collected under the authority of the *Planning Act* and in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*. With the exception of e-mail addresses and telephone numbers, all information and comments will become part of the public record and will appear on the Township’s website. Council and Committee meetings are broadcast live over the internet on YouTube. If you speak at the meeting your voice will be heard in the broadcast. Broadcasts are archived and continue to be publicly available.

View the Application File

Additional information concerning the Permission Application is available online at <https://www.leeds1000islands.ca/en/governing/council-and-committee-calendar.aspx> or by contacting Amanda Werner-Mackeler, CPT, Secretary-Treasurer, during regular office hours at 613-659-2415 x 203 or email planningtechnician@townshipleeds.on.ca.

Receive a copy of the Committee’s Decision

The Committee of Adjustment will make a decision on the application at the meeting. To receive a copy of the Committee’s decision, you must make a written request to the Committee of Adjustment c/o Township of Leeds and the Thousand Islands, 1233 Prince Street, P.O. Box 280, Lansdowne, Ontario, K0E 1L0 or email planningtechnician@townshipleeds.on.ca.

Accessibility Information

If you are a person with a disability and need Township of Leeds and the Thousand Islands information provided in another format, please contact the Clerk’s office at 613-659-2415 x 231 or clerk@townshipleeds.on.ca.

Multi-Residential Unit Notification

If you have received this notice and you are the owner of land that contains seven or more residential units, please post this notice in a location that is visible to all of the residents.

For more information about this matter, contact Amanda Werner-Mackeler, CPT Secretary-Treasurer, at 613-659-2415 x 203 or email planningtechnician@townshipleeds.on.ca.

DATED at the Township of Leeds and the Thousand Islands on the 7th day of April, 2025.

Location: 33 Riverview Dr



SCALE=1:200

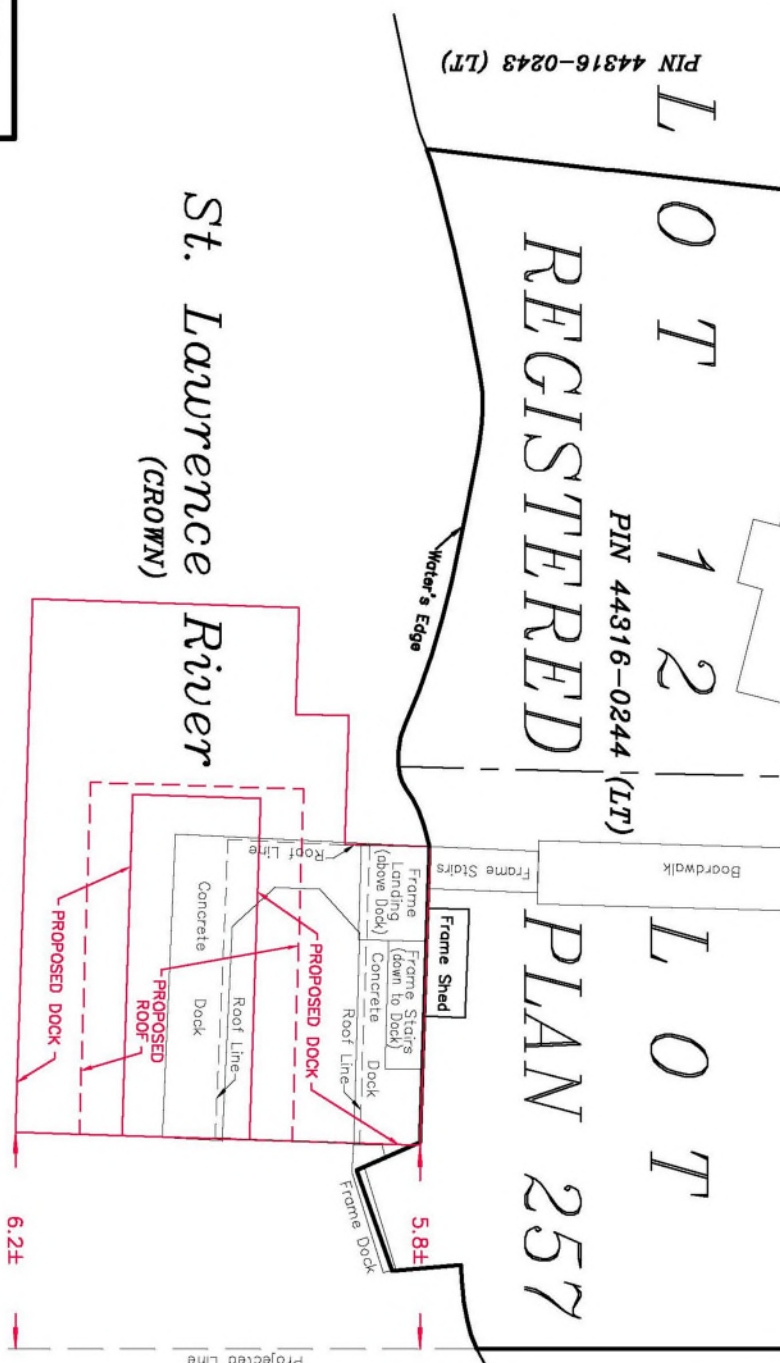
LOT 12
REGISTERED
PLAN 257

PIN 44316-0243 (LT)

PIN 44316-0244 (LT)

PIN 44316-0245 (LT)

St. Lawrence River
(CROWN)



DATE: MARCH 12, 2025

METRIC
Distances Shown on This
Plan are in Metres and
can be Converted to Feet
by Dividing by 0.3048

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HOPKINS CHITTY
LAND SURVEYORS INC.
Ontario Land Surveyors
www.hopkinschitty.com

www.hopkinschitty.com

1224 GARDINERS ROAD, SUITE 102
KINGSTON, ONTARIO
Tel (613) 384-9266
Fax (613) 384-3513

PROJECT No. 2025-0049
LOTS 12 & 13, REG'D PLAN 257
TOWNSHIP OF ESCOTY



DEVELOPMENT APPLICATION

Section 41 (Site Plan Approval) and
Section 45 (Minor Variance) of the Planning Act

| OFFICE USE ONLY | | | |
|---|---|--|---|
| Application: | D13-2025-014 | Date Received: | March 13, 2025 |
| Roll Number: | 809-010-23600 | Deemed Complete: | April 7, 2025 |
| Application Fee: | \$900 | <input checked="" type="checkbox"/> Cheque | <input type="checkbox"/> Cash <input type="checkbox"/> Interac <input type="checkbox"/> N/A |
| Posting of Sign By: | <input type="checkbox"/> Owner <input type="checkbox"/> Agent <input checked="" type="checkbox"/> Staff (\$50 Fee) <input type="checkbox"/> Other | | |
| Posting of Sign Fee: | <input checked="" type="checkbox"/> Cheque <input type="checkbox"/> Cash <input type="checkbox"/> Interac <input type="checkbox"/> N/A | | |
| 1. APPLICATION TYPE <i>(Check all that apply)</i> | | | |
| <input checked="" type="checkbox"/> Minor Variance Application | | | |
| <input type="checkbox"/> Site Plan Agreement | | | |
| 2. PRE-CONSULTATION <i>(Attach supporting documentation)</i> | | | |
| <input checked="" type="checkbox"/> TLTI – Staff | | <input type="checkbox"/> Leeds, Grenville & Lanark Health Unit | |
| <input checked="" type="checkbox"/> CRCA | | <input type="checkbox"/> St. Lawrence Parks Commission | |
| <input type="checkbox"/> Other: | | | |
| 3. COMPLETE APPLICATION REQUIREMENTS | | | |
| <input checked="" type="checkbox"/> Complete Application Form | | | |
| <input checked="" type="checkbox"/> Authorization of Applicant (if applicable) | | | |
| <input type="checkbox"/> Affidavit signed by a Commissioner of Oaths, Notary, etc. (Available at Office) | | | |
| <input checked="" type="checkbox"/> Township and other Agency (if applicable) Applications and Fees | | | |
| <input type="checkbox"/> Cover Letter and/or report | | | |
| <input checked="" type="checkbox"/> Survey Plan (if available) | | | |
| <input type="checkbox"/> Deed | | | |
| <input checked="" type="checkbox"/> Scaled Sketch as per Section 11 (1 hard copy (11x17 paper or less) or 1 digital copy) | | | |
| <input type="checkbox"/> Minimum Distance Separation Calculation Form (if applicable) | | | |
| <input type="checkbox"/> All Supporting Information identified through Pre-Consultation including DRT | | | |
| 4. SUBJECT LAND | | | |
| Assessment Roll Number: <u>08-12-809-010-23600-0000</u> | | | |
| Civic Address: <u>33 Riverview Drive</u> | | | |
| Legal Description (Concession, Lot, Part, Reference Plan numbers): <u>Plan 257 PT LOT 12 PT LOT 13 RP 28R10801 Part 1</u> | | | |
| Date subject land acquired by current owner: <u>October 17, 2024</u> | | | |

5. REGISTERED OWNER(S)

All owners must be included. If company, identify principals. A separate page may be submitted, if needed.

Name(s): Timothy Girdwood Deacon

Carol Mary Deacon

Company Name (if applicable):

Mailing Address:

Phone (home):

Phone (cell):

Email Address:

6. APPLICANT INFORMATION

*If an applicant is NOT the owner of the subject lands, written authorization from **all registered owner(s)** must be obtained stating that the agent is authorized to make the application (Section 13)*

6.1 Is the applicant the same as the owner?



Yes (same information as above)



No (please fill out below **and** complete Section 14 – Agreement, Authorization and Declaration)

6.2 Name(s):

Company Name (if applicable):

Mailing Address:

Phone (home):

Phone (cell):

Phone (work):

Email Address:

7. SUBJECT LAND CHARACTERISTICS

7.1 Please list and describe any existing easements, right-of-ways or restrictive covenants that apply to the subject property (required to be shown on sketch)

No easements, RoW or restrictive covenants on the subject property

7.2 Site Description: (briefly describe factors that may impact the proposed development, such as soil type and depth, lot configuration, steep slopes or low-lying areas, natural feature, etc.)

Proposed construction will occur on waterfront at base of existing rock face and will occupy same waterfront density

| | | | |
|--|-------------------------------------|---------------------------------|-------------------------------------|
| 7.3 Dimensions of Subject Land | | | |
| Total Lot Area: | hectares | <i>Approximately 0.46 acres</i> | |
| Lot Depth: | metres | <i>Approximately 201 feet</i> | |
| Lot Width (frontage): | metres | <i>Approximately 100 feet</i> | |
| 7.4 Road Access (include name) | | | |
| <input type="checkbox"/> Provincial Highway: _____ | | | |
| <input type="checkbox"/> County Road: _____ | | | |
| <input checked="" type="checkbox"/> Municipal Road: <i>Riverview Drive</i> | | | |
| <input type="checkbox"/> Private Right-of-Way: _____ | | | |
| <input type="checkbox"/> Water Only: _____ | | | |
| 7.5 If access to the subject land is by water only, provide details of parking and docking facilities to be used and the approximate distance of these from the subject land and the nearest public road: | | | |
| | | | |
| | | | |
| 7.6 Servicing – Water | Existing | Proposed | Not Applicable |
| Municipal Piped Water System | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Privately Owned and Operated Well | | | |
| <input type="checkbox"/> Dug | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <input type="checkbox"/> Drilled | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Communal | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Lake or Other Water Body: | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Other: | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 7.7 Servicing – Sewage | Existing | Proposed | Not Applicable |
| Municipal | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Privately-Owned | | | |
| <input type="checkbox"/> Individual Sanitary Sewage System | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Communal Sanitary Sewage System | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <input type="checkbox"/> Composting/Self-Contained Toilet | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <input type="checkbox"/> Privy | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <input type="checkbox"/> Outhouse | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Other: (Specify) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 7.8 Servicing – Storm Drainage | Existing | Proposed | Not Applicable |
| Sewers | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Ditches | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Swales | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Other (Specify): _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

| | | |
|---|---|------------------------------|
| 8. OFFICIAL PLAN, ZONING BY-LAW AND LAND USE INFORMATION | | |
| 8.1 | Official Plan Designation: <i>Rural, Flood Plain</i> <i>(Woodlands, Highly Vulnerable Aquifer)</i> | |
| 8.2 | Special Policy Area: <input checked="" type="checkbox"/> 1000 Islands <input type="checkbox"/> Highly Sensitive Lake Trout Lake <input type="checkbox"/> No | |
| 8.3 | Zoning: <i>Shoreline Residential (RS)</i> | |
| 8.4 | Is this a designated heritage property: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | |
| 8.5 | Existing Use(s): (indicate uses and length of time uses have continued) | |
| | <i>Private residence for personal use</i> | |
| 8.6 | Proposed Use(s): | |
| | <i>Private residence for personal use</i> | |
| 8.7 | Existing Use on Adjacent Lands: | |
| | North: <i>Residential</i> | South: <i>Water</i> |
| | East: <i>Residential</i> | West: <i>Residential</i> |
| 8.8 | Previous Use(s): (indicate all previous land uses on the subject land or adjacent lands including any industrial or commercial use, or if there is suspected contamination) | |
| | <i>Private residence for personal use</i> | |
| 8.9 | Indicate any current or previous application under the <i>Planning Act</i> affecting the subject land: N/A | |
| | Application Type | File Number File Status |
| | Minor Variance | |
| | Site Plan Agreement | |
| | Zoning By-Law Amendment | |
| | Official Plan Amendment | |
| | Consent | |
| | Subdivision | |
| | Other: | |
| | <input checked="" type="checkbox"/> There have been no previous Planning Act applications affecting the subject lands | |

| 8.10 Potential Land Use Constraints: | On Subject Lands | On Adjacent Lands Within | No |
|---|-------------------------------------|-----------------------------------|-------------------------------------|
| Agricultural Operation including Livestock Facility or Stockyard (If Yes, MDS info must be submitted) | <input type="checkbox"/> | <input type="checkbox"/> 1000m | <input checked="" type="checkbox"/> |
| Waste Management Site or Landfill | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Sewage Treatment Plant or Waste Stabilization | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Provincially Significant Wetland (PSW) | <input type="checkbox"/> | <input type="checkbox"/> 120m | <input checked="" type="checkbox"/> |
| Locally Significant Wetland (LSW) | <input type="checkbox"/> | <input type="checkbox"/> 50m | <input checked="" type="checkbox"/> |
| Area of Natural and Scientific Interest (ANSI) | <input type="checkbox"/> | <input type="checkbox"/> 50m | <input checked="" type="checkbox"/> |
| Flood Plain | <input checked="" type="checkbox"/> | N/A | <input type="checkbox"/> |
| Wellhead Protection (Village of Lansdowne) | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| James W. King Intake Protection Zone - St. Lawrence River - South of Gananoque (OP Schedule A6) | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| Licensed Mine, Pit or Quarry or an area designated for Aggregate Extraction | <input type="checkbox"/> | <input type="checkbox"/> 1000m | <input checked="" type="checkbox"/> |
| Rehabilitated Mine/Pit/Quarry Site? | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Industrial or Commercial Use, or Wrecking Yard Specify Use: _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Active Railway Line | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Municipal or Federal Airport | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Provincial Highway 401 | <input type="checkbox"/> | <input type="checkbox"/> 250m | <input checked="" type="checkbox"/> |
| Utility Corridor(s) i.e. Power Lines, Hydro Easement | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| i.e. Natural Gas or Oil Pipeline, etc. | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Gas Station – Currently or at Any Time | <input type="checkbox"/> | <input type="checkbox"/> Adjacent | <input checked="" type="checkbox"/> |
| Lands suspected to be contaminated | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Has grading of the subject land been changed by adding earth or other material(s)? | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| Designated Heritage Building/Site | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| 8.11 Additional information that may be relevant to the review of the application: | | | |
| | | | |
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| | | | |
| | | | |
| | | | |
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| | | | |
| | | | |
| <input type="checkbox"/> Provided on a Separate Sheet | | | |

9. REQUIRED PLANS

9.1 A detailed sketch in metric has been attached with the required information as noted in Section 9.2. ☒ Yes ☐ No

All required site plan drawings, elevations, cross-sections, grading, drainage, etc. along with the required information as noted in Section 9.3. ☒ Yes ☐ No

9.2 Sketch Requirements

For minor variance, a detailed sketch **is required**. The sketch must include:

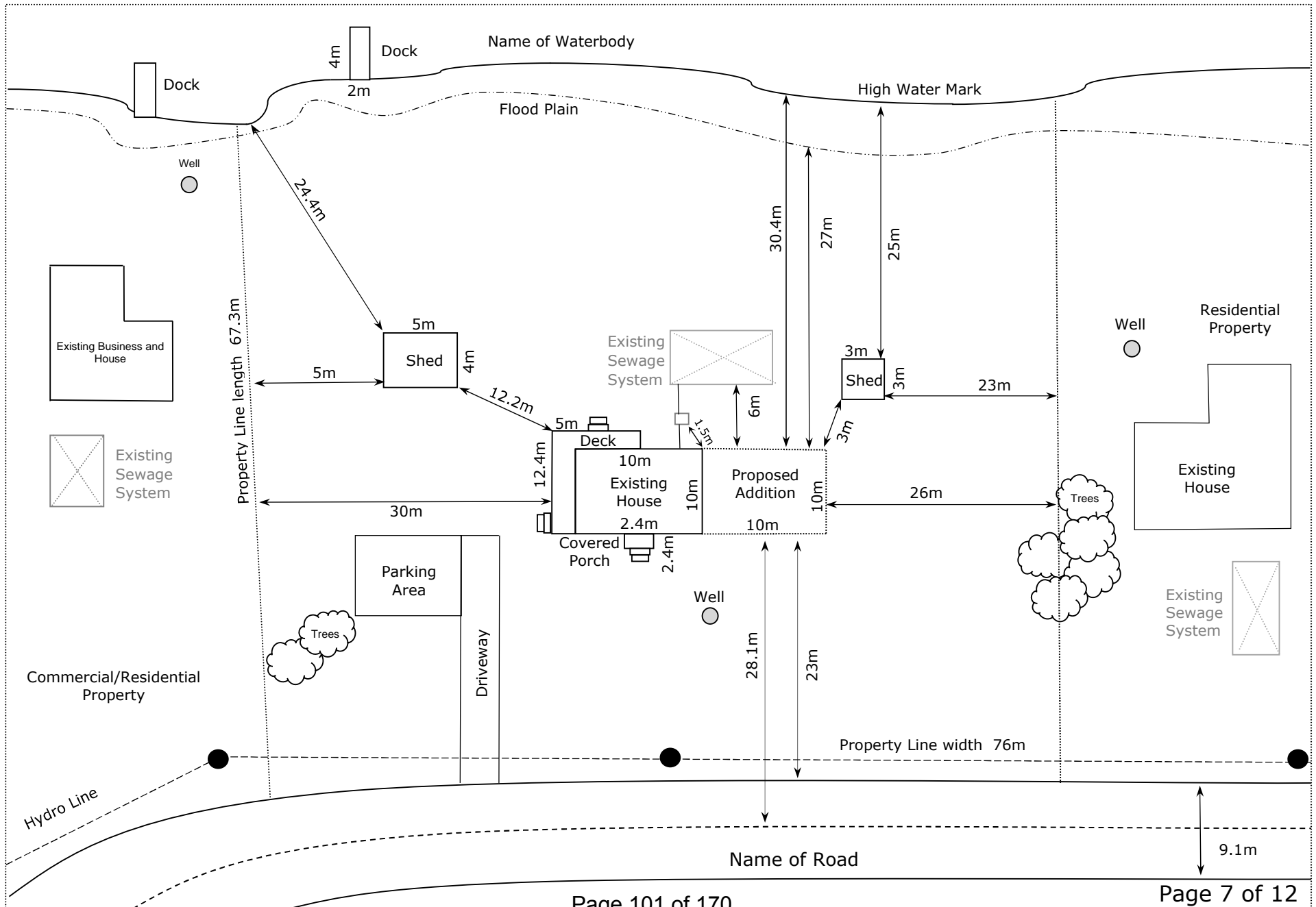
- (a) The boundaries and dimensions of the subject land.
- (b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating their distance from the front lot line, rear lot line and side lot line.
- (c) The approximate location of all natural and artificial features (for example, buildings, railways, roads, watercourses, flood plains drainage, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that:
 - (i) Are located on the subject land and on land that is adjacent to it, and
 - (ii) In the applicant's opinion, may affect the application.
- (d) The current uses of land that is adjacent to the subject land.
- (e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.
- (f) If access to the subject land will be by water only, the location of the parking and docking facilities to be used; and
- (g) The location and nature of any easement affecting the subject land.

9.3 Site Plan Requirements

In addition to Section 9.2, for site plan applications, drawings showing plan, elevation and cross-section views for each building to be erected, except a building to be used for residential purposes containing fewer than 25 dwelling units which drawings are sufficient to display,

- (a) The massing and conceptual design of the proposed building;
- (b) The relationship of the proposed building to adjacent buildings, streets and exterior areas to which members of the public have access;
- (c) The provision of interior walkways, stairs, elevators and escalators to which members of the public have access from streets, open spaces and interior walkways in adjacent buildings;
- (d) Matters relating to exterior design, including without limitation the character, scale, appearance and design features of buildings, and their sustainable design, but only to the extent that it is a matter of exterior design
- (d.1) Matters relating to exterior access to each building that will contain affordable housing units or to any part of such building, but only to the extent that it is a matter of exterior design;
- (e) the sustainable design elements on any adjoining highway under a municipality's jurisdiction, including without limitation trees, shrubs, hedges, plantings or other ground cover, permeable paving materials, street furniture, curb ramps, waste and recycling containers and bicycle parking facilities; and
- (f) facilities designed to have regard for accessibility for persons with disabilities.

9.3 SAMPLE SKETCH – Measurements, setbacks for all structures must be transcribed onto Sections 10 and 11.



| 10. EXISTING STRUCTURES & SETBACKS ON SUBJECT LAND (Indicate any to be demolished) | | | | | | | | | |
|---|------------------------|------------------------|--------------------------|-----------------------|---|-----------------------|-----------------------|-----------------------|-------|
| 10.1 Existing Structures in metres. Include all structures on subject land, including marine facilities and structures under 10 square metres. | | | | | | | | | |
| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Stories | Dimensions | | | Year Built | | |
| | | | | Length | Width | Height | | | |
| Dock & Boat Port | 196 sq.met. | | 1 | 8.53 metres | 7.01 metres | ~3.81 metres | Unknown | | |
| Shed | | 196 sq. met. | | | | | | | |
| | 3.71 sq. met. | 3.71 sq. met. | 1 | 3.04 metres | 1.21 metres | 2.20 metres | Unknown | | |
| | | | | | | | | | |
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| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| 10.2 Setbacks of Existing Structures to property boundaries, shoreline, etc. in metres | | | | | | | | | |
| Type of Structure | Front | Side | Side | Rear | Water | Flood Plain | Public Road (center) | Right of Way (edge) | Other |
| <i>Dock & Boat Port</i> | | | | | | | | | |
| | 65 metres (from north) | 5.8 metres (from east) | 21.36 metres (from west) | 0 metres (from south) | 0 metres (from south) | 0 metres (from south) | 75 metres (from road) | 75 metres (from road) | |
| | | | | | | | | | |
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| 10.3 Existing Parking & Loading Spaces <i>N/A</i> | | | | | | | | | |
| Existing Number of Standard Parking Spaces: | | | | | Existing Number of Barrier Free Parking Spaces: | | | | |
| Existing Number of Loading Spaces: | | | | | | | | | |

11. PROPOSED STRUCTURES & SETBACKS ON SUBJECT LAND (Indicate any to be demolished)**11.1** Proposed Development (**if any**) in square metres, metres

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Stories | Dimensions | | | Year Built |
|------------------------|-------------------|------------------|-------------------|-------------|--------------|--------------|------------|
| | | | | Length | Width | Height | |
| <i>Marine Facility</i> | 510.2 sq mt | 510.2 sq mt | 1 | 8.53 metres | 11.54 metres | ~3.81 metres | 2025 |
| | | | | | | | |
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11.2 Setbacks of Proposed Structures to property boundaries, shoreline, etc. in metres

| Type of Structure | Front | Side | Side | Rear | Water | Flood Plain | Public Road (center) | Right of Way (edge) | Other _____ |
|------------------------|------------------------|------------------------|-------------------------|-----------------------|-----------------------|-----------------------|-----------------------|-----------------------|-------------|
| <i>Marine Facility</i> | | | | | | | | | |
| | 65 metres (from front) | 5.8 metres (from east) | 14.6 metres (from west) | 0 metres (from south) | 0 metres (from south) | 0 metres (from south) | 75 metres (from road) | 75 metres (from road) | |
| | | | | | | | | | |
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11.3 Proposed Parking & Loading Spaces

Proposed Number of Standard Parking Spaces: N/A

Proposed Number of Barrier Free Parking Spaces:

Proposed Number of Loading Spaces:

12. MINOR VARIANCE INFORMATION**12.1** Description of Proposal

Proposal is to construct a new Marine Facility (i.e. dock and boat mooring structure) to replace existing structure which is aging, requires replacement of roof and is no longer adequate for intended use. The replacement Marine Facility will maintain (i.e. not increase) existing shoreline density and existing setbacks from neighboring property to the east. The new facility will consist of a dock and boat port with roof not in excess of 12.5ft above high water mark with an increase in overall square footage of dock space.

12.2 Variance Requested from Zoning By-Law:

| Section | Zone Requirement | Proposed Standard | Variance Required |
|---------|------------------|-------------------|---|
| | | | <i>Expansion of a legal non-complying use</i> |
| | | | |
| | | | |
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| | | | |

12.3 Why is it not possible to comply with the provisions of the Zoning By-Law?

Permission application is for the expansion of an existing, non-complying structure. The new boat port and dock will require the same, non-complying, shoreline density to ensure sufficient stability and land access.

13. AUTHORIZATIONS & PERMISSION TO ENTER

All Registered Owner(s) must complete the following to authorize the applicant/agent to make the application on their behalf (if Owner is NOT the applicant) and/or to permit Council, Committees of Council, Township Staff or authorized agents to enter the subject property to conduct site inspections related to this application. If multiple owners, an authorization letter from each owner is required.

I/We Timothy and Carol Deacon

(name(s) of owner(s) or company)

being the registered owner(s) of the subject property of this application:

☒ Hereby authorize the following person(s) to act as our agent to prepare, submit the application and pay any associated fees on my/our behalf (if applicable):

Timothy Deacon

(Name of Applicant(s)/Authorized Agent(s))

☒ Hereby authorize Council, Committees of Council, and Township Staff or authorized agents to enter the subject property without notice to conduct site inspections related to this application.

☒ Agree to ensure that any driveway/lanes are accessible during the circulation period of the application so that Committee members, Township staff and other agencies do not have any barriers blocking access to the subject land. Island properties will require a boat ride, which is to be provided by the owner/agent. If applicable, Township Staff will make arrangements for the most suitable date and time.

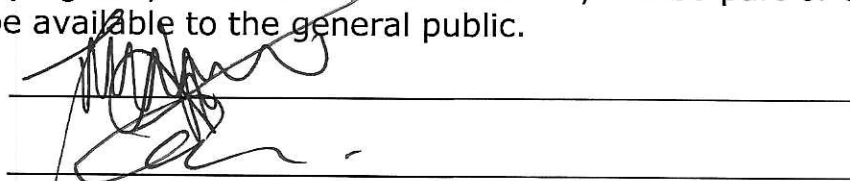
☒ Agree to post any required signage on site, which is prepared by Township Staff, with respect to this application in the requested timeframe of the Planning Act and upon notification by Township Staff. I/We also agree to provide photographic evidence of the posted sign at the request of Township Staff.

☒ Agree to stake the area of any proposed construction a minimum of 1 week prior to the hearing/meeting date of your application.

☒ Have included the written approval of all surveyors, designers, etc. that designed any documents, plot plans etc. to allow the Township to use their plan(s) in the notice or hearing and other documents which are viewable by the public.

☒ Hereby acknowledge and provide my consent, in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, that the information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Signature(s):



Date: March 21, 2025

14. AGREEMENT TO INDEMNIFY & STATUTORY DECLARATION

I/We, TIMOTHY DEACON
(name of owner, applicant or authorized agent)
 Of the CITY OF TORONTO
(name of Municipality)
 In the PROVINCE OF ONTARIO
(name of County)

Hereby agree to indemnify and save harmless The Corporation of the Township of Leeds and Thousand Islands (the "Municipality") from all costs and expenses that the Municipality may incur in connection with the processing of the applicant's application for approval under the Planning Act.

Without limiting the foregoing, such costs and expenses will include all legal, engineering, planning, advertising and consulting fees and charges incurred or payable by the Municipality to process the application together with all costs and expenses arising from or incurred in connection with the Municipality being required, or requested by the applicant, to appear at the hearing of any appeal to the Ontario Land Tribunal from any decision of the Council approving the applicant's application.

I/We acknowledge and agree that if any amount owing to the Municipality in respect of the application is not paid when due, the Municipality will not be required to process or to continue processing the application, or to appear before the Local Planning Appeal Tribunal in support of a decision approving the application until the amount has been paid in full.

I/We further acknowledge and agree that any amount owing by the applicant to the Municipality is, when due, a debt of the applicant and the Municipality may, in addition to any other remedies available to it at law, recover the amount owing together with interest from the applicant by action.

I/We solemnly declare that all of the above statements contained herein and all exhibits transmitted herewith including this application and any required document attached hereto are true, and I/We make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Signature of Applicant or Authorized Agent
 Declared remotely by TIMOTHY DEACON, who has stated being
 located in the CITY OF TORONTO of the PROVINCE OF ONTARIO
(name of City) (name of County)

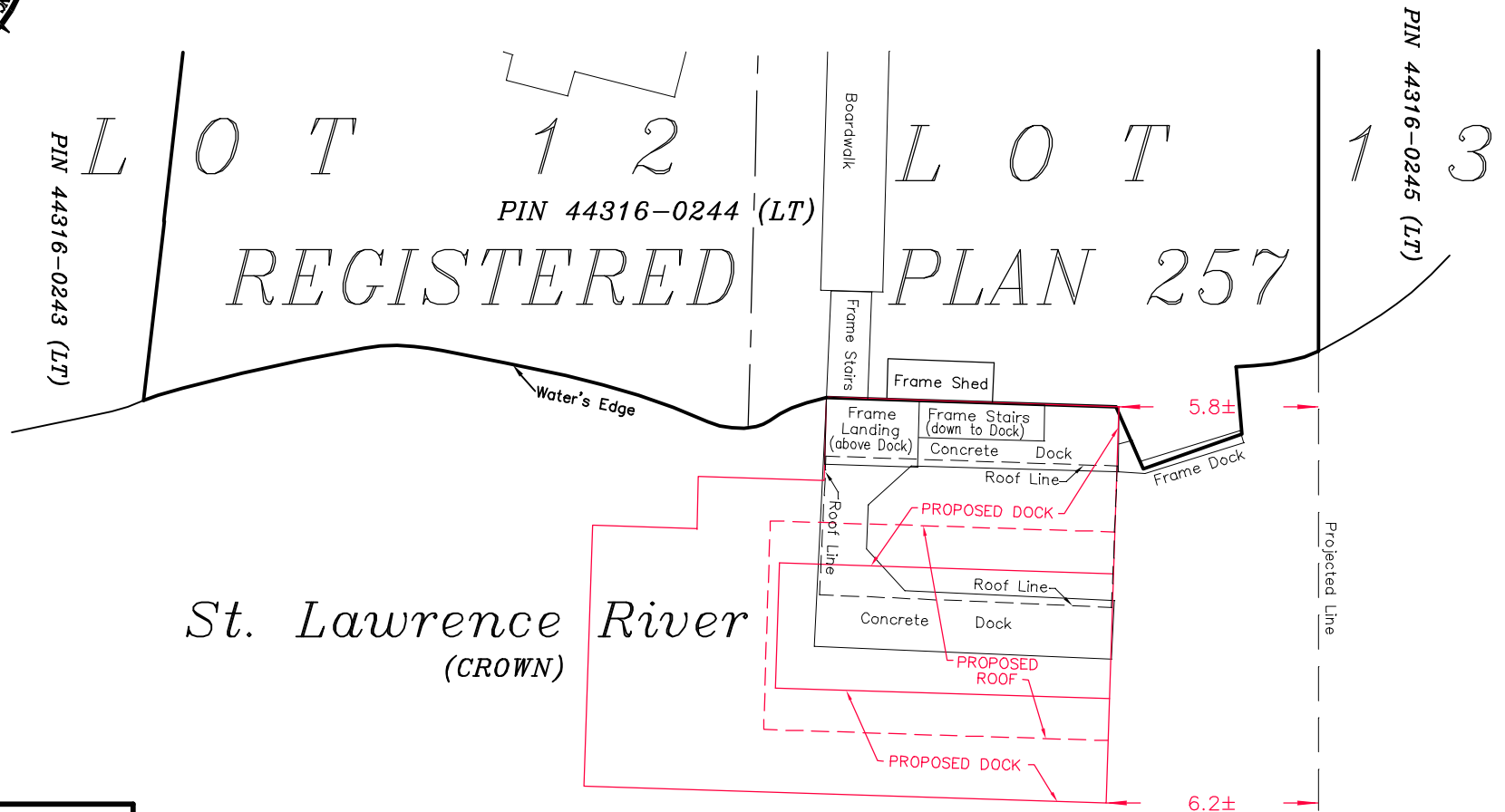
before me at the Township of Leeds and the Thousand Islands in the United Counties of Leeds and Grenville on this 24th day of March 2025, ~~2023~~, in accordance with O. Reg 431/20, Administering Declaration Remotely.

Amanda Werner-Mackeler
 Commissioner of Oaths

AMANDA ZORA WERNER-MACKELER,
 a Commissioner, etc., Province of Ontario,
 the Corporation of the Township of Leeds
 and the Thousand Islands.
 Expires August 18, 2025.
 (Official Stamp of Commissioner of Oaths)



SKETCH SHOWING MARINE FACILITY
In Front of 33 Riverview Drive, Rockport
Geographic Township of Escott
TOWNSHIP OF LEEDS AND THE THOUSAND ISLANDS
COUNTY of LEEDS
SCALE=1:200



METRIC

Distances Shown on This
Plan are in Metres and
can be Converted to Feet
by Dividing by 0.3048

DATE: MARCH 12, 2025

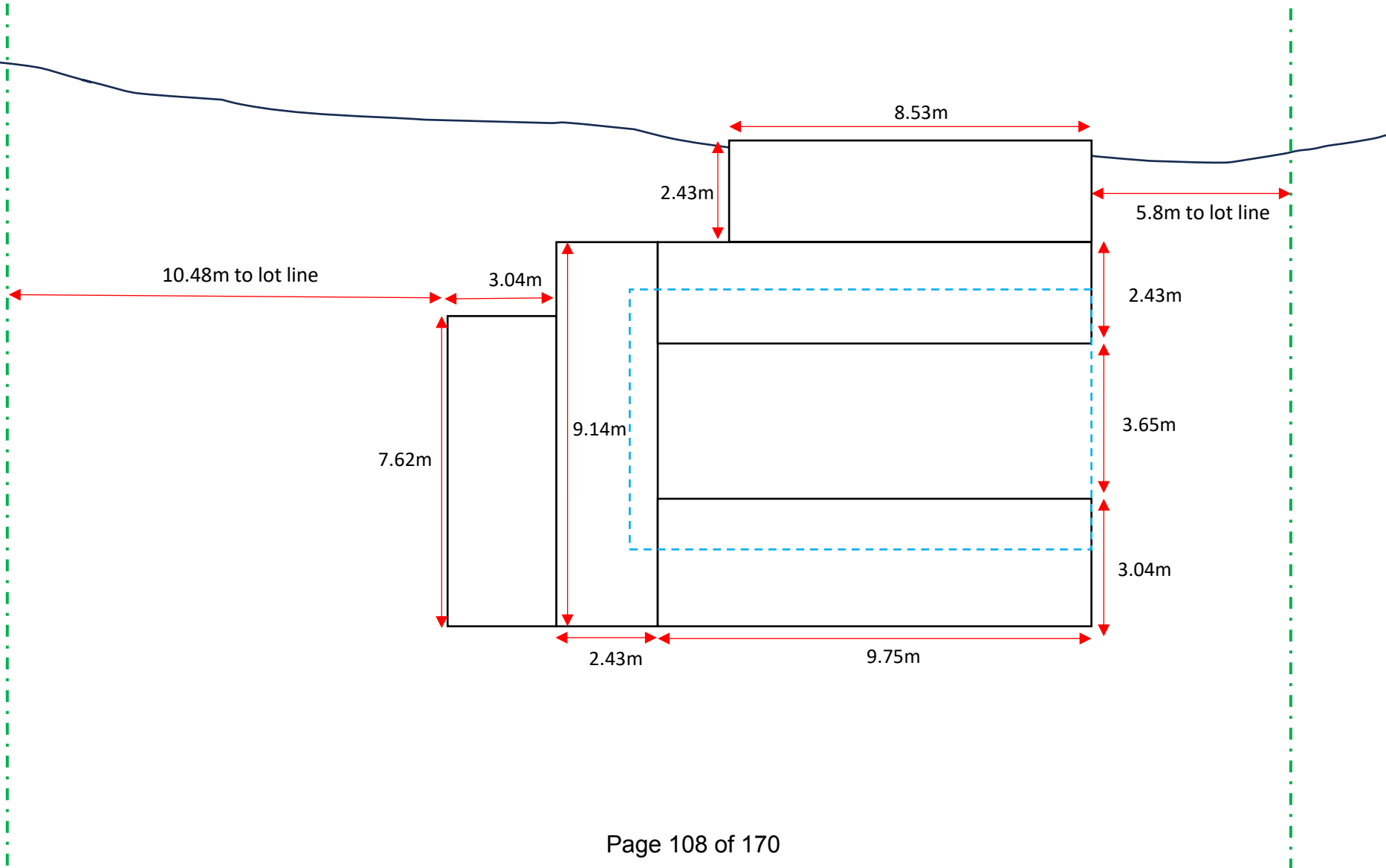
HOPKINS CHITTY
LAND SURVEYORS INC.
Ontario Land Surveyors
www.hopkinschitty.com

PROJECT No. 2025-0049
LOTS 12 & 13, REG'D PLAN 257
TOWNSHIP OF ESCOTT



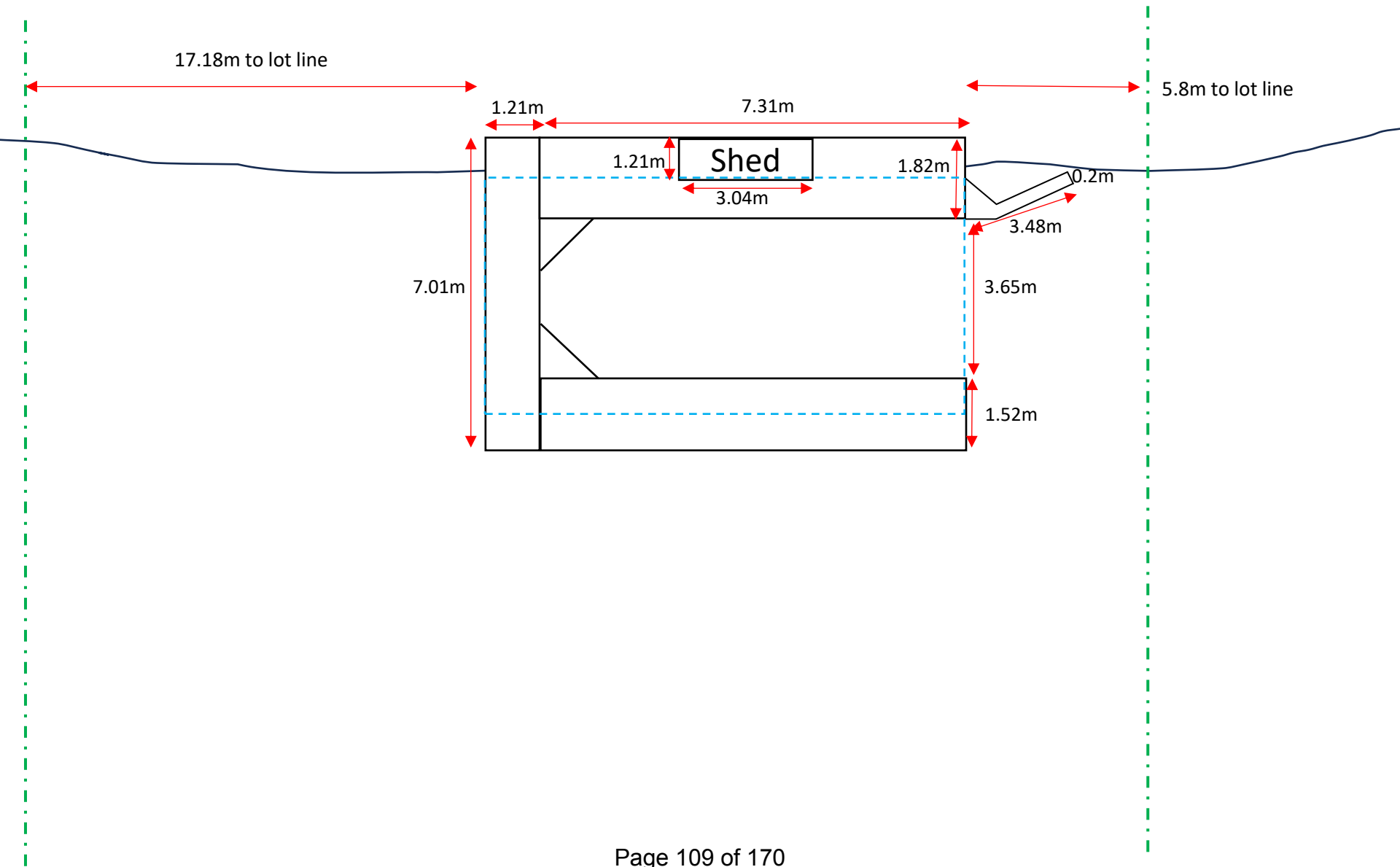
6.09m x 10.36m gable roof

33 Riverview Drive – Proposed Site Plan

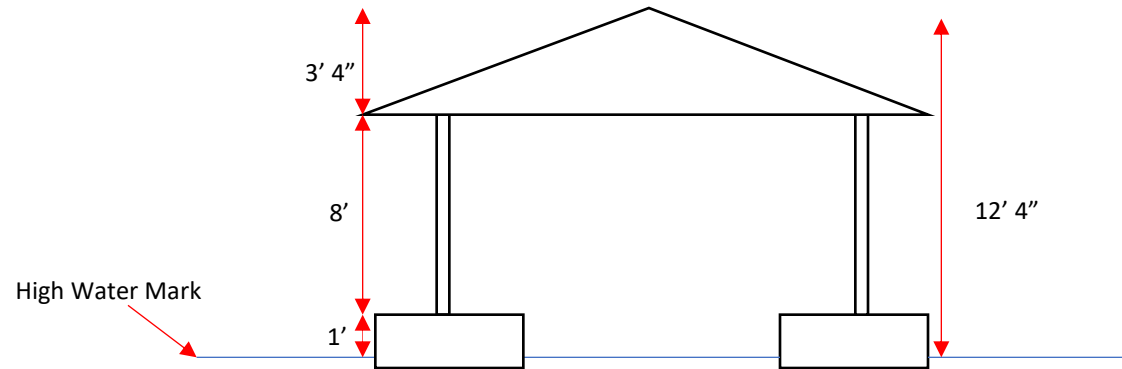


5.33m x 8.53m gable roof

33 Riverview Drive – Current



33 Riverview Drive – Proposed Boat Port Height







Township of
Leeds and the
Thousand Islands

Planning and Development Department
1233 Prince Street, P.O. Box 280
Lansdowne, ON K0E 1L0
Telephone: 613-659-2415; 866-220-2327
Fax: 613-659-3619
Email: planningtechnician@townshipleeds.on.ca

Notice of Committee of Adjustment Hearing
Permission Application
(Section 45 of the Planning Act)

Date: Tuesday, April 29, 2025

Time: 1:00 pm

Location: 1233 Prince Street, Lansdowne, ON

The hearing may be attended in person in the Council Chambers and virtually online/by phone through Zoom. Details on how to participate for both options are below.

File Number: D13-2025-015

Applicant: Donald Pedersen and Janet Pedersen

Agent: A-MACCAL Construction Tech. (Marcel Lavigne)

Location: 77 Kerry Point Road

Ward: Ward 3 (Former Front of Escott)



Key Map: property subject to application for Permission shown in blue.

Purpose of Application

The application is requesting permission to expand the floor area, size and height of an existing legal non-complying dwelling, including the addition an attached uncovered deck to be added to the east side of the existing dwelling. The existing dwelling is legal non-complying with respect to the minimum required 30-metre setback from the highwater mark of the St. Lawrence River and the minimum 30-metre front yard setback of the Shoreline Residential 'RS' zone. The existing dwelling and proposed development are located within the 120-metre influence area of the adjacent Provincially Significant Wetland.

Through application number D13-2023-033, the applicant obtained approval from the Committee of Adjustment on October 31, 2023 to expand the existing legal non-complying dwelling with two additions (sunroom and mechanical room) and an attached uncovered deck on the east side of the dwelling. The proposal regarding the expansion of the existing legal non-complying structure has since been altered, and additional floor area (beyond what was previously approved under application number D13-2023-033) is being proposed. An expansion in the height of the legal non-complying dwelling is also proposed through the current application.

| Section | Provision | Existing Dwelling | Proposed | Permission Requested |
|---------|---|--|--|--|
| - | Increase in floor area of a legal non-complying structure | 195.22 square metres (2,101.3 square feet) | Dwelling Addition: 42.1 square metres (452.65 square feet) | Total floor area of dwelling: 237.3 square metres (2,553.95 square feet) |

| Section | Provision | Existing Dwelling | Proposed | Permission Requested |
|---------|---|---|---|---|
| - | Increase in size of a legal non-complying structure | 128 square metres (1,377.8 square feet) | Attached Uncovered Decking: 9.5 square metres (102.3 square feet) | Total Attached Uncovered Decking: 9.5 square metres (102.3 square feet) |

| Section | Provision | Existing Dwelling Height | Proposed Dwelling Height | Permission Requested |
|---------|---|--------------------------|--------------------------|--|
| - | Increase in the height of a non-complying structure | 8.1 metres (26.6 feet) | 8.3 metres (27.2 feet) | Maximum Height of Dwelling: 8.3 metres (27.2 feet) |

How to Participate in the Hearing:

All comments received will become part of the public record. Comments can only be received in a written format or verbally in person/virtually. Staff are unable to accept verbal comments over the phone or in person outside of the hearing.

Anyone attending in person in the Council Chambers or virtually online/by phone through Zoom will be provided the opportunity to comment on an application. The ways to comment on an application are:

- 1. Written Comments – Email: planningtechnician@townshipleeds.on.ca
Mail: Township of Leeds and the Thousand Islands
Attention: Amanda Werner-Mackeler, Secretary-Treasurer
1233 Prince St PO Box 280
Lansdowne, ON K0E 1L0
- 2. In Person Attendance – In person attendance will be in the Council Chambers at the Township Office at 1233 Prince St, Lansdowne, ON.
- 3. Virtual/Phone Attendance – If you wish to attend virtually/by phone, you are required to register to be an attendee prior to the hearing. Once registered, you will receive a follow up email from the Clerk with the details to attend the hearing by computer or by phone. To register to attend the hearing virtually/by phone, please register online at:

https://us02web.zoom.us/webinar/register/WN_6QzIU3WFRuKSkVPQ2xde8w

If you have any issues registering online, please call 613-659-2415 x 203 before April 25, 2025 and indicate your name, phone number, email address and application you wish to speak to. Staff will register you for the hearing using your email address and you will receive a follow up email from the Clerk with the details on how to attend the hearing by computer or by phone.

Make Your Views Known

The Committee of Adjustment will make a decision on the application on the basis of information or evidence received before and during the hearing. This notice has been mailed to you, as required by the Planning Act.

You may express your support or opposition to the proposed permission by either attending the above virtual public hearing or sending a letter by mail, e-mail, or hand-delivery prior to the hearing date. Any correspondence received will become part of the public record. Only the applicant, a specified person, public body, and the registered owner of any land to which the Committee of Adjustment applies may appeal a decision to the Ontario Land Tribunal.

No specified person, public body or registered owner to which the decision would apply shall be added as a party to the hearing of the appeal unless, before the decision was made, the specified person, public body or registered owner of any land to which the decision applies made oral submissions at a statutory public meeting or written submissions to the Committee of Adjustment prior to the decision or, in the opinion of the Tribunal, there are reasonable grounds to add the specified person or public body as a party.

“Public body” and “specified person” are defined under Section 1(1) of the Planning Act.

Collection of Personal Information:

Personal information is collected in order to gather feedback and communicate with interested parties regarding this development proposal. This information is collected under the authority of the *Planning Act* and in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*. With the exception of e-mail addresses and telephone numbers, all information and comments will become part of the public record and will appear on the Township’s website. Council and Committee meetings are broadcast live over the internet on YouTube. If you speak at the meeting your voice will be heard in the broadcast. Broadcasts are archived and continue to be publicly available.

View the Application File

Additional information concerning the Permission Application is available online at <https://www.leeds1000islands.ca/en/governing/council-and-committee-calendar.aspx> or by contacting Amanda Werner-Mackeler, CPT, Secretary-Treasurer, during regular office hours at 613-659-2415 x 203 or email planningtechnician@townshipleeds.on.ca.

Receive a copy of the Committee’s Decision

The Committee of Adjustment will make a decision on the application at the meeting. To receive a copy of the Committee’s decision, you must make a written request to the Committee of Adjustment c/o Township of Leeds and the Thousand Islands, 1233 Prince Street, P.O. Box 280, Lansdowne, Ontario, K0E 1L0 or email planningtechnician@townshipleeds.on.ca.

Accessibility Information

If you are a person with a disability and need Township of Leeds and the Thousand Islands information provided in another format, please contact the Clerk’s office at 613-659-2415 x 231 or clerk@townshipleeds.on.ca.

Multi-Residential Unit Notification

If you have received this notice and you are the owner of land that contains seven or more residential units, please post this notice in a location that is visible to all of the residents.

For more information about this matter, contact Amanda Werner-Mackeler, CPT Secretary-Treasurer, at 613-659-2415 x 203 or email planningtechnician@townshipleeds.on.ca.

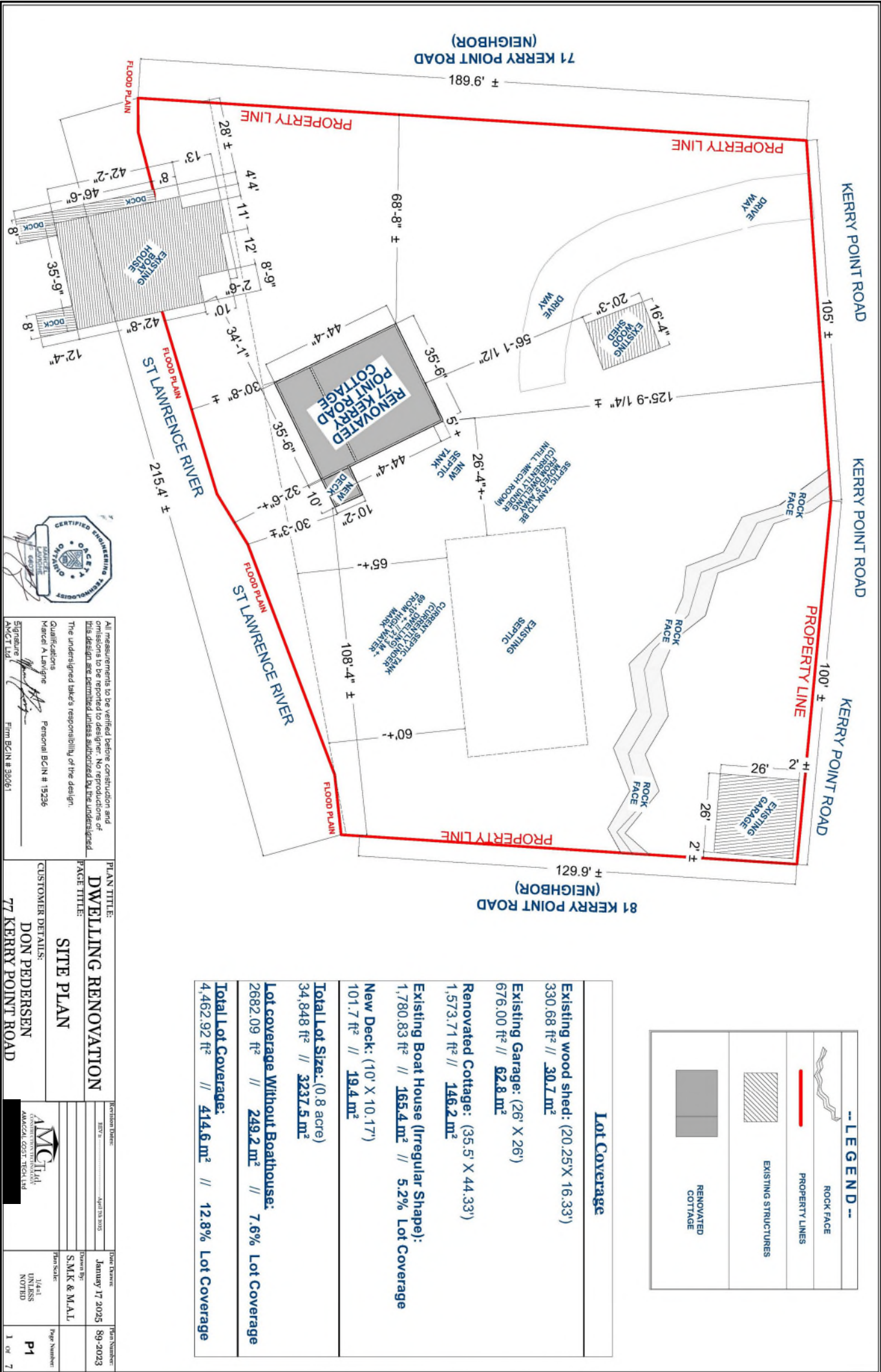
DATED at the Township of Leeds and the Thousand Islands on the 7th day of April, 2025.

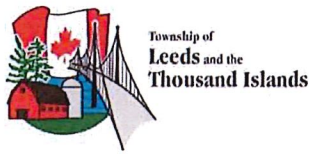
Proposed Schedule A - Proposed Plot Plan

Permission Application: D13-2025-015

Owner: Donald Pedersen and Janet Pedersen

Location: 77 Kerry Point Road





DEVELOPMENT APPLICATION
Section 41 (Site Plan Approval) and
Section 45 (Minor Variance) of the Planning Act

| OFFICE USE ONLY | | | |
|---|--|--|---|
| Application: | D13-2025-015 | Date Received: | March 13, 2025 |
| Roll Number: | 081280901039700 | Deemed Complete: | April 7, 2025 |
| Application Fee: | \$850 | <input checked="" type="checkbox"/> Cheque | <input type="checkbox"/> Cash <input type="checkbox"/> Interac <input type="checkbox"/> N/A |
| Posting of Sign By: | <input type="checkbox"/> Owner | <input checked="" type="checkbox"/> Agent | <input type="checkbox"/> Staff (\$50 Fee) <input type="checkbox"/> Other |
| Posting of Sign Fee: | <input type="checkbox"/> Cheque | <input type="checkbox"/> Cash | <input type="checkbox"/> Interac <input checked="" type="checkbox"/> N/A |
| 1. APPLICATION TYPE <i>(Check all that apply)</i> | | | |
| <input checked="" type="checkbox"/> Minor Variance Application | | | |
| <input type="checkbox"/> Site Plan Agreement | | | |
| 2. PRE-CONSULTATION <i>(Attach supporting documentation)</i> | | | |
| <input type="checkbox"/> TLTI – Staff | <input type="checkbox"/> Leeds, Grenville & Lanark Health Unit | | |
| <input checked="" type="checkbox"/> CRCA | <input type="checkbox"/> St. Lawrence Parks Commission | | |
| <input type="checkbox"/> Other: | | | |
| 3. COMPLETE APPLICATION REQUIREMENTS | | | |
| <input checked="" type="checkbox"/> Complete Application Form | | | |
| <input checked="" type="checkbox"/> Authorization of Applicant (if applicable) | | | |
| <input checked="" type="checkbox"/> Affidavit signed by a Commissioner of Oaths, Notary, etc. (Available at Office) | | | |
| <input type="checkbox"/> Township and other Agency (if applicable) Applications and Fees | | | |
| <input type="checkbox"/> Cover Letter and/or report | | | |
| <input checked="" type="checkbox"/> Survey Plan (if available) | | | |
| <input type="checkbox"/> Deed | | | |
| <input checked="" type="checkbox"/> Scaled Sketch as per Section 11 (1 hard copy (11x17 paper or less) or 1 digital copy) | | | |
| <input type="checkbox"/> Minimum Distance Separation Calculation Form (if applicable) | | | |
| <input checked="" type="checkbox"/> All Supporting Information identified through Pre-Consultation including DRT | | | |
| 4. SUBJECT LAND | | | |
| Assessment Roll Number: <u>081280901039700</u> | | | |
| Civic Address: <u>77 Kerry Point Road, Leeds And The 1000 Islands</u> | | | |
| Legal Description (Concession, Lot, Part, Reference Plan numbers): <u>Lot 15 Broken Front</u> | | | |
| Date subject land acquired by current owner: <u>2012</u> | | | |

5. REGISTERED OWNER(S)

All owners must be included. If company, identify principals. A separate page may be submitted, if needed.

Name(s): Donald Pedersen & Janet Pedersen

Company Name (if applicable):

Mailing Address:

Phone (home):

Phone (cell):

Email Address:

6. APPLICANT INFORMATION

*If an applicant is NOT the owner of the subject lands, written authorization from **all registered owner(s)** must be obtained stating that the agent is authorized to make the application (Section 13)*

6.1 Is the applicant the same as the owner?



Yes (same information as above)



No (please fill out below **and** complete Section 14 – Agreement, Authorization and Declaration)

6.2 Name(s): Marcel A. Lavigne

Company Name (if applicable): A-MACCAL Construction Tech.

Mailing Address:

Phone (home):

Phone (cell):

Phone (work):

Email Address:

7. SUBJECT LAND CHARACTERISTICS

7.1 Please list and describe any existing easements, right-of-ways or restrictive covenants that apply to the subject property (required to be shown on sketch)

NA

7.2 Site Description: (briefly describe factors that may impact the proposed development, such as soil type and depth, lot configuration, steep slopes or low-lying areas, natural feature, etc.) Existing dwelling approx. 4.85m from flood plain of st Lawrence river
Within 30m of grenadier island provincially significant wetlands

7.3 Dimensions of Subject Land

| | | | | |
|-----------------------|-------|----------|-------|-------|
| Total Lot Area: | 0.323 | hectares | 0.8 | acres |
| Lot Depth: | 53 | metres | 174 | feet |
| Lot Width (frontage): | 63.6 | metres | 206.8 | feet |

7.4 Road Access (include name) Kerry Point Road☐ Provincial Highway: N/A☐ County Road: N/A☐ Municipal Road: N/A☐ Private Right-of-Way: N/A☐ Water Only: N/A

7.5 If access to the subject land is by water only, provide details of parking and docking facilities to be used and the approximate distance of these from the subject land and the nearest public road: N/A

7.6 Servicing – Water

Existing Proposed Not Applicable

Municipal Piped Water System

☐☐☒

Privately Owned and Operated Well

☒ Dug☒☐☒☐ Drilled☐☐☒☐ Communal☐☐☒

Lake or Other Water Body: St Lawrence River

☐☐☒

Other: N/A

☐☐☒**7.7 Servicing – Sewage**

Existing Proposed Not Applicable

Municipal

☐☐☒

Privately-Owned

☒ Individual Sanitary Sewage System☒☒☐☐ Communal Sanitary Sewage System☐☐☒☐ Composting/Self-Contained Toilet☐☐☒☐ Privy☐☐☒☐ Outhouse☐☐☒

Other: (Specify) N/A

☐☐☒**7.8 Servicing – Storm Drainage**

Existing Proposed Not Applicable

Sewers

☐☐☒

Ditches

☒☐☐

Swales

☐☐☒

Other (Specify): N/A

☐☐☒

8. OFFICIAL PLAN, ZONING BY-LAW AND LAND USE INFORMATION

8.1 Official Plan Designation: Rural, Flood Plain, Provincially Significant wetland
Highly Vulnerable Aquifer

8.2 Special Policy Area: ☒ 1000 Islands ☐ Highly Sensitive Lake Trout Lake ☒ No

8.3 Zoning: Shoreline residential (RS), Adjacent to Provincially Significant wetland (PSW)

8.4 Is this a designated heritage property: ☐ Yes ☒ No

8.5 Existing Use(s): (indicate uses and length of time uses have continued)
Seasonal Cottage

8.6 Proposed Use(s):
Seasonal Cottage

8.7 Existing Use on Adjacent Lands:

North: 72 & 80 Kerry Point Road (Neighbours) South: St Lawrence River Frontage

East: 81 Kerry point Road (Neighbour) West: 71 Kerry Point Road (Neighbour)

8.8 Previous Use(s): (indicate all previous land uses on the subject land or adjacent lands including any industrial or commercial use, or if there is suspected contamination) NONE

8.9 Indicate any current or previous application under the *Planning Act* affecting the subject land:

| Application Type | File Number | File Status |
|-------------------------|--------------|-------------|
| Minor Variance | D13-2023-033 | |
| Site Plan Agreement | | |
| Zoning By-Law Amendment | | |
| Official Plan Amendment | | |
| Consent | | |
| Subdivision | | |
| Other: | DRT 2023-032 | |

☒ There have been no previous Planning Act applications affecting the subject lands

Page 5 of 12

9. REQUIRED PLANS

9.1 A detailed sketch in metric has been attached with the required information as noted in Section 9.2. ☒ Yes ☐ No

All required site plan drawings, elevations, cross-sections, grading, drainage, etc. along with the required information as noted in Section 9.3. ☒ Yes ☐ No

9.2 Sketch Requirements

For minor variance, a detailed sketch **is required**. The sketch must include:

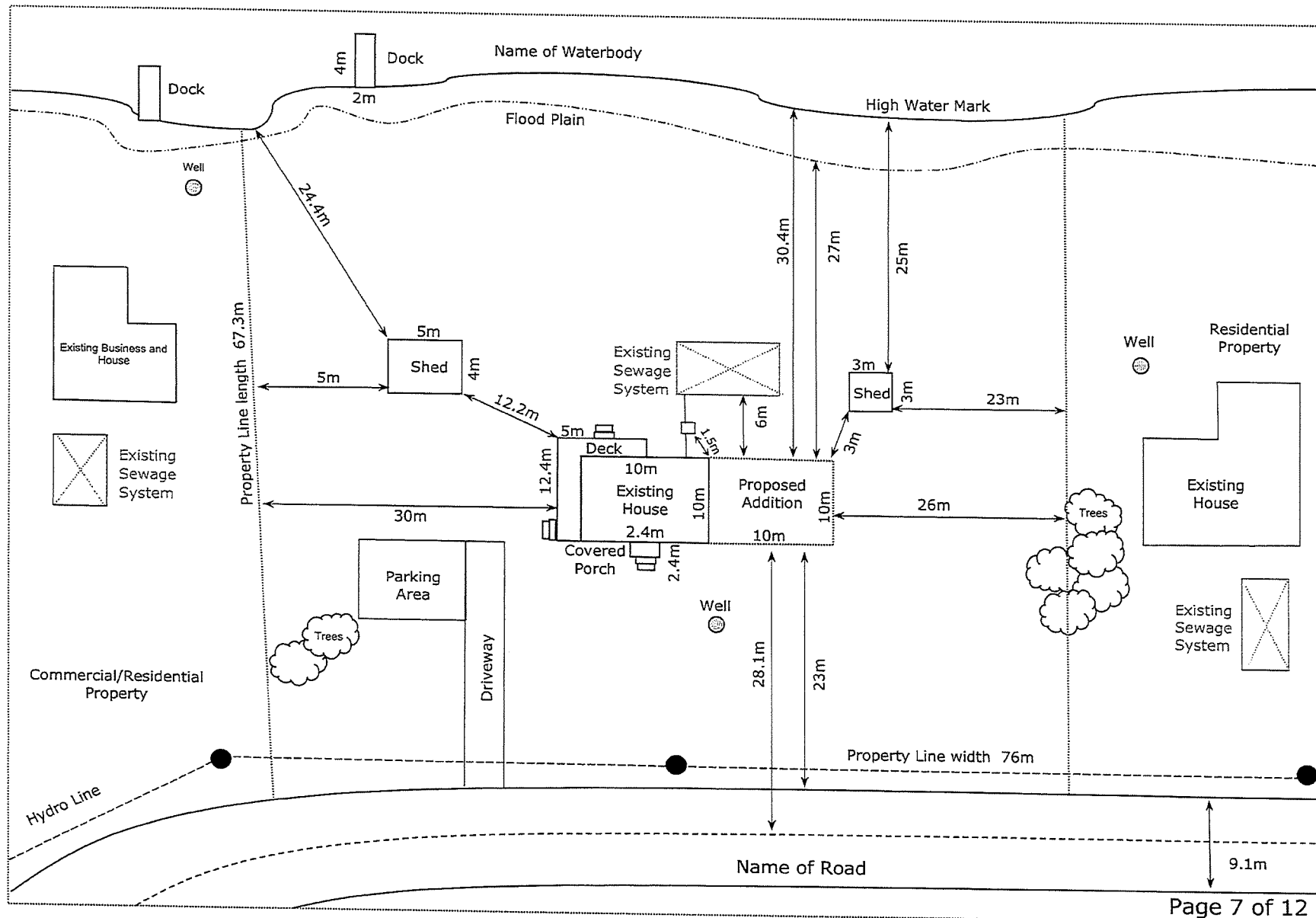
- (a) The boundaries and dimensions of the subject land.
- (b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating their distance from the front lot line, rear lot line and side lot line.
- (c) The approximate location of all natural and artificial features (for example, buildings, railways, roads, watercourses, flood plains drainage, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that:
 - (i) Are located on the subject land and on land that is adjacent to it, and
 - (ii) In the applicant's opinion, may affect the application.
- (d) The current uses of land that is adjacent to the subject land.
- (e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.
- (f) If access to the subject land will be by water only, the location of the parking and docking facilities to be used; and
- (g) The location and nature of any easement affecting the subject land.

9.3 Site Plan Requirements

In addition to Section 9.2, for site plan applications, drawings showing plan, elevation and cross-section views for each building to be erected, except a building to be used for residential purposes containing fewer than 25 dwelling units which drawings are sufficient to display,

- (a) The massing and conceptual design of the proposed building;
- (b) The relationship of the proposed building to adjacent buildings, streets and exterior areas to which members of the public have access;
- (c) The provision of interior walkways, stairs, elevators and escalators to which members of the public have access from streets, open spaces and interior walkways in adjacent buildings;
- (d) Matters relating to exterior design, including without limitation the character, scale, appearance and design features of buildings, and their sustainable design, but only to the extent that it is a matter of exterior design
- (d.1) Matters relating to exterior access to each building that will contain affordable housing units or to any part of such building, but only to the extent that it is a matter of exterior design;
- (e) the sustainable design elements on any adjoining highway under a municipality's jurisdiction, including without limitation trees, shrubs, hedges, plantings or other ground cover, permeable paving materials, street furniture, curb ramps, waste and recycling containers and bicycle parking facilities; and
- (f) facilities designed to have regard for accessibility for persons with disabilities.

9.3 SAMPLE SKETCH – Measurements, setbacks for all structures must be transcribed onto Sections 10 and 11.



DEVELOPMENT APPLICATION**10. EXISTING STRUCTURES & SETBACKS ON SUBJECT LAND** (Indicate any to be demolished)**10.1 Existing Structures in metres. Include all structures on subject land, including marine facilities and structures under 10 square metres.**

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Stories | Dimensions | | | Year Built |
|---------------------|-------------------|------------------|-------------------|-------------------|--------------------|--------|------------|
| | | | | Length | Width | Height | |
| Existing Cottage | 146.21 | | 2 | 13.5 | 10.8 | 8.07 | |
| Existing Wood Shed | 30.721 | | 1 | 6.175 | 4.978 | | |
| Existing Garage | 62.802 | | 1 | 7.925 | 7.925 | | |
| Existing Boat House | 165.444 | | 1 | 12.85 (irregular) | 10.896 (irregular) | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |

10.2 Setbacks of Existing Structures to property boundaries, shoreline, etc. in metres

| Type of Structure | Front | Side | Side | Rear | Water | Flood Plain | Public Road (center) | Right of Way (edge) | Other |
|---------------------|--------|-----------|----------|------------|------------|-------------|----------------------|---------------------|-------|
| Existing Cottage | 38.335 | (W) 20.93 | (E) 35.9 | 9.35 | 9.35 | | 39.853 | | |
| Existing Wood Shed | 13.3 | (w) 23.5 | (E) 35.7 | 35.6 | 35.6 | | 13.3 | | |
| Existing Garage | 0.610 | (w) 58.95 | (E) 0.61 | 31.669 | 31.669 | | 9.28 | | |
| Existing Boat House | 51.389 | (w) 8.534 | (E) 45.0 | (on water) | (on water) | | 48.7 | | |
| | | | | | | | | | |
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10.3 Existing Parking & Loading Spaces

Existing Number of Standard Parking Spaces: 5

Existing Number of Barrier Free Parking Spaces: 5

Existing Number of Loading Spaces: n/a

DEVELOPMENT APPLICATION**11. PROPOSED STRUCTURES & SETBACKS ON SUBJECT LAND** (Indicate any to be demolished)**11.1** Proposed Development (if any) in square metres, metres

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Stories | Dimensions | | | Year Built |
|-------------------|-------------------|------------------|-------------------|------------|-------|-------------------|------------|
| | | | | Length | Width | Height | |
| Cottage | 146.21 | | 2 | 13.5 | 10.8 | 8M 9.0 | |
| New Deck | 9.448 | | 1 | 3.099 | 3.048 | | |
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11.2 Setbacks of Proposed Structures to property boundaries, shoreline, etc. in metres

| Type of Structure | Front | Side | Side | Rear | Water | Flood Plain | Public Road (center) | Right of Way (edge) | Other |
|-------------------|--------|-----------|-----------|------|-------|-------------|----------------------|---------------------|-------|
| Cottage | 38.335 | (W) 20.93 | (E) 35.9 | 9.35 | 9.35 | 9.35 | 39.853 | | |
| New Deck | 48.768 | (W) 31.75 | (E) 33.02 | 9.35 | 9.35 | 9.35 | 49.657 | | |
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11.3 Proposed Parking & Loading Spaces

| | |
|---|-----|
| Proposed Number of Standard Parking Spaces: | 5 |
| Proposed Number of Barrier Free Parking Spaces: | 5 |
| Proposed Number of Loading Spaces: | n/a |

12. MINOR VARIANCE INFORMATION**12.1 Description of Proposal**

To renovate Old dwelling with a new interior configuration. Renovation To be on same footprint.

Renovation as per original variance with some expansion and volume on the same footprint as per drawings
sumbbited with the original variance.

12.2 Variance Requested from Zoning By-Law:

| Section | Zone Requirement | Proposed Standard | Variance Required |
|------------------|--------------------------|--------------------|-------------------|
| 3.32(b) Setbacks | setback from water | 30m water setback | yes |
| 3.32(c) Setbacks | Setback from Flood plain | within flood plain | yes |
| section 18 | PSW Zone | PSW | yes |
| | | | |
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12.3 Why is it not possible to comply with the provisions of the Zoning By-Law?

Cottage will be within 120M of PSW

Cottage will be within Flood Plain

Cottage Within 30m Water set back

The Lot Coverage Exceeds 10%

13. AUTHORIZATIONS & PERMISSION TO ENTER

All Registered Owner(s) must complete the following to authorize the applicant/agent to make the application on their behalf (if Owner is NOT the applicant) and/or to permit Council, Committees of Council, Township Staff or authorized agents to enter the subject property to conduct site inspections related to this application. If multiple owners, an authorization letter from each owner is required.

I/We DONAL H. PEDERSEN Janet M. PEDERSEN,
(name(s) of owner(s) or company)

being the registered owner(s) of the subject property of this application:

- ☒ Hereby authorize the following person(s) to act as our agent to prepare, submit the application and pay any associated fees on my/our behalf (if applicable):

Marcel A. Lavigne

(Name of Applicant(s)/Authorized Agent(s))

- ☒ Hereby authorize Council, Committees of Council, and Township Staff or authorized agents to enter the subject property without notice to conduct site inspections related to this application.
- ☒ Agree to ensure that any driveway/lanes are accessible during the circulation period of the application so that Committee members, Township staff and other agencies do not have any barriers blocking access to the subject land. Island properties will require a boat ride, which is to be provided by the owner/agent. If applicable, Township Staff will make arrangements for the most suitable date and time.
- ☒ Agree to post any required signage on site, which is prepared by Township Staff, with respect to this application in the requested timeframe of the Planning Act and upon notification by Township Staff. I/We also agree to provide photographic evidence of the posted sign at the request of Township Staff.
- ☒ Agree to stake the area of any proposed construction a minimum of 1 week prior to the hearing/meeting date of your application.
- ☒ Have included the written approval of all surveyors, designers, etc. that designed any documents, plot plans etc. to allow the Township to use their plan(s) in the notice or hearing and other documents which are viewable by the public.
- ☒ Hereby acknowledge and provide my consent, in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, that the information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Signature(s): Donal H. Pedersen

Janet M. Pedersen

Date: 17 March 2025

14. AGREEMENT TO INDEMNIFY & STATUTORY DECLARATIONI/We, Marcel A. Lavigne

(name of owner, applicant or authorized agent)

Of the Township of Augusta

(name of Municipality)

In the United Counties of Leeds and Grenville

(name of County)

Hereby agree to indemnify and save harmless The Corporation of the Township of Leeds and Thousand Islands (the "Municipality") from all costs and expenses that the Municipality may incur in connection with the processing of the applicant's application for approval under the Planning Act.

Without limiting the foregoing, such costs and expenses will include all legal, engineering, planning, advertising and consulting fees and charges incurred or payable by the Municipality to process the application together with all costs and expenses arising from or incurred in connection with the Municipality being required, or requested by the applicant, to appear at the hearing of any appeal to the Local Planning Appeal Tribunal from any decision of the Council approving the applicant's application.

I/We acknowledge and agree that if any amount owing to the Municipality in respect of the application is not paid when due, the Municipality will not be required to process or to continue processing the application, or to appear before the Local Planning Appeal Tribunal in support of a decision approving the application until the amount has been paid in full.

I/We further acknowledge and agree that any amount owing by the applicant to the Municipality is, when due, a debt of the applicant and the Municipality may, in addition to any other remedies available to it at law, recover the amount owing together with interest from the applicant by action.

I/We solemnly declare that all of the above statements contained herein and all exhibits transmitted herewith including this application and any required document attached hereto are true, and I/We make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Signature(s): Declared before me at the: Township of Leeds and the Thousand Islands

(name of municipality)

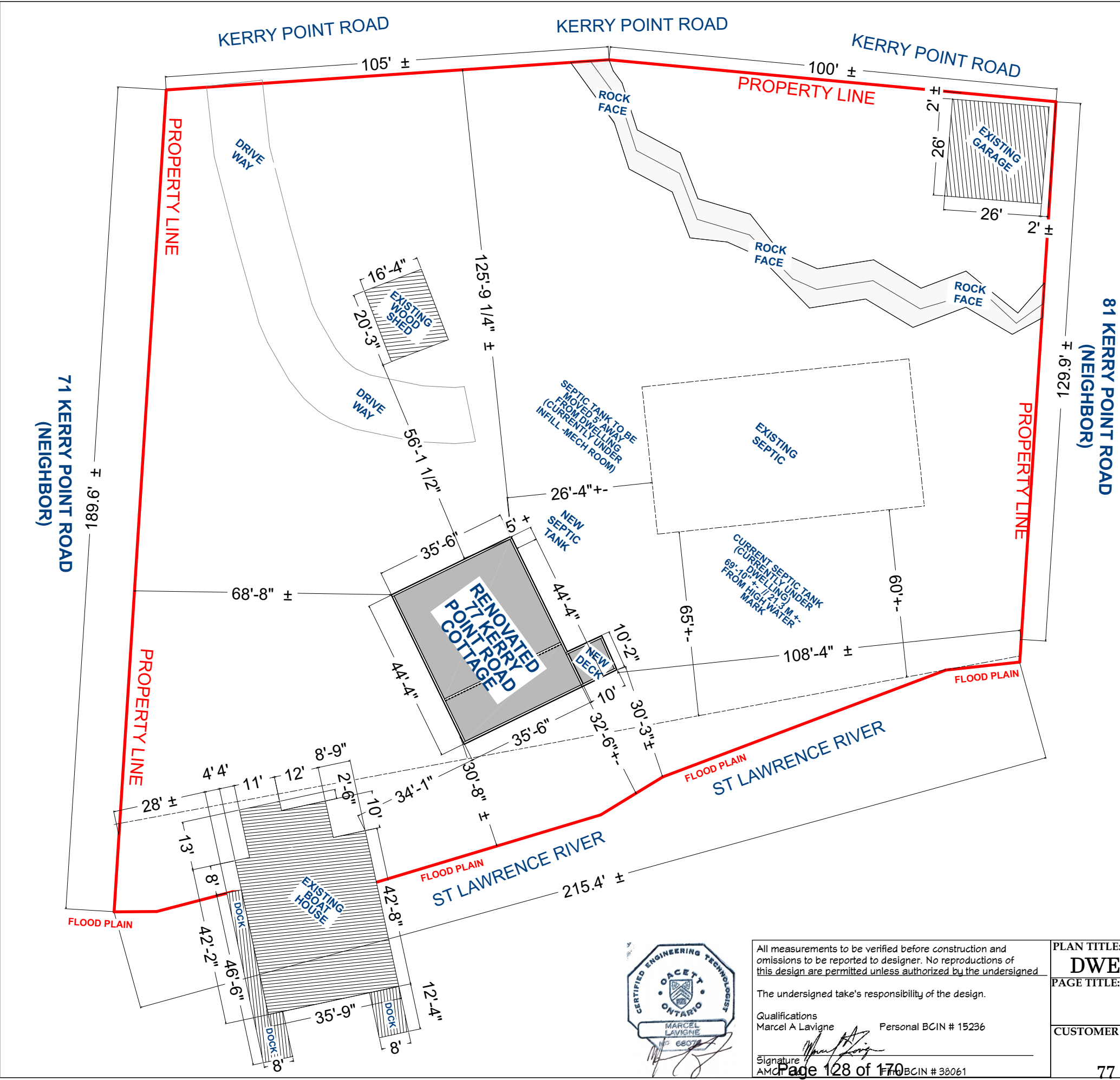
in the United Counties of Leeds and Grenville

(name of County)

This 13th day of March, 2025.
Signature of Commissioner of Oaths, etc.

AMANDA ZORA WERNER-MACKELER,
a Commissioner, etc., Province of Ontario,
the Corporation of the Township of Leeds
and the Thousand Islands.
Expires August 18, 2025.

(Official Stamp of Commissioner of Oaths)



| -- LEGEND -- | |
|--------------|---------------------|
| | ROCK FACE |
| | PROPERTY LINES |
| | EXISTING STRUCTURES |
| | RENOVATED COTTAGE |

| Lot Coverage |
|---|
| Existing wood shed: (20.25'X 16.33') 330.68 ft² // 30.7 m² |
| Existing Garage: (26' X 26') 676.00 ft² // 62.8 m² |
| Renovated Cottage: (35.5' X 44.33') 1,573.71 ft² // 146.2 m² |
| Existing Boat House (Irregular Shape): 1,780.83 ft² // 165.4 m² // 5.2% Lot Coverage |
| New Deck: (10' X 10.17') 101.7 ft² // 19.4 m² |
| Total Lot Size: (0.8 acre) 34,848 ft² // 3237.5 m² |
| Lot coverage Without Boathouse: 2682.09 ft² // 249.2 m² // 7.6% Lot Coverage |
| Total Lot Coverage: 4,462.92 ft² // 414.6 m² // 12.8% Lot Coverage |



All measurements to be verified before construction and omissions to be reported to designer. No reproductions of this design are permitted unless authorized by the undersigned

The undersigned take's responsibility of the design.

Qualifications
Marcel A Lavigne Personal BCIN # 15236

Signature *Marcel Lavigne*
AMCT Ltd. BCIN # 38061

PLAN TITLE:
DWELLING RENOVATION

PAGE TITLE:
SITE PLAN

CUSTOMER DETAILS:
DON PEDERSEN
77 KERRY POINT ROAD

| | | |
|---|--|-------------------------------------|
| Revision Dates: REV 1:April 7th 2025 | Date Drawn: January 17 2025 | Plan Number: 89-2023 |
| | Drawn By: S.M.K & M.A.L | |
| | Plan Scale: 1/4=1 UNLESS NOTED | Page Number: P1 1 of 7 |

GENERAL NOTES

FINISHES
INTERIOR AND EXTERIOR FINISHES SHALL BE DECIDED BY OWNER.
ALL APPLIANCE AND COUNTERS ARE FOR SPACE EVALUATION ONLY NOT FOR CONSTRUCTION.

FRAMING
USE SPF NO. 1-2 FOR FRAMING.
ALL NAILING AS PER OBC 2012.
FRAME FIRST FLOOR BEFORE BACKFILL.
ALL JOIST HANGERS ARE TO BE FASTENED BY JOIST HANGER NAILS OR STRUCTURAL SCREWS AS PER MANUFACTURE REQUIREMENTS.
FLOOR SHEETING SHALL BE 5/8" T.G PLYWOOD OR EQUIVALENT.
ROOF SHEETING SHALL BE T.G PLYWOOD OR EQUIVALENT.
ALL EXTERIOR FRAMING MATERIAL AND DECK SURFACING SHALL BE PRESSURE TREATED OR EQUAL.
ALL BEAMS SHALL BE NAILED AS PER OBC REQUIREMENT.

FRAMED WALL COMPOSITION
SIDING BY OWNER
1" ISO FOAM
7/16" OSB
2" X 6" @ 16"CC
R22 BATT INSULATION
6 MILL POLY V.B
1/2" DRYWALL OR EQUAL.

FOUNDATION
EXCAVATE TO OBTAIN 4' FROST COVER UNDER FOOTINGS MINIMUM
SET FOOTINGS ON UNDISTURBED SOIL
ASSURE THAT THERE IS NO WATER IN EXCAVATION
INSTALL REINFORCING AS PER DETAILS IN FOOTING & FOUNDATION
ALLOW 48 HOURS CURING BEFORE INSTALLING WATER RESISTANT MEMBRANE
INSTALL BIG 0 AND CLEAR STONE
INSTALL DRAINAGE LAYER OR BACKFILL WITH CLEAR SAND
ALLOW 5 DAYS OF CURING BEFORE BACKFILL
INSTALL FIRST FLOOR FRAMING BEFORE BACKFILL SONATUBES AND BIG FOOTS AS PER DETAILS
ALL CONCRETE SHALL BE IN CONFORMANCE WITH OBC REQUIREMENTS

FOOTINGS
FOOTINGS ARE TO BE INSTALLED ON UNDISTURBED SOIL, COMPACTED GRANULAR OR BE SPECIFIED BY QUALIFIED ENGINEER.
THE REQUIRED FROST PROTECTION IS 4' COVER.

GRADE
THE GRADE AROUND THE PERIMETER OF THE DWELLING SHALL SLOPE AWAY FROM THE HOUSE AT A 2% SLOPE.

CONCRETE & SLABS
ALL SIDEWALKS OR EXTERIOR SLABS SHALL BE 32 MPA WITH 5 TO 8% AIR ENTRAINED.
HOUSE SLAB 4" TO 6" 25 MPA MIN.
CONTROL JOINTS @ 15' INTERVAL MIN. 1/4 OF SLAB DEPTH TYP.
WHEN CONCRETE IS PLACED IN COLD TEMPERATURE IT SHALL BE COVERED AND KEPT AT 10 DEGREES C FOR 12 HOURS.

ATTIC SPACE
R60 INSULATION OR BETTER
MOORE VENTS ARE REQUIRED AT ALL TRUSS OR RAFTERS BOTH ENDS.
VENTILATION TO BE SUPPLIED BY CONTINUOUS RIDGE VENT.

WINDOWS AND DOORS
ALL WINDOWS AND DOOR OPENINGS ARE TO BE IN COMPLIANCE WITH ENERGY EFFICIENCY DESIGN AND NEEDS TO MEET SB12 REQUIREMENTS IN THE 2012 ONTARIO BUILDING CODE. ADJUST WINDOW WELL HEIGHT TO MATCH REQUIRED GRADE AND SLOPE AWAY FROM THE DWELLING.
WINDOW AND DOOR SCHEDULE ON PLANS **PAGE A1**

METAL ROOF
METAL ROOF, 24 GAUGE OR BETTER.
STRAPPING 1" X 4" SPACED AT 16" CC.
7/16 OSB TO CONTROL CONDENSATION.
FELT AT BOTTOM OF TIN TO PREVENT INSECTS TO ENTER RIBS.
SLIDING ICE PROTECTION 16" FROM BOTTOM.
R60 INSULATION.
6 MILL POLY V.B
3" STRAPPING OR EQUAL.
1/2" DRYWALL OR EQUAL.

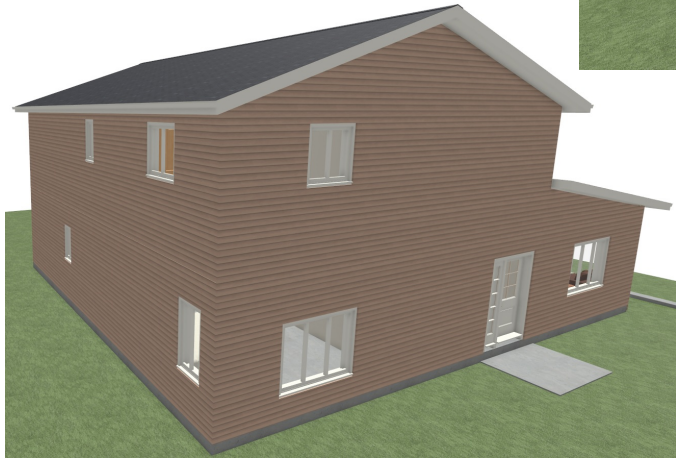
DECKS
5/4" P.T DECKING.
2" X 8" P.T JOISTS.
3 - PLY 2" X 8" PT BEAMS.
6" X 6" P.T COLUMNS.
2" X 8" LEDGER BOARD BOLTED TO HOUSE.
DECK BLOCKS ONLY TO BE USED IF THE COLUMNS ARE SHORTER THAN 3' AND NOT ATTACHED TO A STRUCTURE.
DECK MAY BE SECURED TO HOUSE BUT NOT SUPPORTED BY THE HOUSE STRUCTURE IF DECK BLOCKS ARE USED.

RADON
VERIFY WITH LOCAL BUILDING DEPARTMENT IF RADON REMEDIAL IS REQUIRED.
RADON REMEDIAL AS DETAILED AS **R1-R3** ON PLANS **PAGE D1**.

RAILINGS
INTERIOR RAILINGS SHALL BE 36".
EXTERIOR RAILINGS SHALL BE 36" WHEN ABOVE 23 5/8" FROM GROUND UP TO 5'11".
A RAILING SHALL BE 42" WHEN THE WALKING SURFACE IS HIGHER THAN 5'11" FROM GROUND.
WINDOWS OPENING MORE THAN 4" AND ARE LOWER THAN 17" FROM FLOOR WITH A SEPARATION LARGER THAN 24" FROM GROUND SHALL BE PROTECTED BY A GUARD.
ALL RAILINGS AND GUARDS ARE TO BE IN CONFORMANCE WITH 9.8 OF THE 2012 ONTARIO BUILDING CODE
RAILING DETAIL **T1-T2** ON PLANS **PAGE D1**

SMOKE & CO
THE SMOKE ALARM AND CARBON DETECTOR SHALL BE IN CONFORMANCE WITH 9.35. 4 AND 9. 10. 19 OF THE 2012 ONTARIO BUILDING CODE.

EXTRA INFO
SCHEDULE 1-----**PAGE F1**
ENERGY EFFICIENCY DESIGN----- **PAGE F1**



NOTE: WINDOWS & DOORS SCHEDULE FOR OPENING SIZE ONLY WINDOWS BY OTHERS.
DOOR AND WINDOW SCHEDULE TO BE EVALUATED AT OWNERS REQUEST AND BE IN COMPLIANCE WITH SB12 IN VOL 2. OF THE 2012 ONTARIO BUILDING CODE.

| WINDOW SCHEDULE | | | | | | | | | |
|-----------------|-----|-------|-----|---------------|-------------------------|---------------------|---------|--------------|--------|
| NUMBER | QTY | FLOOR | R/O | DESCRIPTION | HEADER | HEIGHT | WIDTH | AREA, ACTUAL | |
| W01 | 9 | 1 | | 38"X64" | SINGLE CASEMENT-HL | 2"X6"X41" (2) | 62" | 36" | 15.5 |
| W02 | 2 | 2 | | 38"X38" | RIGHT SLIDING | 2"X6"X41" (2) | 36" | 36" | 9 |
| W03 | 3 | 2 | | 38"X38" | DOUBLE CASEMENT-LHL/RHR | 2"X6"X41" (2) | 36" | 36" | 9 |
| W04 | 1 | 1 | | 66"X50" | TRIPLE CASEMENT-LHL/RHR | 2"X8"X69" (2) | 48" | 64" | 21.33 |
| W05 | 1 | 1 | | 25 15/16"X50" | DOUBLE CASEMENT-LHL/RHR | 2"X6"X28 15/16" (2) | 48" | 23 15/16" | 7.97 |
| W06 | 1 | 2 | | 20"X38" | DOUBLE CASEMENT-LHL/RHR | 2"X6"X23" (2) | 36" | 18" | 4.5 |
| W07 | 1 | 2 | | 49 7/8"X38" | DOUBLE CASEMENT-LHL/RHR | 2"X8"X52 7/8" (2) | 36" | 47 7/8" | 11.96 |
| W08 | 1 | 1 | | 20"X38" | DOUBLE CASEMENT-LHL/RHR | 2"X6"X23" (2) | 36" | 18" | 4.5 |
| W09 | 1 | 1 | | 15 1/16"X83" | EXT. FIXED-DOOR SL04 | 2"X6"X18 1/16" (2) | 80" | 13 1/16" | 7.27 |
| W10 | 1 | 1 | | 50"X32 3/4" | DOUBLE HUNG | 2"X8"X53" (2) | 30 3/4" | 48" | 10.26 |
| TOTALS: | | | | | | | | | 252.29 |

| DOOR SCHEDULE | | | | | | | | | | |
|---------------|-----|-------|----------|--------|------------------|-----------------------|--------------------|--------|----------|--------------|
| NUMBER | QTY | FLOOR | WIDTH | HEIGHT | R/O | DESCRIPTION | HEADER | HEIGHT | WIDTH | AREA, ACTUAL |
| D01 | 5 | 2 | 30" | 80" | 32"x82 1/2" | HINGED-DOOR P04 | 2"x6"x35" (2) | 80" | 30" | 16.67 |
| D02 | 6 | 1 | 30" | 80" | 32"x82 1/2" | HINGED-DOOR P04 | 2"x6"x35" (2) | 80" | 30" | 16.67 |
| D03 | 1 | 1 | 36 3/4" | 80" | 38 3/4"x82 1/2" | 4 DR. BIFOLD-LOUVERED | 2"x6"x41 3/4" (2) | 80" | 36 3/4" | 20.41 |
| D04 | 2 | 1 | 48" | 80" | 50"x82 1/2" | SLIDER-DOOR P04 | 2"x8"x53" (2) | 80" | 48" | 26.67 |
| D06 | 1 | 1 | 30" | 80" | 61 1/4"x82 1/2" | POCKET-DOOR P04 | 2"x8"x64 1/4" (2) | 80" | 30" | 16.67 |
| D07 | 1 | 2 | 30" | 80" | 61 1/4"x82 1/2" | POCKET-DOOR P04 | 2"x8"x64 1/4" (2) | 80" | 30" | 16.67 |
| D08 | 1 | 1 | 36" | 80" | 38"x83" | EXT. HINGED-DOOR E02 | 2"x6"x41" (2) | 80" | 36" | 20 |
| D09 | 1 | 2 | 44 1/8" | 80" | 46 1/8"x82 1/2" | 4 DR. BIFOLD-LOUVERED | 2"x6"x49 1/8" (2) | 80" | 44 1/8" | 24.5 |
| D10 | 1 | 2 | 20 1/2" | 80" | 22 1/2"x82 1/2" | 2 DR. BIFOLD-LOUVERED | 2"x6"x25 1/2" (2) | 80" | 20 1/2" | 11.39 |
| D11 | 2 | 2 | 64 9/16" | 80" | 66 9/16"x82 1/2" | SLIDER-DOOR P04 | 2"x8"x69 9/16" (2) | 80" | 64 9/16" | 35.85 |
| D12 | 1 | 1 | 32 1/16" | 80" | 34 1/16"x82 1/2" | 4 DR. BIFOLD-LOUVERED | 2"x6"x37 1/16" (2) | 80" | 32 1/16" | 17.81 |
| TOTALS: | | | | | | | | | | 435.86 |

| EXTERIOR DOOR SCHEDULE | | | | | | | | | |
|------------------------|-----|-------|--------------------------------|----------------|--------|-------|--------------|--|--|
| NUMBER | QTY | FLOOR | DESCRIPTION | HEADER | HEIGHT | WIDTH | AREA, ACTUAL | | |
| G01 | 1 | 1 | EXT. TRIPLE SLIDER-GLASS PANEL | 2"X10"X95" (2) | 80" | 90" | 60 | | |
| G02 | 1 | 1 | EXT. HINGED-DOOR E21 | 2"X6"X39" (2) | 80" | 34" | 18.89 | | |

NOTE: ALL LINTELS SUPPORTING ROOF WITH A SPAN EXCEEDING 32 FEET: LINTELS SHALL BE LVL BY TRUSS MANUFACTURER AND DOUBLE JACK FOR SUPPORT

****All construction shall meet the requirements of the 2012 Ontario Building Code and Common construction practices.****

| Table 9.8.4.1. Rise for Rectangular Treads, Tapered Treads and Winders and Run for Rectangular Treads | | | | | |
|--|-------------------------------|--|--|---|---|
| Forming Part of Sentences 9.8.4.1.(1) and 9.8.4.2.(1) | | | | | |
| Item | Column 1 Stair Type | Column 2 Max. Rise, mm, for All Steps | Column 3 Min. Rise, mm, for All Steps | Column 4 Max. Run, mm, for Rectangular Treads | Column 5 Min. Run, mm, for Rectangular Treads |
| 1. | Private stairs ⁽¹⁾ | 200 | 125 | 355 | 255 |
| 2. | Public stairs ⁽²⁾ | 180 | 125 | no limit | 280 |

| FLOOR AREAS | |
|-------------------------|----------------------|
| Total First Floor----- | 1573 ft ² |
| Second Floor----- | 1005 ft ² |
| New East Side Deck----- | 105 ft ² |

9.5.2.3. Stud Wall Reinforcement

- (1) If wood wall studs or sheet steel wall studs enclose the main bathroom in a dwelling unit, reinforcement shall be installed to permit the future installation of the following:
- (a) for a water closet, a grab bar described in Clauses 3.8.3.8.(3)(a) and a grab bar described in Clause 3.8.3.8.(3)(c),
- (b) for a shower, a grab bar described in Clause 3.8.3.13.(2)(f), and
- (c) for a bathtub, a grab bar described in Clause 3.8.3.13.(4)(c).



All measurements to be verified before construction and omissions to be reported to designer. No reproductions of this design are permitted unless authorized by the undersigned

The undersigned take's responsibility of the design.

Qualifications
Marcel A Lavigne Personal BCIN # 15236

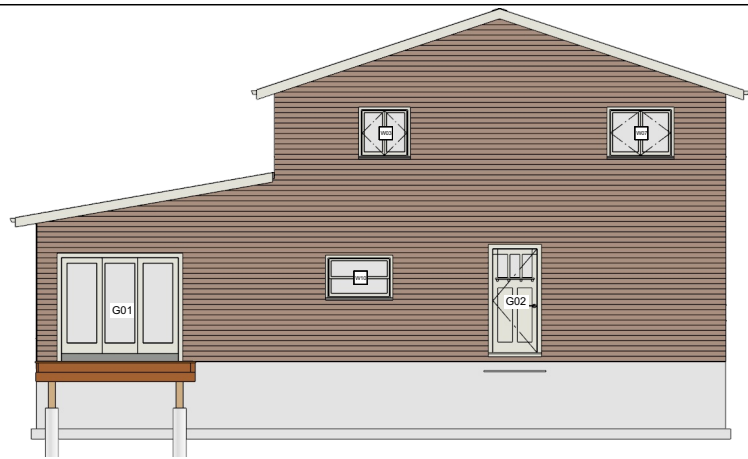
Signature _____
AMC Page 129 of 170 BCIN # 38061

PLAN TITLE:
DWELLING RENOVATION

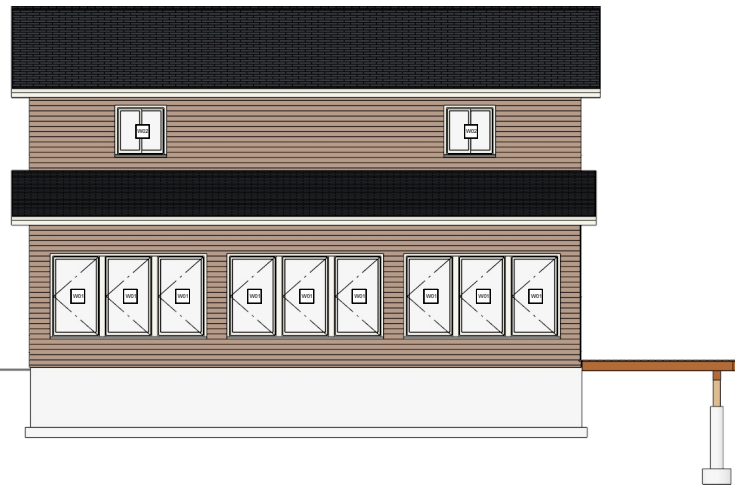
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GENERAL NOTES

CUSTOMER DETAILS:
DON PEDERSEN
77 KERRY POINT ROAD

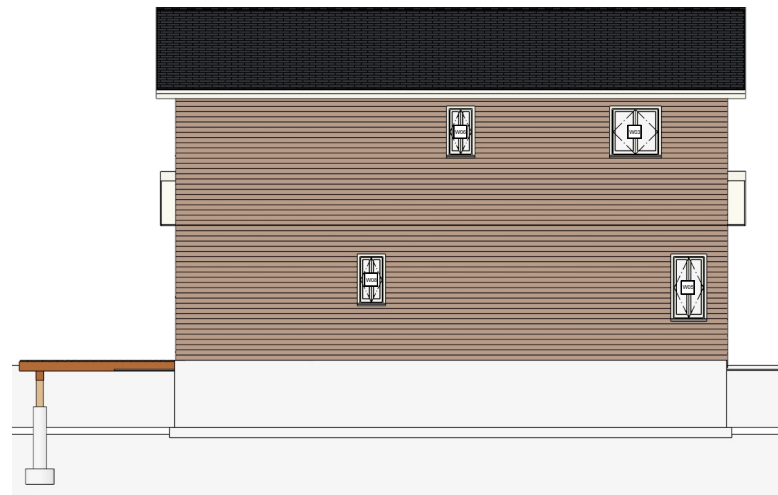
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| Revision Dates: REV 1:April 7th 2025 | Date Drawn: January 17 2025 | Plan Number: 89-2023 |
| | Drawn By: S.M.K & M.A.L | |
| | Plan Scale: 1/4=1 UNLESS NOTED | Page Number: A1 2 of 7 |



Elevation One
Scale: 1/12-12



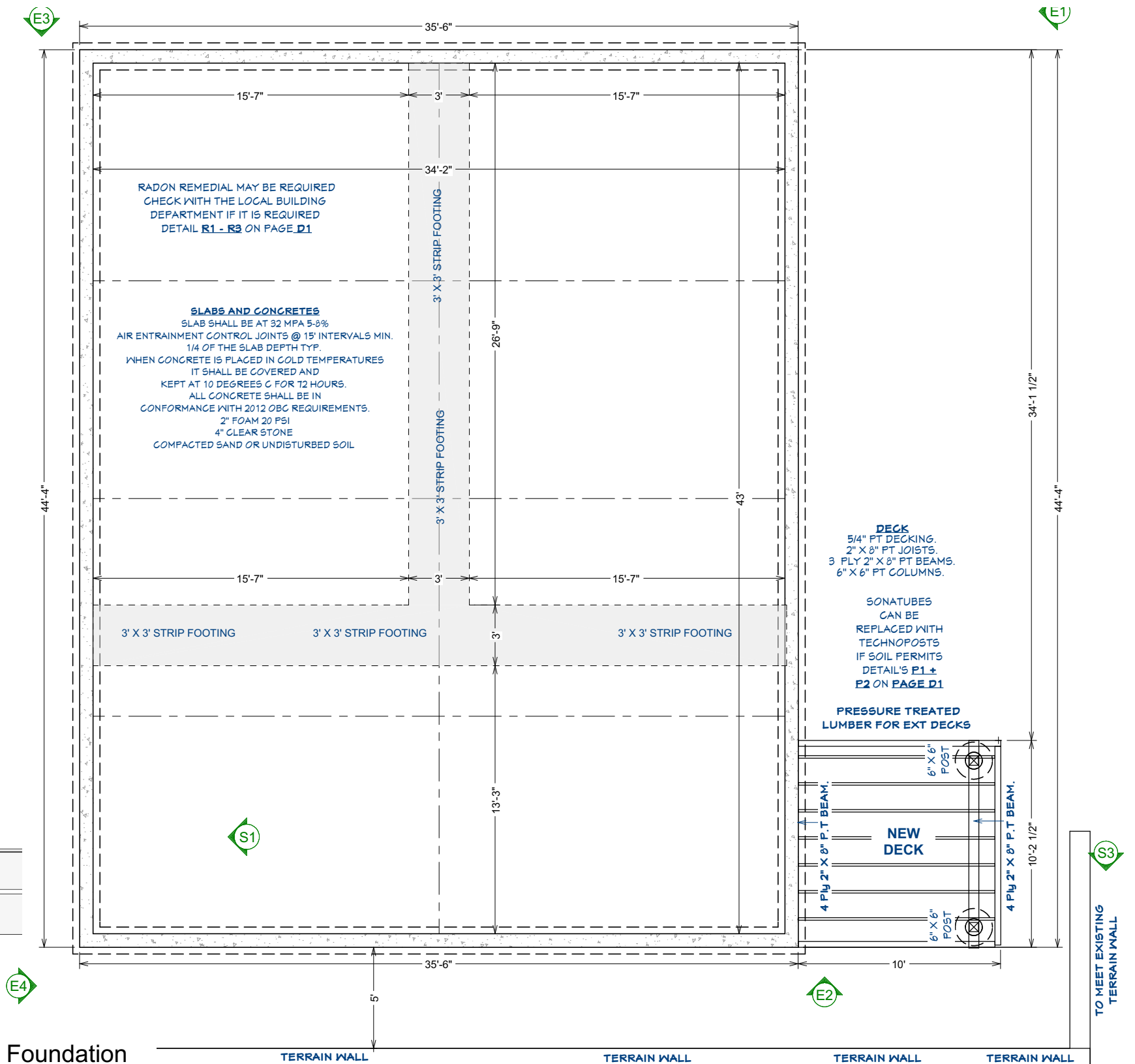
Elevation Two
Scale: 1/12-12



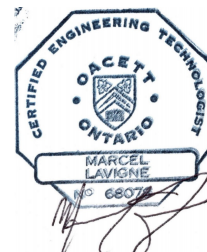
Elevation Three
Scale: 1/12-12



Elevation Four
Scale: 1/12-12



Foundation
Scale: 1/6-12



All measurements to be verified before construction and omissions to be reported to designer. No reproductions of this design are permitted unless authorized by the undersigned.

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Qualifications
Marcel A Lavigne Personal BCIN # 15236

Signature
AMC

Page 130 of 170
BCIN # 38061

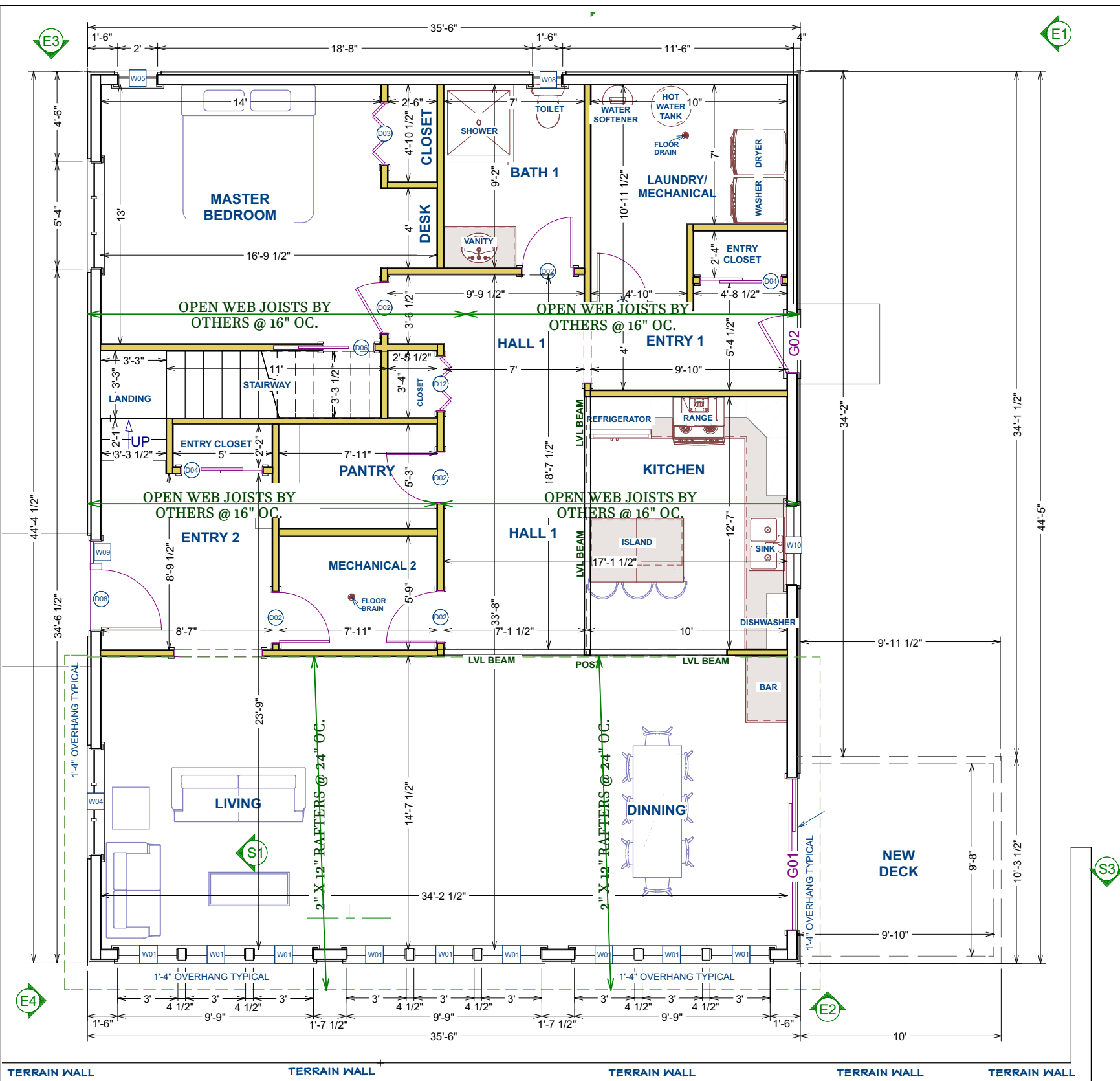
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DWELLING RENOVATION

PAGE TITLE:
FOUNDATION

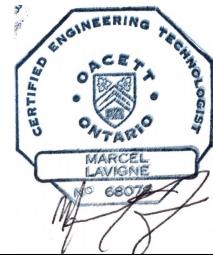
CUSTOMER DETAILS:
DON PEDERSEN
77 KERRY POINT ROAD

| | | |
|--|--|-------------------------------------|
| Revision Dates: REV 1: April 7th 2025 | Date Drawn: January 17 2025 | Plan Number: 89-2023 |
| | Drawn By: S.M.K & M.A.L | |
| | Plan Scale: 1/4=1 UNLESS NOTED | Page Number: S1 3 of 7 |





First Floor
Scale: 1/6-12



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Qualifications
Marcel A Lavigne Personal BCIN # 15236

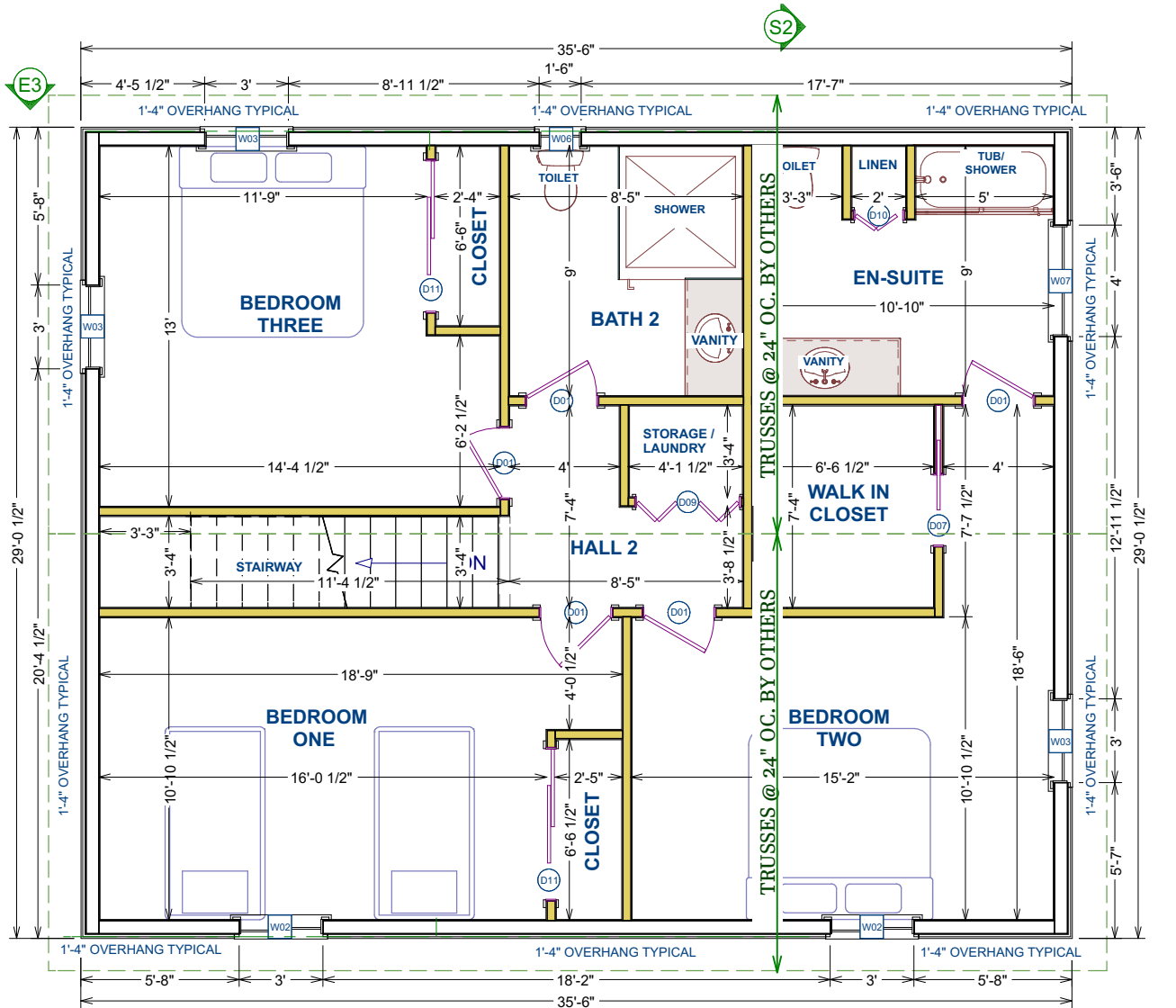
Signature *Marcel A Lavigne*
AMCT Ltd. BCIN # 38061

PLAN TITLE:
DWELLING RENOVATION

PAGE TITLE:
FIRST & SECOND FLOOR

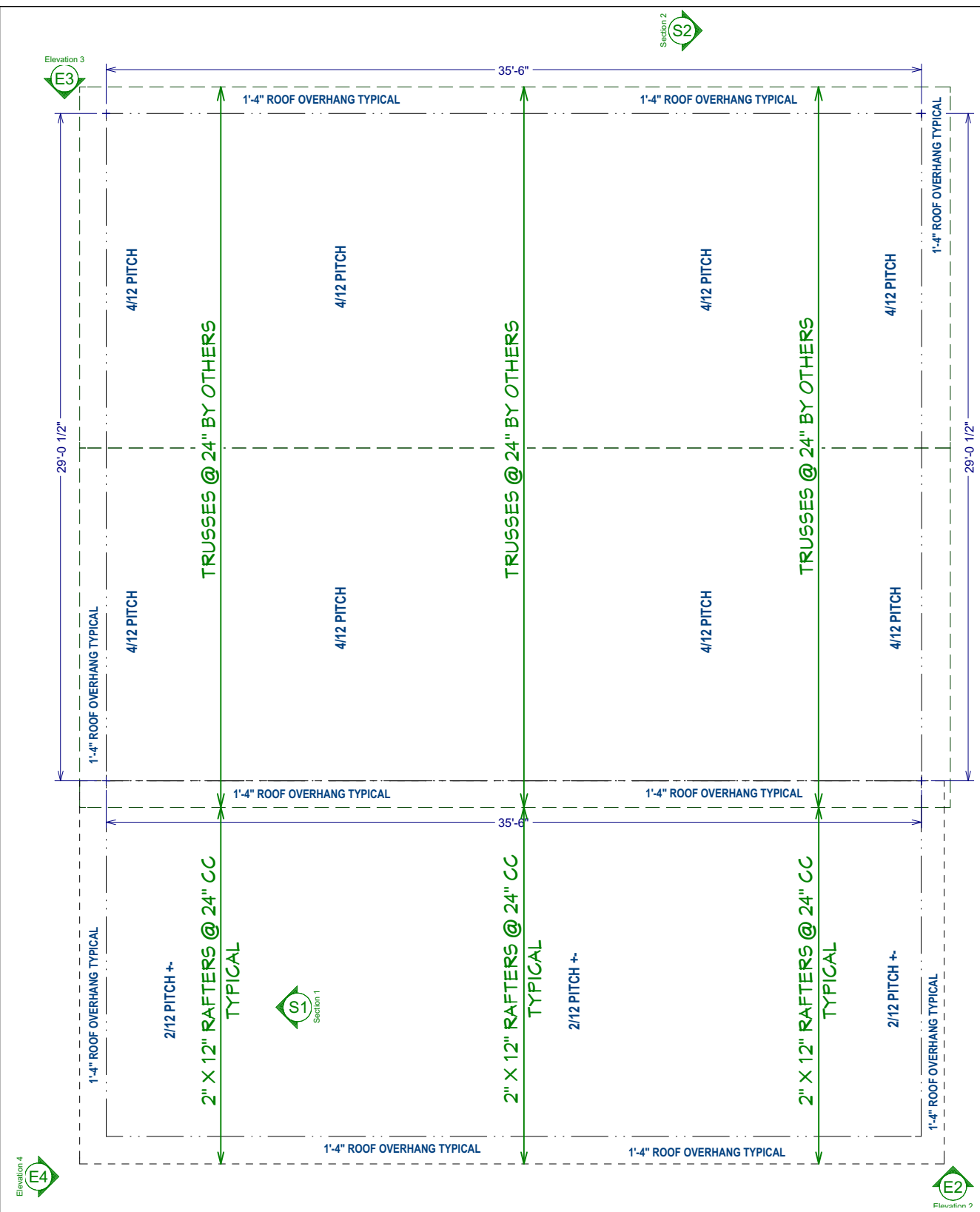
CUSTOMER DETAILS:
DON PEDERSEN
77 KERRY POINT ROAD

| | | |
|--|--|-------------------------------------|
| Revision Dates: REV 1: April 7th 2025 | Date Drawn: January 17 2025 | Plan Number: 89-2023 |
| | Drawn By: S.M.K & M.A.L | |
| | Plan Scale: 1/4=1 UNLESS NOTED | Page Number: S2 4 of 7 |

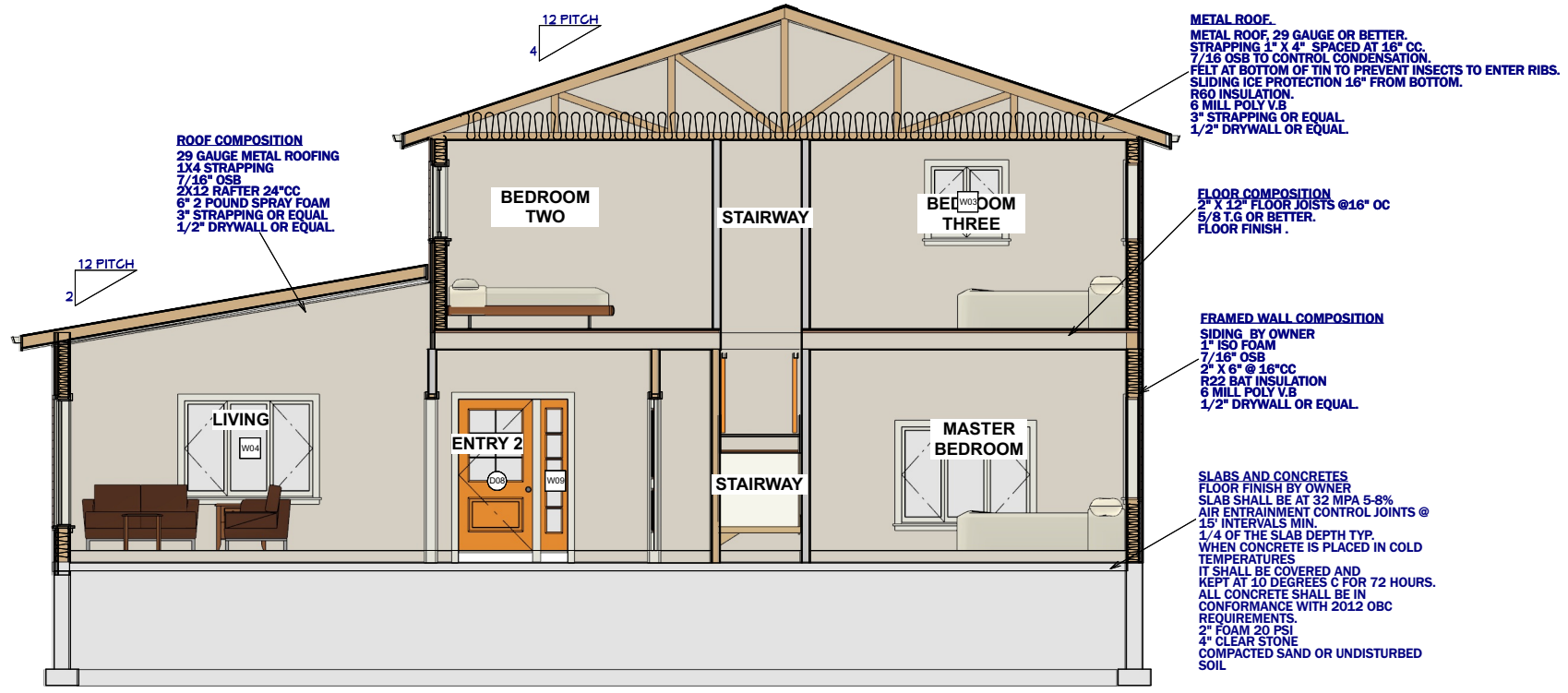


Second Floor
Scale: 1/6-12

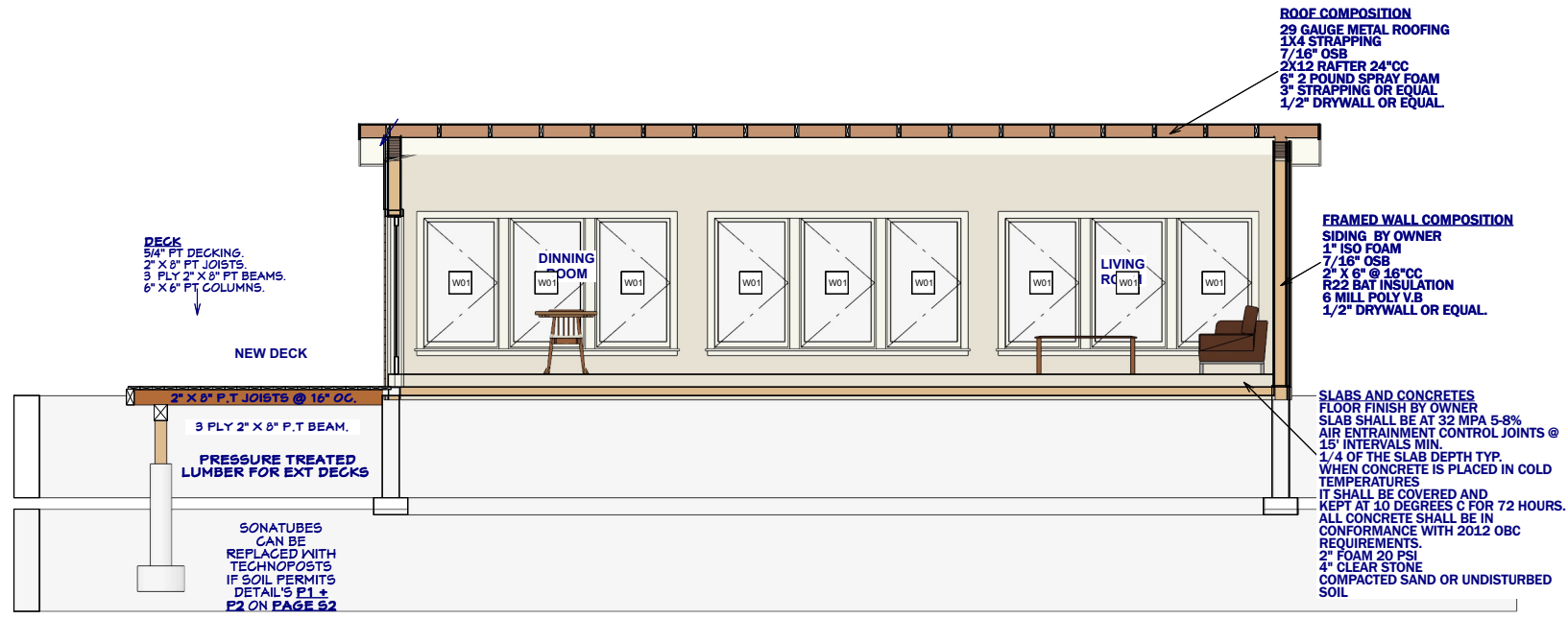
NOTE: These plans are in the Draft Stage and as such minor changes still may be made.



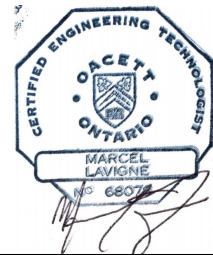
Roof Plan (Upper & Lower)
Scale: 1/6-12



Section One
Scale: 1/7-12



Section Three
Scale: 1/7-12



All measurements to be verified before construction and omissions to be reported to designer. No reproductions of this design are permitted unless authorized by the undersigned.

The undersigned take's responsibility of the design.

Qualifications
Marcel A Lavigne Personal BCIN # 15236

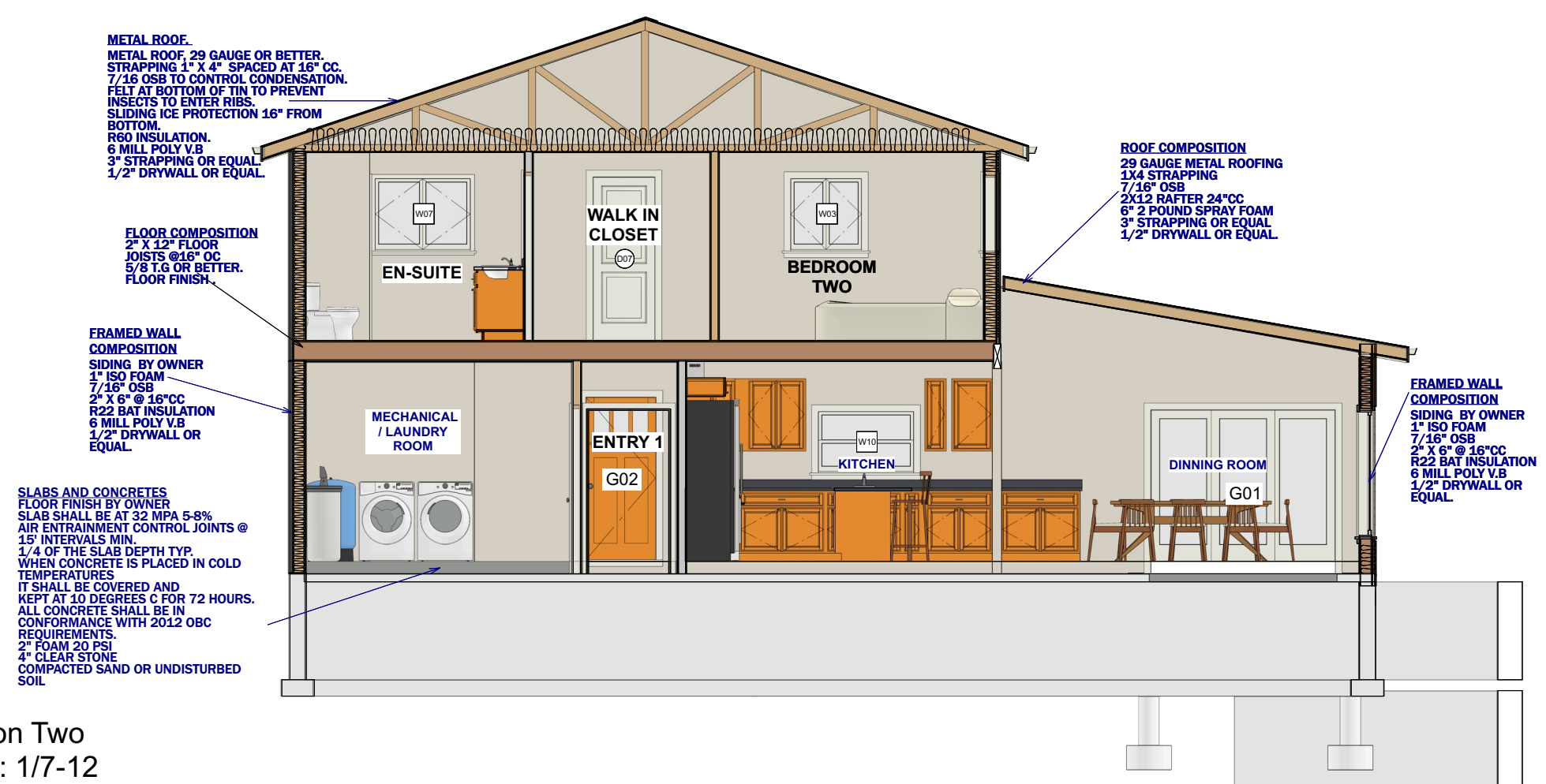
Signature *Marcel A Lavigne*
AMCT Ltd. BCIN # 38061

PLAN TITLE:
DWELLING RENOVATION

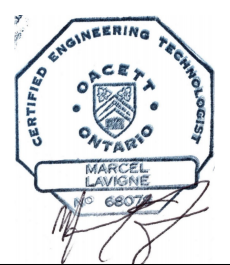
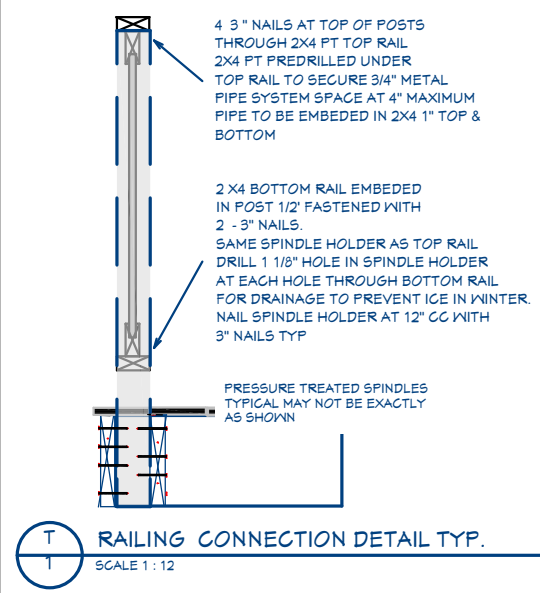
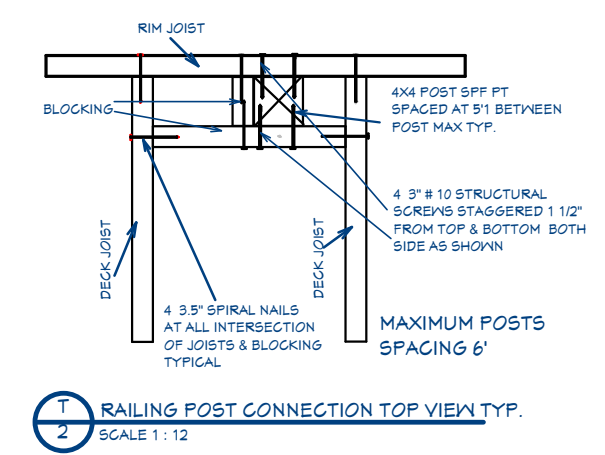
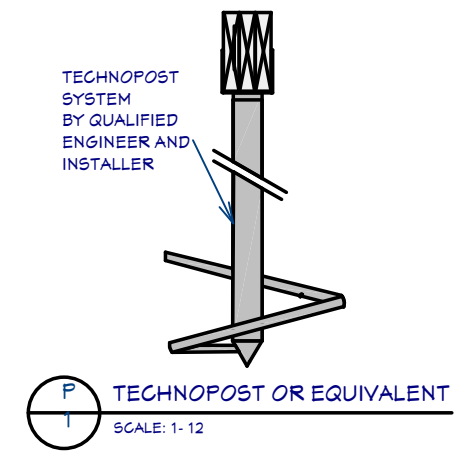
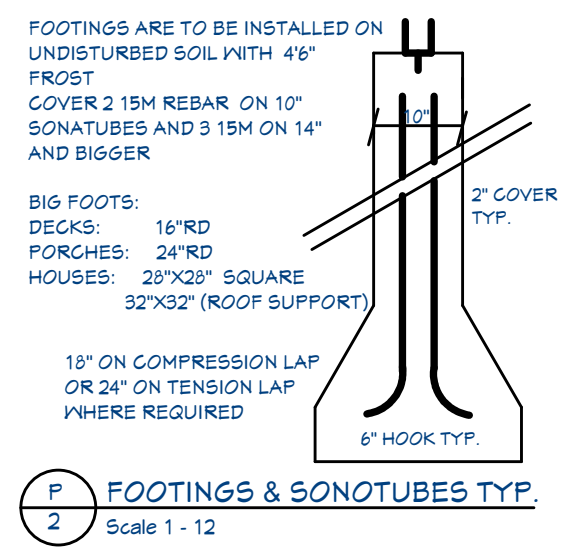
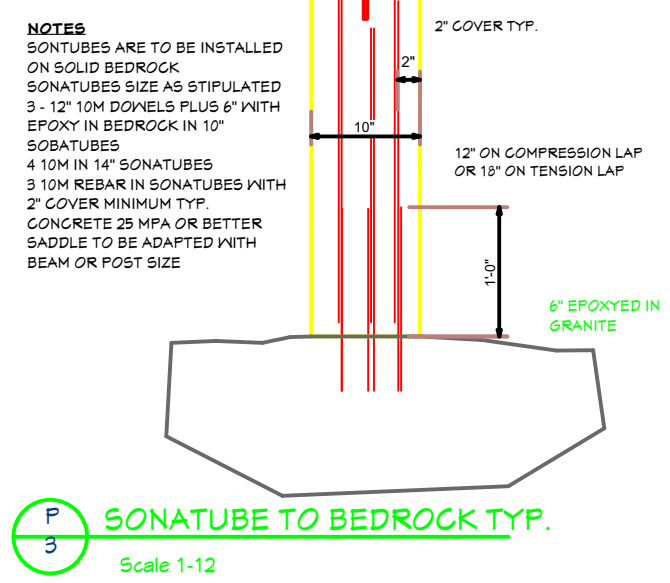
PAGE TITLE:
ROOF PLAN & SECTIONS

CUSTOMER DETAILS:
DON PEDERSEN
77 KERRY POINT ROAD

| | | |
|-----------------------------|--------------------------|--------------|
| Revision Dates: | Date Drawn: | Plan Number: |
| REV 1: April 7th 2025 | January 17 2025 | 89-2023 |
| | Drawn By: | |
| | S.M.K & M.A.L | |
| | Plan Scale: | Page Number: |
| | 1/4=1 UNLESS NOTED | S3 |
| | | 5 of 7 |



Section Two
Scale: 1/7-12



All measurements to be verified before construction and omissions to be reported to designer. No reproductions of this design are permitted unless authorized by the undersigned.

The undersigned take's responsibility of the design.

Qualifications
Marcel A Lavigne Personal BCIN # 15236

Signature
AMCT Ltd. BCIN # 38061

PLAN TITLE:
DWELLING RENOVATION

PAGE TITLE:
DETAILS

CUSTOMER DETAILS:
DON PEDERSEN
77 KERRY POINT ROAD

| | | |
|--|--|-------------------------------------|
| Revision Dates: REV 1: April 7th 2025 | Date Drawn: January 17 2025 | Plan Number: 89-2023 |
| | Drawn By: S.M.K & M.A.L | |
| | Plan Scale: 1/4=1 UNLESS NOTED | Page Number: D1 6 of 7 |

Energy Efficiency Design Summary: Prescriptive Method
(Building Code Part 9, Residential)

This form is used by a designer to demonstrate that the energy efficiency design of a house complies with the building code using the prescriptive method described in Subsection 3.1.1. of SB-12. This form is applicable where the ratio of gross area of windows/sidelights/skylights/glazing in doors and sliding glass doors to the gross area of peripheral walls is not more than 22%.

| | |
|--------------------------------|----------------------------|
| For use by Principal Authority | |
| Application No: | Model/Certification Number |

A. Project Information

| | | | |
|---|------------------------|--------------------------------------|---------|
| Building number, street name 77 Kerry Point Road | | Unit number | Lot/Con |
| Municipality Leeds and the Thousand Islands | Postal code K0E 1R0 | Reg. Plan number / other description | |

B. Prescriptive Compliance [Indicate the building code compliance package being employed in this house design]

SB-12 Prescriptive (input design package): Package: Zone 1 Table: Table 3.1.1.11. (IP)

C. Project Design Conditions

| | | |
|---|---|--|
| Climatic Zone (SB-1): x Zone 1 (< 5000 degree days) □ Zone 2 (≥ 5000 degree days) | Heating Equipment Efficiency x ≥ 92% AFUE □ ≥ 84% < 92% AFUE | Space Heating Fuel Source □ Gas Propane □ Solid Fuel □ Oil □ Electric □ Earth Energy |
| Ratio of Windows, Skylights & Glass (W, S & G) to Wall Area Area of walls = _____ m ² or 2798.78 ft ² W, S & G % = 18 Sunroom glass omitted Area of W, S & G = _____ m ² or _____ ft ² Utilize window averaging: □ Yes □ No | | Other Building Characteristics □ Log/Post&Beam □ ICF Above Grade □ ICF Basement □ Slab-on-ground □ Walkout Basement □ Air Conditioning □ Combo Unit □ Air Sourced Heat Pump (ASHP) □ Ground Sourced Heat Pump (GSHP) |

D. Building Specifications [provide values and ratings of the energy efficiency components proposed]

| | | | |
|--|--|---|--|
| Energy Efficiency Substitutions | | | |
| □ ICF (3.1.1.2.(5) & (6) / 3.1.1.3.(5) & (6)) □ Combined space heating and domestic water heating systems (3.1.1.2.(7) / 3.1.1.3.(7)) | | | |
| □ Airtightness substitution(s) Airtightness test required (Refer to Design Guide Attached) □ Table 3.1.1.4.B Required: Permitted Substitution: □ Table 3.1.1.4.C Required: Permitted Substitution: | | | |
| Building Component | | Building Component | |
| Minimum RSI / R values or Maximum U-Value⁽¹⁾ | | Efficiency Ratings | |
| Nominal Effective | | Windows & Doors Provide U-Value ⁽¹⁾ or ER rating | |
| Thermal Insulation | | 25 ER | |
| Ceiling with Attic Space R60 R60 | | Windows/Sliding Glass Doors | |
| Ceiling without Attic Space R31 R31 | | | |
| Exposed Floor R31 R31 | | Mechanicals | |
| Walls Above Grade R19 +5ci R19 +5ci | | Heating Equip.(AFUE) | |
| Basement Walls R20 ci R20 ci | | HRV Efficiency (SRE% at 0°C) | |
| Slab (all >600mm below grade) | | DHW Heater (EF) | |
| Slab (edge only ≤600mm below grade) R10 R10 | | DWHR (CSA B55.1 (min. 42% efficiency)) | |
| Slab (all ≤600mm below grade, or heated) R10 R10 | | Combined Heating System | |

(1) U value to be provided in either W/(m²K) or Btu/(h·ft²·F) but not both.

E. Designer(s) [name(s) & BCIN(s), if applicable, of person(s) providing information herein to substantiate that design meets the building code]

| | | |
|---|---------------|---------------|
| Qualified Designer Declaration of designer to have reviewed and take responsibility for the design work. | | |
| Name Marcel A Lavigne | BCIN 15236 | Signature |

Form authorized by OHBA, OBOA, LMCBO. Revised December 1, 2016.

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

| | | |
|---|--------------------------------|-------------------|
| H. Project Information | | |
| Building number, street name 77 Kerry Point Road | | Unit no. |
| Municipality Leeds and the Thousand Islands | | Lot/con. |
| Postal code K0E 1R0 | Plan number/ other description | |
| I. Individual who reviews and takes responsibility for design activities | | |
| Name Marcel A. Lavigne. | | Firm AMCT Ltd. |
| Street address | | Unit no. |
| Municipality | | Lot/con. |
| Postal code K0G 1R0 | Province Ontario | |
| Telephone number | Fax number | |

J. Design activities undertaken by individual identified in Section B. [Building Code Table 3.1.1.11. of Division C]

| | | |
|---|---|---|
| <input checked="" type="checkbox"/> House <input type="checkbox"/> Small Buildings <input type="checkbox"/> Large Buildings <input type="checkbox"/> Complex Buildings | <input checked="" type="checkbox"/> HVAC – House <input checked="" type="checkbox"/> Building Services <input checked="" type="checkbox"/> Detection, Lighting and Power <input checked="" type="checkbox"/> Fire Protection | <input checked="" type="checkbox"/> Building Structural <input checked="" type="checkbox"/> Plumbing – House <input checked="" type="checkbox"/> Plumbing – All Buildings <input checked="" type="checkbox"/> On-site Sewage Systems |
|---|---|---|

Description of designer's work
To renovate Old dwelling with a new interior configuration.

K. Declaration of Designer

I, Marcel A Lavigne declare that (choose one as appropriate):
(print name)

☒ I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
Individual BCIN: 15236
Firm BCIN: 38061

☐ I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.
Individual BCIN: _____
Basis for exemption from registration: _____

☐ The design work is exempt from the registration and qualification requirements of the Building Code.
Basis for exemption from registration and qualification: _____

I certify that:
1. The information contained in this schedule is true to the best of my knowledge.
2. I have submitted this application with the knowledge and consent of the firm.

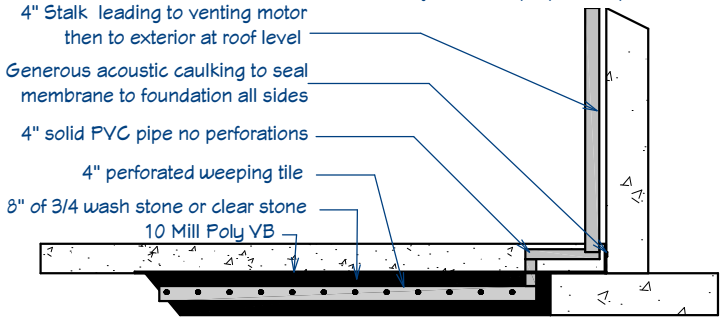
January 17 2025
Date Signature of Designer

NOTE:

- For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) d) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
- Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of authorization, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

Application for a Permit to Construct or Demolish – Effective January 1, 2011

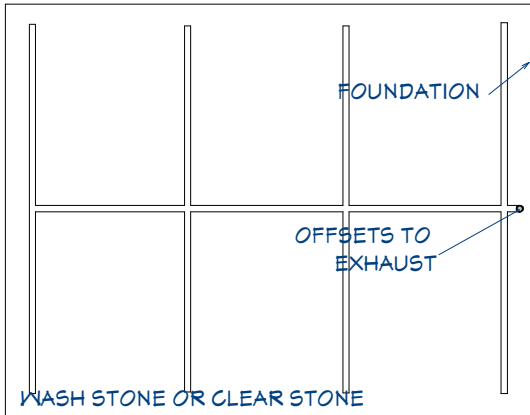
Note
Install 8" of 1/2 to 3/4 wash stone or equal.
Install 4" weeper pipe as detailed at mid point and cover pipe.
Install 10 mill poly as detailed.
Seal perforation and joints as detailed.
Pipe coming out of the concrete to be without perforations.
Glue all joints with proper compound.



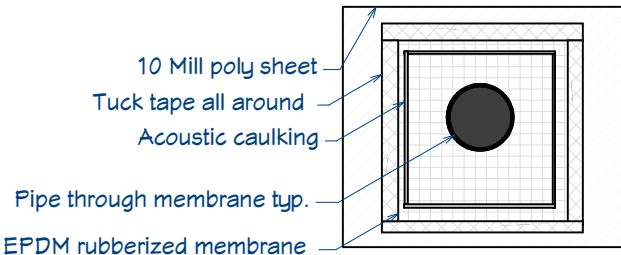
Lap 10 mill joints 6"
Set continuous acoustic caulking between sheets & tape upper joint with tuck tape to secure joint.

SECTION RADON REMIDIAL
Scale: 1/2 - 12

FOUNDATION WALL TYP.



RADON PIPE LAYOUT
Scale: 1/8-12



PIPE THROUGH MEMBRANE
Scale: 1/2 - 12



| | |
|--|------------------------------|
| All measurements to be verified before construction and omissions to be reported to designer. No reproductions of this design are permitted unless authorized by the undersigned | |
| The undersigned take's responsibility of the design. | |
| Qualifications Marcel A Lavigne | Personal BCIN # 15236 |
| Signature AMCT Ltd. | Page 134 of 170 BCIN # 38061 |

| |
|--|
| PLAN TITLE: DWELLING RENOVATION |
| PAGE TITLE: FORMS |
| CUSTOMER DETAILS: DON PEDERSEN 77 KERRY POINT ROAD |

| | | |
|--|--------------------------------------|------------------------------|
| Revision Dates: REV 1: April 7th 2025 | Date Drawn: January 17 2025 | Plan Number: 89-2023 |
| | Drawn By: S.M.K & M.A.L | |
| | Plan Scale: 1/4=1 UNLESS NOTED | Page Number: F1 7 of 7 |

Good Morning Lindsay

The following information is the existing gross floor area for the cottage at 77 Kerry point lane, as well as and the proposed gross floor area. To address your concern over the CRCA's Comments, There is no room to move the building back on the property. So we have changed the project back to a renovation and will keep as much of the existing structure as possible and feasible. We have sent the CRCA a revised application already.

Existing 77 Kerry point Dwelling:

First Floor: 1343.60 ft² = 128 m²
Second Floor: 717.67 ft² = 66.67 m²
Total Gross Floor Area: 2101.3ft² = 195.22 m²

Proposed 77 Kerry point Dwelling:

First Floor: 1546.32 ft² = 143.6 m²
Second Floor: 717.67 ft² = 93.6 m²
Total Gross Floor Area: 2553.95ft² = 237.27 m²

Existing & Proposed Dwelling Height: 24 ft +- = 7.5 m +-

If you require any other information, please don't hesitate to contact us at the coordinates below

Thank You

Steven M Kishka--Designer

Marcel A Lavigne--CET



Township of
Leeds and the
Thousand Islands

Planning and Development Department
1233 Prince Street, P.O. Box 280
Lansdowne, ON K0E 1L0
Telephone: 613-659-2415; 866-220-2327
Fax: 613-659-3619
Email: planningtechnician@townshipleeds.on.ca

Notice of Committee of Adjustment Hearing
Permission Application
(Section 45 of the Planning Act)

Date: Tuesday, April 29, 2025

Time: 1:00 pm

Location: 1233 Prince Street, Lansdowne, ON.

The hearing may be attended in person in the Council Chambers and virtually online/by phone through Zoom. Details on how to participate for both options are below.

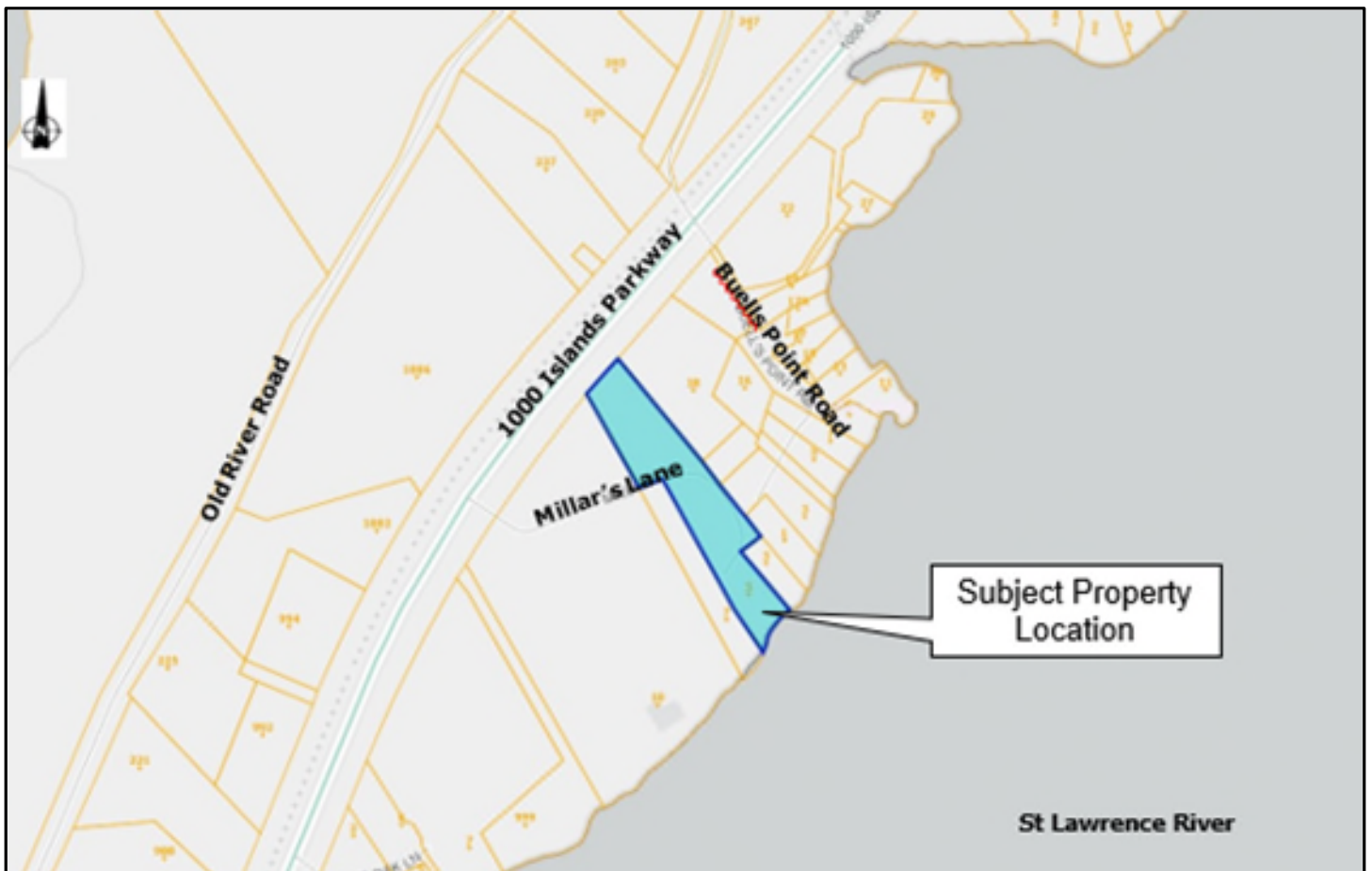
File Number: D13-2025-016

Applicant: Shelley John Bacon

Agent: Not Applicable

Location: 5 Millar's Lane

Ward: Ward 3 (Former Front of Escott)



Key Map: property subject to application for Permission shown in blue.

Purpose of Application

This application is requesting a permission to expand an existing legal non-complying dwelling with an attached covered deck and an attached uncovered deck. It is proposed to construct the attached covered deck on the south side of the existing dwelling. The area of proposed development is currently partially developed with attached uncovered decking. The existing dwelling is legal non-complying with respect to the minimum required 30-metre setback from the highwater mark of the St. Lawrence River and the minimum 30-metre front yard setback of the Shoreline Residential 'RS' zone. The existing dwelling and proposed development are located within the 120-metre influence area of the adjacent Provincially Significant Wetland. Of note, the applicant received approval from the Committee of Adjustment at the November 26, 2024, meeting to expand the existing legal non-complying dwelling with an attached covered deck (Application Number:

Page 1 of 4

D13-2024-052). The proposal regarding the expansion of the existing legal non-complying structure has since been altered, and the applicant is seeking approval to further increase the size of the proposed attached covered deck and construct an attached uncovered deck.

| | Provision | Existing Structure | Proposed Addition | Permission Requested |
|---|---|--|--|---|
| - | Increase in size of a legal non-complying structure | Dwelling: 85.7 square metres (922.5 square feet) | Covered Attached Deck: 27.14 square metres (292.13 square feet) Uncovered Attached Deck: 15.64 square metres (168.35 square feet) | Total size of non-complying structures: 128.48 square metres (1,382.95 square feet) |

How to Participate in the Hearing:

All comments received will become part of the public record. Comments can only be received in a written format or verbally in person/virtually. Staff are unable to accept verbal comments over the phone or in person outside of the hearing.

Anyone attending in person in the Council Chambers or virtually online/by phone through Zoom will be provided the opportunity to comment on an application. The ways to comment on an application are:

- 1. Written Comments – Email: planningtechnician@townshipleeds.on.ca
Mail: Township of Leeds and the Thousand Islands
Attention: Amanda Werner-Mackeler, Secretary-Treasurer
1233 Prince St PO Box 280
Lansdowne, ON K0E 1L0
- 2. In Person Attendance – In person attendance will be in the Council Chambers at the Township Office at 1233 Prince St, Lansdowne, ON.
- 3. Virtual/Phone Attendance – If you wish to attend virtually/by phone, you are required to register to be an attendee prior to the hearing. Once registered, you will receive a follow up email from the Clerk with the details to attend the hearing by computer or by phone. To register to attend the hearing virtually/by phone, please register online at:

https://us02web.zoom.us/webinar/register/WN_6QzIU3WFRuKSkVPQ2xde8w

If you have any issues registering online, please call 613-659-2415 x 203 before April 25, 2025 and indicate your name, phone number, email address and application you wish to speak to. Staff will register you for the hearing using your email address and you will receive a follow up email from the Clerk with the details on how to attend the hearing by computer or by phone.

Make Your Views Known

The Committee of Adjustment will make a decision on the application on the basis of information or evidence received before and during the hearing. This notice has been mailed to you, as required by the Planning Act.

You may express your support or opposition to the proposed permission by either attending the above virtual public hearing or sending a letter by mail, e-mail, or hand-delivery prior to the hearing date. Any correspondence received will become part of the public record. Only the applicant, a specified person, public body, and the registered owner of any land to which the Committee of Adjustment applies may appeal a decision to the Ontario Land Tribunal.

No specified person, public body or registered owner to which the decision would apply shall be added as a party to the hearing of the appeal unless, before the decision was made, the specified person, public body or registered owner of any land to which the decision applies made oral submissions at a statutory public meeting or written submissions to the Committee of Adjustment prior to the decision or, in the opinion of the

Tribunal, there are reasonable grounds to add the specified person or public body as a party.

“Public body” and “specified person” are defined under Section 1(1) of the Planning Act.

Collection of Personal Information:

Personal information is collected in order to gather feedback and communicate with interested parties regarding this development proposal. This information is collected under the authority of the *Planning Act* and in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*. With the exception of e-mail addresses and telephone numbers, all information and comments will become part of the public record and will appear on the Township’s website. Council and Committee meetings are broadcast live over the internet on YouTube. If you speak at the meeting your voice will be heard in the broadcast. Broadcasts are archived and continue to be publicly available.

View the Application File

Additional information concerning the Permission Application is available online at <https://www.leeds1000islands.ca/en/governing/council-and-committee-calendar.aspx> or by contacting Amanda Werner-Mackeler, CPT, Secretary-Treasurer, during regular office hours at 613-659-2415 x 203 or email planningtechnician@townshipleeds.on.ca.

Receive a copy of the Committee’s Decision

The Committee of Adjustment will make a decision on the application at the meeting. To receive a copy of the Committee’s decision, you must make a written request to the Committee of Adjustment c/o Township of Leeds and the Thousand Islands, 1233 Prince Street, P.O. Box 280, Lansdowne, Ontario, K0E 1L0 or email planningtechnician@townshipleeds.on.ca.

Accessibility Information

If you are a person with a disability and need Township of Leeds and the Thousand Islands information provided in another format, please contact the Clerk’s office at 613-659-2415 x 231 or clerk@townshipleeds.on.ca.

Multi-Residential Unit Notification

If you have received this notice and you are the owner of land that contains seven or more residential units, please post this notice in a location that is visible to all of the residents.

For more information about this matter, contact Amanda Werner-Mackeler, CPT Secretary-Treasurer, at 613-659-2415 x 203 or email planningtechnician@townshipleeds.on.ca.

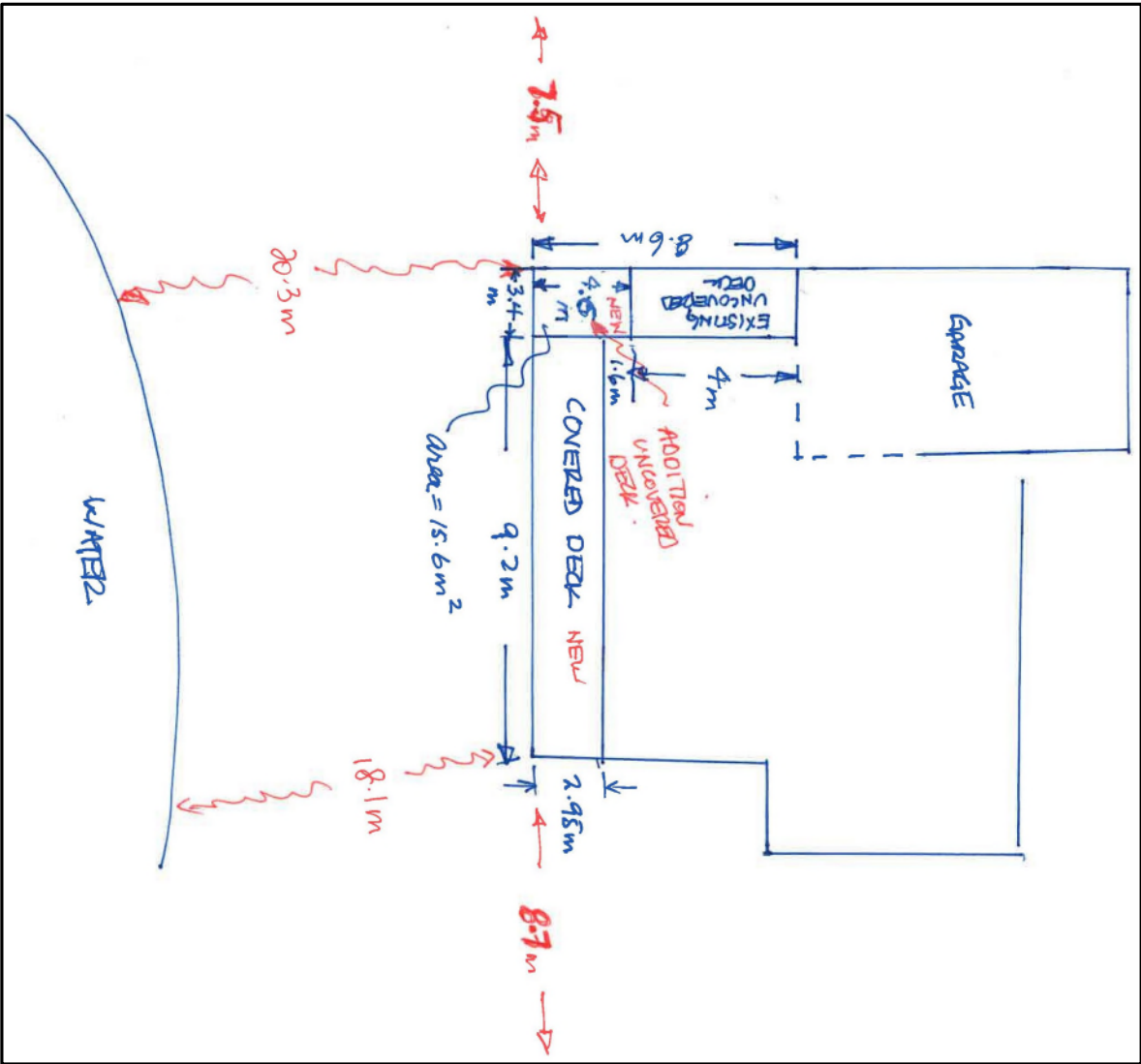
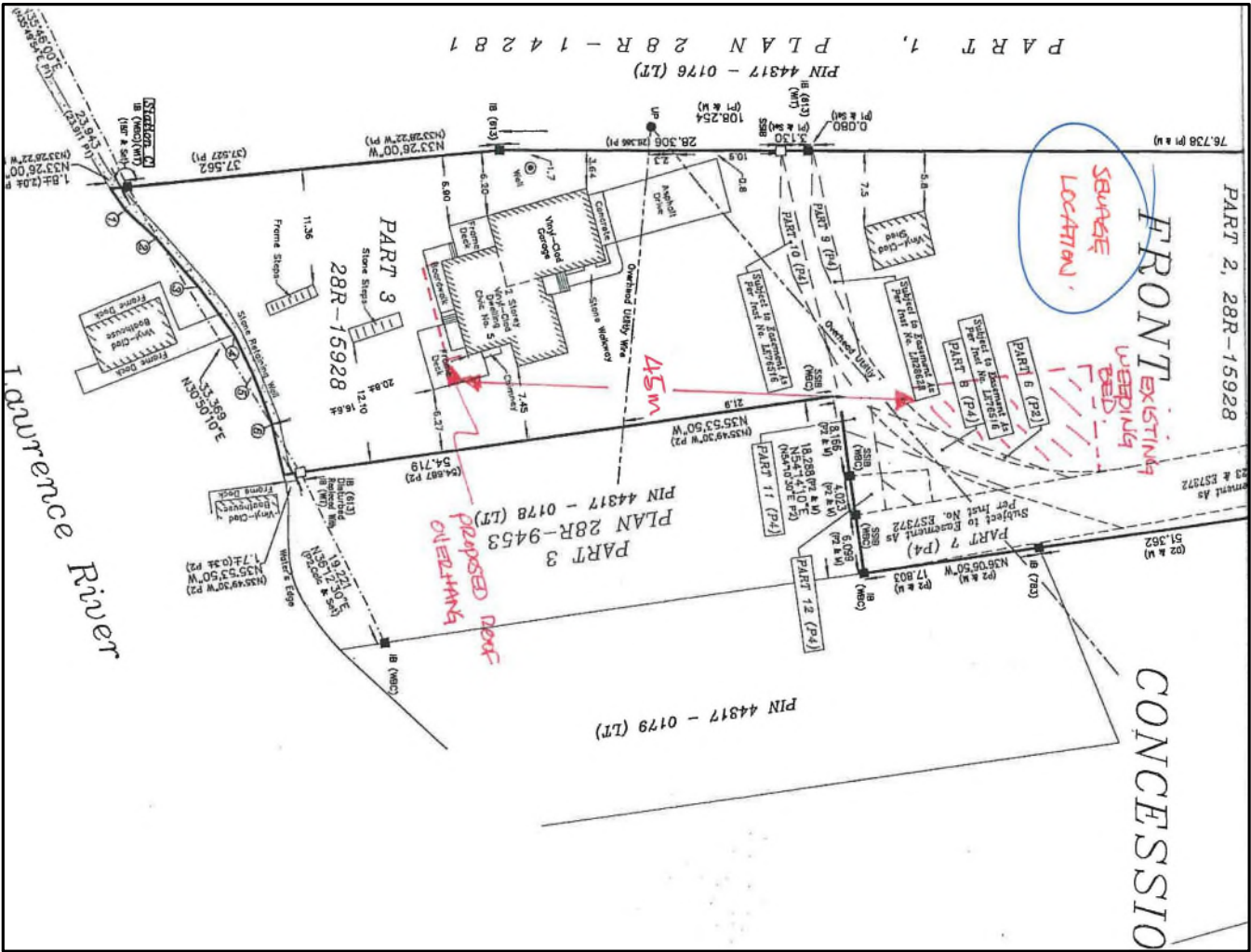
DATED at the Township of Leeds and the Thousand Islands on the 7th day of April, 2025.

Proposed Schedule A - Proposed Plot Plan

Permission Application: D13-2025-016

Owner: Shelley John Bacon

Location: 5 Millar's Lane





DEVELOPMENT APPLICATION
Section 41 (Site Plan Approval) and
Section 45 (Minor Variance) of the Planning Act

OFFICE USE ONLY

| | | | |
|-----------------------------|---|--|---|
| Application: | D13-2025-016 | Date Received: | April 1, 2025 |
| Roll Number: | 809-010-46500 | Deemed Complete: | April 3, 2025 |
| Application Fee: | \$850 | <input checked="" type="checkbox"/> Cheque | <input type="checkbox"/> Cash <input type="checkbox"/> Interac <input type="checkbox"/> N/A |
| Posting of Sign By: | <input checked="" type="checkbox"/> Owner | <input type="checkbox"/> Agent | <input type="checkbox"/> Staff (\$50 Fee) <input type="checkbox"/> Other |
| Posting of Sign Fee: | <input type="checkbox"/> Cheque | <input type="checkbox"/> Cash | <input type="checkbox"/> Interac <input checked="" type="checkbox"/> N/A |

1. APPLICATION TYPE (Check all that apply)

- ☒ Minor Variance Application
☐ Site Plan Agreement

2. PRE-CONSULTATION (Attach supporting documentation)

- ☒ TLTI – Staff ☐ Leeds, Grenville & Lanark Health Unit
☒ CRCA ☐ St. Lawrence Parks Commission
☐ Other:

3. COMPLETE APPLICATION REQUIREMENTS

- ☐ Complete Application Form
☐ Authorization of Applicant (if applicable)
☐ Affidavit signed by a Commissioner of Oaths, Notary, etc. (Available at Office)
☐ Township and other Agency (if applicable) Applications and Fees
☐ Cover Letter and/or report
☐ Survey Plan (if available)
☐ Deed
☐ Scaled Sketch as per Section 11 (1 hard copy (11x17 paper or less) or 1 digital copy)
☐ Minimum Distance Separation Calculation Form (if applicable)
☐ All Supporting Information identified through Pre-Consultation including DRT

4. SUBJECT LAND

Assessment Roll Number: 08-12-809-010-46500-0000
Civic Address: #5 MILLAR'S LANE, MALLOPY TOWN.
Legal Description (Concession, Lot, Part, Reference Plan numbers): PART OF LOT 22, BROKEN FRONT CONCESSION, ESCOTT, TLTI, PT 1-12, PLAN 2BR159128
Date subject land acquired by current owner: AUGUST 29, 2023

5. REGISTERED OWNER(S)

All owners must be included. If company, identify principals. A separate page may be submitted, if needed.

Name(s): SHELLEY JOHN BACON

Company Name (if applicable):

Mailing Address:

Phone (home):

Phone (cell):

Email Address:

6. APPLICANT INFORMATION

If an applicant is NOT the owner of the subject lands, written authorization from **all registered owner(s)** must be obtained stating that the agent is authorized to make the application (Section 13)

6.1 Is the applicant the same as the owner?

☒ Yes (same information as above)

☐ No (please fill out below **and** complete Section 14 – Agreement, Authorization and Declaration)

6.2 Name(s):

Company Name (if applicable):

Mailing Address:

Phone (home):

Phone (cell):

Phone (work):

Email Address:

7. SUBJECT LAND CHARACTERISTICS

7.1 Please list and describe any existing easements, right-of-ways or restrictive covenants that apply to the subject property (required to be shown on sketch)

ON PLAN 28R15928 PARTS 4, 6, 7, 8, 9, 10 SUBJECT TO EASEMENT FOR RIGHT OF WAY FOR ROADWAY.

7.2 Site Description: (briefly describe factors that may impact the proposed development, such as soil type and depth, lot configuration, steep slopes or low-lying areas, natural feature, etc.)

SUBJECT AREA COVERED WITH LAWN, TREES.

GENTLE SLOPE TO WATER FRONT

WEeping BED LOCATED ON OPPOSITE SIDE OF HOUSE.

7.3 Dimensions of Subject Land

| | | | |
|-----------------------|-------|----------|-------|
| Total Lot Area: | ~ .79 | hectares | acres |
| Lot Depth: | 240 | metres | feet |
| Lot Width (frontage): | 33.4 | metres | feet |

7.4 Road Access (include name)

- ☒ Provincial Highway: THOUSAND ISLANDS PARKWAY
- ☐ County Road: _____
- ☐ Municipal Road: _____
- ☐ Private Right-of-Way: _____
- ☐ Water Only: _____

7.5 If access to the subject land is by water only, provide details of parking and docking facilities to be used and the approximate distance of these from the subject land and the nearest public road:

7.6 Servicing – Water

Existing Proposed Not Applicable

Municipal Piped Water System

☐☐☐

Privately Owned and Operated Well

☐ Dug☐☐☐☒ Drilled☒☐☐☐ Communal☐☐☐

Lake or Other Water Body:

☐☐☐

Other:

☐☐☐**7.7 Servicing – Sewage**

Existing Proposed Not Applicable

Municipal

☐☐☐

Privately-Owned

☒ Individual Sanitary Sewage System☒☐☐☐ Communal Sanitary Sewage System☐☐☐☐ Composting/Self-Contained Toilet☐☐☐☐ Privy☐☐☐☐ Outhouse☐☐☐

Other: (Specify)

☐☐☐**7.8 Servicing – Storm Drainage**

Existing Proposed Not Applicable

Sewers

☐☐☐

Ditches

(ALONG MILLAR'S LANE)

☒☐☐

Swales

☐☐☐

Other (Specify): _____

☐☐☐

8. OFFICIAL PLAN, ZONING BY-LAW AND LAND USE INFORMATION

8.1 Official Plan Designation: RURAL, PROVINCIALY SIGNIFICANT
 * WETLAND, FLOOD PLAIN, HIGHLY VULNERABLE AQUIFER.

8.2 Special Policy Area: ☒ 1000 Islands ☐ Highly Sensitive Lake Trout Lake ☐ No

* 8.3 Zoning: SHORELINE RESIDENTIAL, PROVINCIALY SIGNIFICANT WETLAND.

8.4 Is this a designated heritage property: ☐ Yes ☒ No

8.5 Existing Use(s): (indicate uses and length of time uses have continued)

YEAR ROUND HOME 40-50 YEARS.

8.6 Proposed Use(s):

SAME

8.7 Existing Use on Adjacent Lands:

North: VACANT

South: ST. LAWRENCE RIVER

East: RESIDENCE

West: RESIDENCE

8.8 Previous Use(s): (indicate all previous land uses on the subject land or adjacent lands including any industrial or commercial use, or if there is suspected contamination)

SAME

8.9 Indicate any current or previous application under the *Planning Act* affecting the subject land:

| Application Type | File Number | File Status |
|---|-------------|-------------|
| Minor Variance | | |
| Site Plan Agreement | | |
| Zoning By-Law Amendment | | |
| Official Plan Amendment | | |
| Consent | | |
| Subdivision | | |
| Other: | | |
| <input checked="" type="checkbox"/> There have been no previous Planning Act applications affecting the subject lands | | |

Page 5 of 12

9. REQUIRED PLANS

9.1 A detailed sketch in metric has been attached with the required ☒ Yes ☐ No information as noted in Section 9.2.

All required site plan drawings, elevations, cross-sections, ☐ Yes ☒ No grading, drainage, etc. along with the required information as noted in Section 9.3.

9.2 Sketch Requirements

For minor variance, a detailed sketch **is required**. The sketch must include:

- (a) The boundaries and dimensions of the subject land.
- (b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating their distance from the front lot line, rear lot line and side lot line.
- (c) The approximate location of all natural and artificial features (for example, buildings, railways, roads, watercourses, flood plains drainage, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that:
 - (i) Are located on the subject land and on land that is adjacent to it, and
 - (ii) In the applicant's opinion, may affect the application.
- (d) The current uses of land that is adjacent to the subject land.
- (e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.
- (f) If access to the subject land will be by water only, the location of the parking and docking facilities to be used; and
- (g) The location and nature of any easement affecting the subject land.

9.3 Site Plan Requirements

In addition to Section 9.2, for site plan applications, drawings showing plan, elevation and cross-section views for each building to be erected, except a building to be used for residential purposes containing fewer than 25 dwelling units which drawings are sufficient to display,

- (a) The massing and conceptual design of the proposed building;
- (b) The relationship of the proposed building to adjacent buildings, streets and exterior areas to which members of the public have access;
- (c) The provision of interior walkways, stairs, elevators and escalators to which members of the public have access from streets, open spaces and interior walkways in adjacent buildings;
- (d) Matters relating to exterior design, including without limitation the character, scale, appearance and design features of buildings, and their sustainable design, but only to the extent that it is a matter of exterior design
- (d.1) Matters relating to exterior access to each building that will contain affordable housing units or to any part of such building, but only to the extent that it is a matter of exterior design;
- (e) the sustainable design elements on any adjoining highway under a municipality's jurisdiction, including without limitation trees, shrubs, hedges, plantings or other ground cover, permeable paving materials, street furniture, curb ramps, waste and recycling containers and bicycle parking facilities; and
- (f) facilities designed to have regard for accessibility for persons with disabilities.

**** TO BE DEMOLISHED.**

Township of Leeds and the Thousand Islands

DEVELOPMENT APPLICATION

10. EXISTING STRUCTURES & SETBACKS ON SUBJECT LAND (Indicate any to be demolished)

10.1 Existing Structures in metres. Include all structures on subject land, including marine facilities and structures under 10 square metres. * HOUSE HEIGHT TO GRADE, PROPERTY SLOPES 7.6m TO WATER

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Stories | Dimensions | | | Year Built |
|---|--------------------|----------------------------------|-------------------|------------|--------|---------|--------------|
| | | | | Length | Width | *Height | |
| 2 STOREY HOME | 85.7m ² | 155m ² WITH GARAGE | 2 | 15.1 m | 14.6 m | 8.2 m | LATE 1970'S. |
| BOARDWALK DECK | | 12.2 m ² | | 1.5 m | 8.2 m | N/A | " |
| FRAME DECK (A) | | 18.8 m ² | | 5.7 m | 3.3 m | N/A | " |
| FRAME DECK (B) | | 16.5 m ² | | 2.7 m | 6.1 m | N/A | " |
| * ** FRAME DECK (B) ² (DEMOLISH) | | 16.5 m ² | | 2.7 m | 6.1 m | N/A | " |
| SHED | | 37.7m ² | 1 | 8.2m | 4.6m | 3.7 m | " |
| BOAT HOUSE | | 36.7m ² | 1 | 7.8m | 4.7m | 3.7 m | " |

10.2 Setbacks of Existing Structures to property boundaries, shoreline, etc. in metres

| Type of Structure | Front | EAST Side | WEST Side | Rear TO PUBLIC ROAD | Water | Flood Plain | Public Road (center) | Right of Way (edge) | Other |
|---|-------|-----------|-----------|------------------------|--------|-------------|----------------------|---------------------|-------|
| 2 STOREY HOME | | 3.6 m | 6.3 m | 193 m | 21.8 m | | 193 m | 19.3 m | |
| BOARD WALK DECK | | | | | | | | | |
| FRAME DECK (A) | | 6.9 m | 20.1 | > 193 m | 26.5 m | | > 193 m | 30.4 m | |
| FRAME DECK (B) | | 17.5 m | 6.3 m | > 193 m | 18.1 m | | > 193 m | 34.4 m | |
| * ** FRAME DECK (B) ² (DEMOLISH) | | 17.5 m | 6.3 m | > 193 m | 16.6 m | | > 193 m | 39.6 m | |
| * PROPOSED NEW ROOF OVERHANG (C) | | 9 m | 10.5 m | > 193 m | 20.3 m | | > 193 m | 34.4 m | |
| UNCOVERED DECK | | 17.9 m | 7.5 m | > 193 m | 20.3 m | | > 193 m | 34.4 m | |

10.3 Existing Parking & Loading Spaces 4

Existing Number of Standard Parking Spaces: 4

Existing Number of Barrier Free Parking Spaces: 4

Existing Number of Loading Spaces: 4

11. PROPOSED STRUCTURES & SETBACKS ON SUBJECT LAND (Indicate any to be demolished)

11.1 Proposed Development (if any) in square metres, metres * ~~ROOF OVERHANG TO GRADE~~, ~~PROPERTY SLOPES 7.6m~~ ^{TO}

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Stories | Dimensions | | | Year Built ^{WATER} |
|--|--|------------------|-------------------------|--------------------------|-------------------------|----------|-----------------------------|
| | | | | Length | Width | * Height | |
| 1. ROOF OVERHANG | 24.6m² 27.1m ² | | JUST ABOVE 1ST FLOOR | 2.7m 2.95m | 9.1m 9.2m | 3m | PROPOSED IN 2025 |
| 2. ADD WRAP AROUND DECK SECTION. | 15.6m ² | | see drawing. | 4.6m | 3.4m | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
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| | | | | | | | |

11.2 Setbacks of Proposed Structures to property boundaries, shoreline, etc. in metres

| Type of Structure | Front | Side | Side | Rear | Water | Flood Plain | Public Road (center) | Right of Way (edge) | Other |
|---------------------------------|-------|-------|-------|-------|-------|-------------|----------------------|---------------------|-------|
| ROOF OVERHANG (COVERED DECK) | | 9m | 10.5m | >193m | 20.3m | | >193m | 34.4m | |
| UNCOVERED DECK ADDITION | | 17.9m | 7.5m | >193m | 20.3m | | >193m | 34.4m | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |

11.3 Proposed Parking & Loading Spaces 4

Proposed Number of Standard Parking Spaces: 4

Proposed Number of Barrier Free Parking Spaces: 4

Proposed Number of ^{OR PARKING} Loading Spaces: 4

12. MINOR VARIANCE INFORMATION**12.1** Description of Proposal

- ① REMOVAL OF ELEVATED DECK (2ND STOREY)
- ② REDUCTION OF EXISTING DECK AT GROUND LEVEL
- ③ ADDITION OF OVERHANG 2.7m x 9.1m AND UPGRADE OF BOARDWALK BENEATH.

12.2 Variance Requested from Zoning By-Law:

| Section | Zone Requirement | Proposed Standard | Variance Required |
|---------------------------------------|------------------|-------------------|-------------------|
| EXPANSION TO LEGAL NON-COMPLYING USE. | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

12.3 Why is it not possible to comply with the provisions of the Zoning By-Law?

I AM UPGRADING THIS HOME WHICH WAS CONSTRUCTED IN THE LATE 1970'S. IT IS EXPOSED TO UV SUN RAYS AND SIGNIFICANT RAIN ON THE SOUTH SIDE AND I WOULD LIKE TO ADD PROTECTION, ESPECIALLY FOR THE WINDOWS.

13. AUTHORIZATIONS & PERMISSION TO ENTER

All Registered Owner(s) must complete the following to authorize the applicant/agent to make the application on their behalf (if Owner is NOT the applicant) and/or to permit Council, Committees of Council, Township Staff or authorized agents to enter the subject property to conduct site inspections related to this application. If multiple owners, an authorization letter from each owner is required.

I/We

SKELLEY BALON

(name(s) of owner(s) or company)

being the registered owner(s) of the subject property of this application:

- ☐ Hereby authorize the following person(s) to act as our agent to prepare, submit the application and pay any associated fees on my/our behalf (if applicable):

(Name of Applicant(s)/Authorized Agent(s))

- ☒ Hereby authorize Council, Committees of Council, and Township Staff or authorized agents to enter the subject property without notice to conduct site inspections related to this application.
- ☒ Agree to ensure that any driveway/lanes are accessible during the circulation period of the application so that Committee members, Township staff and other agencies do not have any barriers blocking access to the subject land. Island properties will require a boat ride, which is to be provided by the owner/agent. If applicable, Township Staff will make arrangements for the most suitable date and time.
- ☒ Agree to post any required signage on site, which is prepared by Township Staff, with respect to this application in the requested timeframe of the Planning Act and upon notification by Township Staff. I/We also agree to provide photographic evidence of the posted sign at the request of Township Staff.
- ☒ Agree to stake the area of any proposed construction a minimum of 1 week prior to the hearing/meeting date of your application.
- ☒ Have included the written approval of all surveyors, designers, etc. that designed any documents, plot plans etc. to allow the Township to use their plan(s) in the notice or hearing and other documents which are viewable by the public.
- ☒ Hereby acknowledge and provide my consent, in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, that the information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Signature(s):

SKELLEY BALON

Date:

April 1, 2025

14. AGREEMENT TO INDEMNIFY & STATUTORY DECLARATION

I/We, SHELLEY BACON
(name of owner, applicant or authorized agent)

Of the RIDEAU LAKES
(name of Municipality)

In the UCK
(name of County)

Hereby agree to indemnify and save harmless The Corporation of the Township of Leeds and Thousand Islands (the "Municipality") from all costs and expenses that the Municipality may incur in connection with the processing of the applicant's application for approval under the Planning Act.

Without limiting the foregoing, such costs and expenses will include all legal, engineering, planning, advertising and consulting fees and charges incurred or payable by the Municipality to process the application together with all costs and expenses arising from or incurred in connection with the Municipality being required, or requested by the applicant, to appear at the hearing of any appeal to the Local Planning Appeal Tribunal from any decision of the Council approving the applicant's application.

I/We acknowledge and agree that if any amount owing to the Municipality in respect of the application is not paid when due, the Municipality will not be required to process or to continue processing the application, or to appear before the Local Planning Appeal Tribunal in support of a decision approving the application until the amount has been paid in full.

I/We further acknowledge and agree that any amount owing by the applicant to the Municipality is, when due, a debt of the applicant and the Municipality may, in addition to any other remedies available to it at law, recover the amount owing together with interest from the applicant by action.

I/We solemnly declare that all of the above statements contained herein and all exhibits transmitted herewith including this application and any required document attached hereto are true, and I/We make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Signature(s): [Signature]

Declared before me at the: TWP. LEEDS AND THE THOUSAND ISLANDS
(name of municipality)

in the United Counties of Leeds and Grenville
(name of County)

This 31st day of March, 20 25.

[Signature]
Signature of Commissioner of Oaths, etc.

AMANDA ZORA WERNER-MACKELER,
a Commissioner, etc., Province of Ontario,
the Corporation of the Township of Leeds
and the Thousand Islands.
Expires August 18, 2025.

(Official Stamp of Commissioner of Oaths)

CONCESSIO

FRONT EXISTING
WEEDING
BED.

SEWAGE
LOCATION

PART 1, PLAN 28R-14287

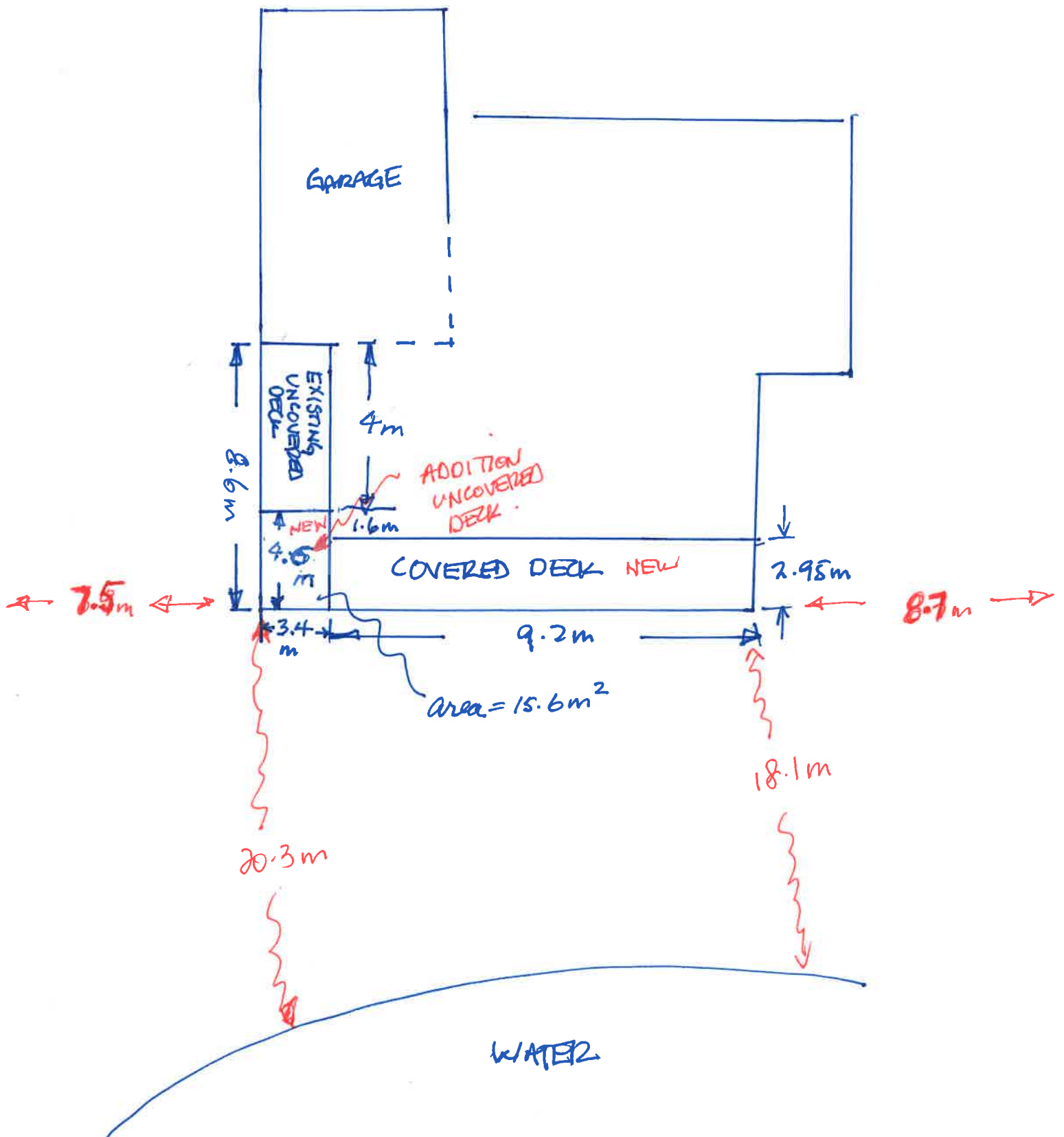
PIN 44317 - 0176 (LT)

PIN 44317 - 0179 (LT)

3
(IT) PROPOSED ROOF
OVERHANG

PART 3
Stone Steps
28R-15928

Page 151 of 170



FRONT **EXISTING WEEDING BED.**

CONCESSION

PART 1,

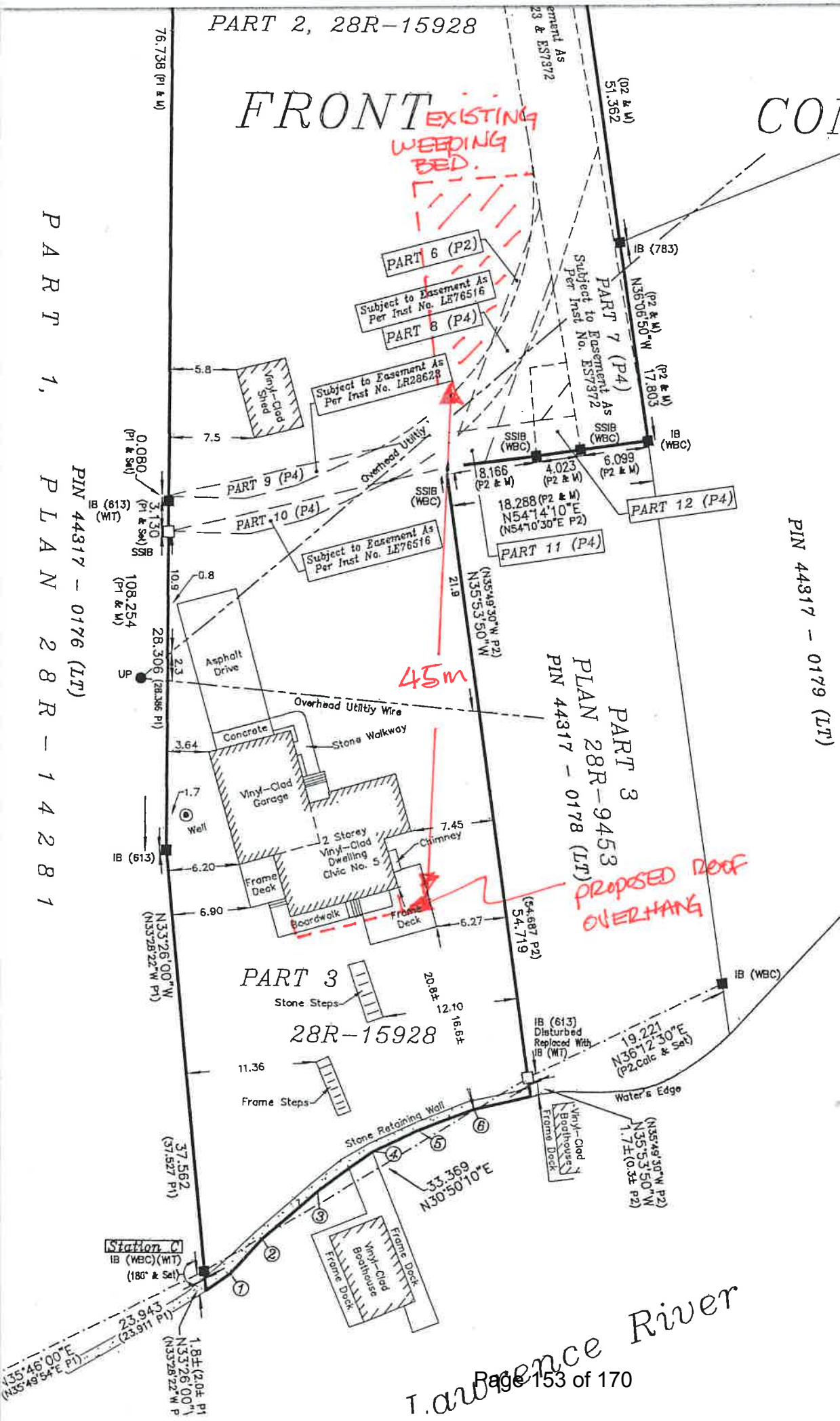
PLAN 28R-14281

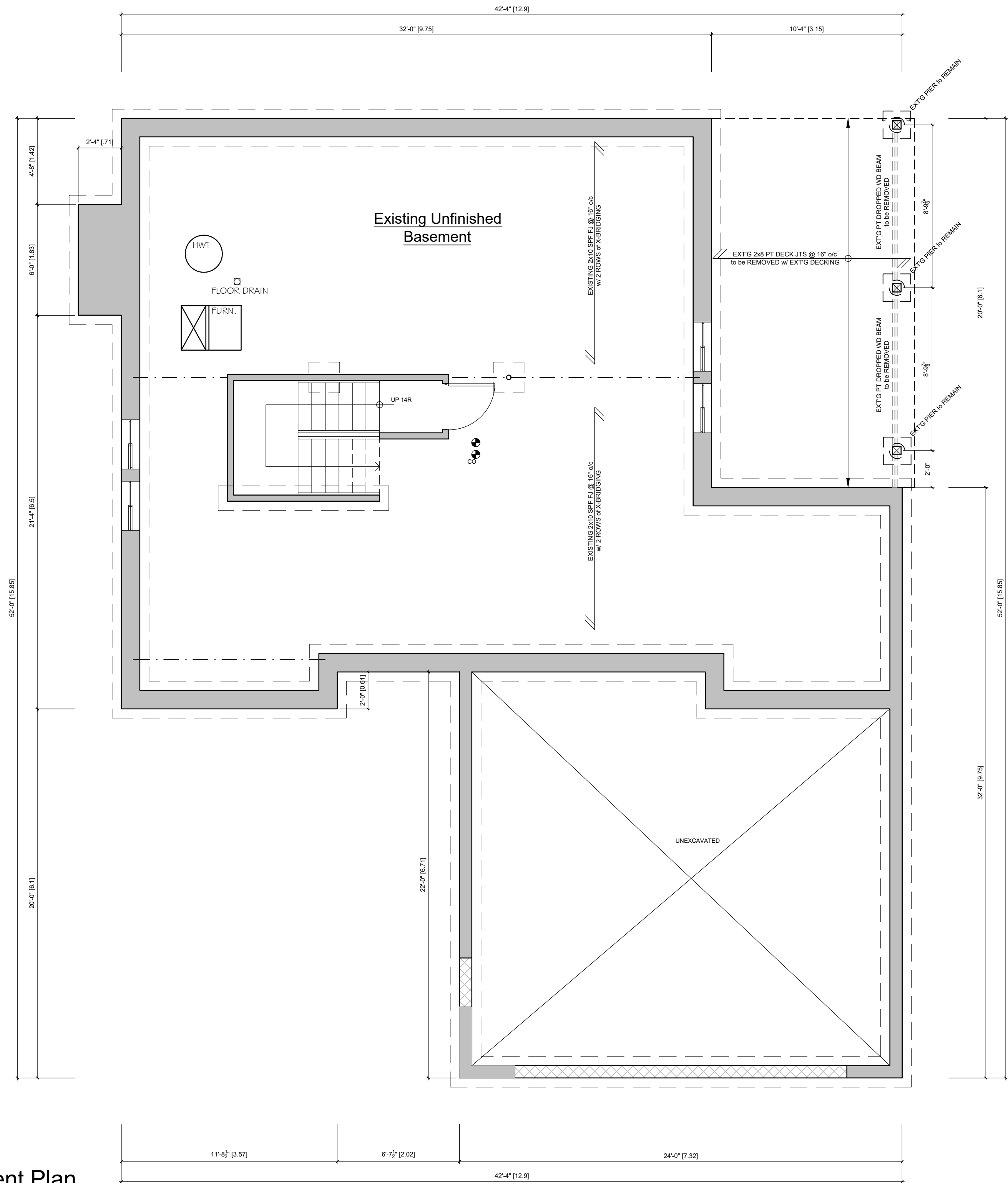
PIN 44317 - 0176 (LT)

PIN 44317 - 0179 (LT)

PART 3
PLAN 28R-9453
PIN 44317 - 0178 (LT)

PROPOSED ROOF OVERHANG





LEGEND

| | |
|-----------------------------|-----------------------------|
| INT. INTERIOR | FG. FIXED GLASS |
| EXT. EXTERIOR | GB. GLASS BLOCK |
| TOF TOP OF FOUNDATION | RWL RAIN WATER LEADER |
| FFE FIRST FLOOR ELEVATION | O/S OUTSIDE OF STUD. |
| AFF ABOVE FINISHED FLOOR | U/S UNDER SIDE |
| ▶ EXTERIOR ENTRY | SB SOLID BEARING |
| ☼ SMOKE DETECTOR | PL POINT LOAD ABOVE. |
| ☼ CARBON MONOXIDE DETECTOR. | FL FIREPLACE VENT |
| ⊙ EXHAUST FAN | SV STOVE VENT |
| □ FLOOR DRAIN | DV DRYER VENT |
| XFHB FROST FREE HOSE BIB | AH ATTIC HATCH 22 1/2 x 28" |

SMOKE ALARM: (9.10.19. OBC 2012)
AT LEAST ONE SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL. ON ANY STOREY THAT CONTAINS SLEEPING ROOMS, SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND IN THE HALLWAY BY WHICH THE SLEEPING ROOMS ARE SERVED. SMOKE ALARMS SHALL BE INTERCONNECTED. SMOKE SHALL CONFORM TO CAN/ULC-S553.

CARBON MONOXIDE ALARMS:
(9.33.4., OBC 2012)
A CARBON MONOXIDE (CO) ALARMS SHALL CONFORMING TO CAN/CGA-6.19. SHALL BE INSTALLED AS PER THE MANUFACTURER'S RECOMMENDED HEIGHT IN A SERVICE ROOM(S). IF A SOLID FUEL BURNING APPLIANCE IS INSTALLED A CO ALARM SHALL BE INSTALLED ADJACENT TO THE SLEEPING AREAS. IF THE DWELLING CONTAINS AN ATTACHED SERVICE GARAGE A CO ALARM SHALL BE INSTALLED ADJACENT TO SLEEPING AREAS. CO ALARM(S) SHALL BE WIRED SO THAT THEIR ACTIVATION WILL ACTIVATE ALL CO ALARMS WITHIN THE DWELLING.

| | | | |
|---|----------------|--------|--|
| Required unless design is exempt under 2.17.5.1. of the building code | | | |
| QUALIFICATION INFORMATION | | | |
| Robert Bailey | 24772 | | |
| NAME | SIGNATURE | BCIN # | |
| Required unless design is exempt under 2.17.4.1. of the building code | | | |
| REGISTRATION INFORMATION | | | |
| Roamy Design Consulting | 33867 | | |
| FIRM NAME | Registration # | | |

| | | | |
|-----|---------------------|---------|-----|
| | | | |
| 2 | RESUBMIT FOR PERMIT | 20MAR25 | RBB |
| 1 | ISSUED for PERMIT | 07FEB25 | RBB |
| NO. | DESCRIPTION | DATE | BY |



PROJECT:
REAR DECK/ALTERATION
5 MILLAR'S LANE
MALLORYTOWN, ON

DWG TITLE:
EXISTING PLANS

CLIENT: DKP CONSTRUCTION

OWNER: SHELLY BACON

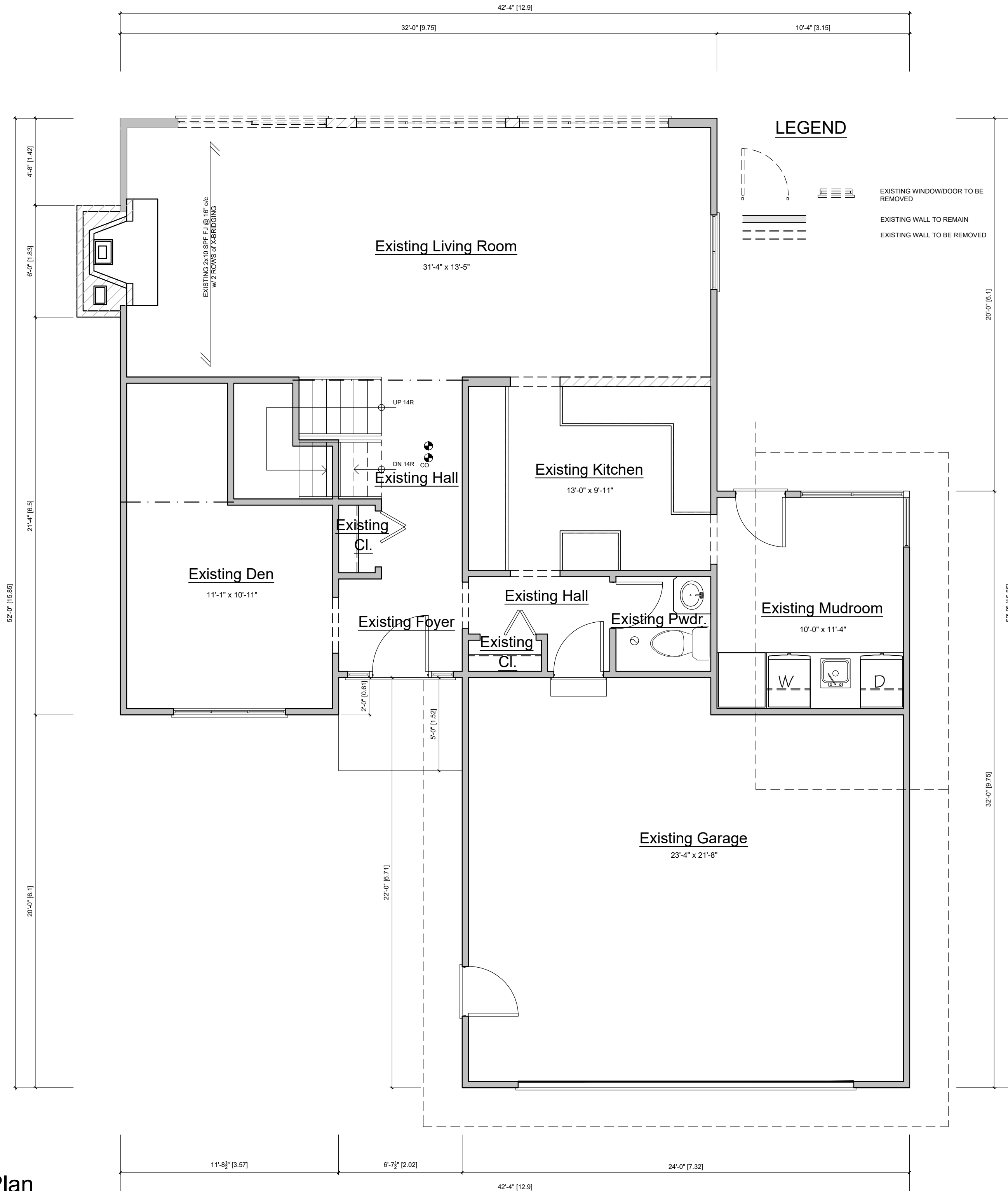
DRAWN BY: RBB/MLB PROJECT NO.: 2501A

CHECKED BY: RBB DATE: 24JAN25

SCALE: AS NOTED DWG. NO.: A1.0

DWG. FILE NO.: 2501A-ARCH-01

1 Existing Basement Plan
A1.0 Scale: 1/4" = 1'-0"



1 Existing Ground Plan
A1.1 Scale: 1/4" = 1'-0"

LEGEND

| | |
|--------------------------------|-------------------------------|
| INT. INTERIOR | FG. FIXED GLASS |
| EXT. EXTERIOR | GB. GLASS BLOCK |
| TOF TOP OF FOUNDATION | RWL RAIN WATER LEADER |
| FFE FIRST FLOOR ELEVATION | O/S OUTSIDE OF STUD. |
| AFF ABOVE FINISHED FLOOR | U/S UNDER SIDE |
| ▶ EXTERIOR ENTRY | ☒ SB SOLID BEARING |
| ☉ SMOKE DETECTOR | ☒ PL POINT LOAD ABOVE. |
| ☉ CO CARBON MONOXIDE DETECTOR. | ☒ FV FIREPLACE VENT |
| ⊙ EXHAUST FAN | ☒ SV STOVE VENT |
| □ FLOOR DRAIN | ☒ DV DRYER VENT |
| ☒ HB FROST FREE HOSE BIB | ☒ AH ATTIC HATCH 22 1/2 x 28" |

SMOKE ALARM: (9.10.19. OBC 2012)
AT LEAST ONE SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL. ON ANY STOREY THAT CONTAINS SLEEPING ROOMS, SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND IN THE HALLWAY BY WHICH THE SLEEPING ROOMS ARE SERVED. SMOKE ALARMS SHALL BE INTERCONNECTED. SMOKE SHALL CONFORM TO CAN/ULC-S553.

CARBON MONOXIDE ALARMS:
(9.33.4., OBC 2012)
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| QUALIFICATION INFORMATION | | | |
| Robert Bailey | 24772 | | |
| NAME | SIGNATURE | BCIN # | |
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| REGISTRATION INFORMATION | | | |
| Roamy Design Consulting | 33867 | | |
| FIRM NAME | Registration # | | |

| | | | |
|-----|---------------------|---------|-----|
| | | | |
| 2 | RESUBMIT FOR PERMIT | 20MAR25 | RBB |
| 1 | ISSUED for PERMIT | 07FEB25 | RBB |
| NO. | DESCRIPTION | DATE | BY |



PROJECT:
REAR DECK/ALTERATION
5 MILLAR'S LANE
MALLORYTOWN, ON

DWG TITLE:
EXISTING PLANS

CLIENT: DKP CONSTRUCTION

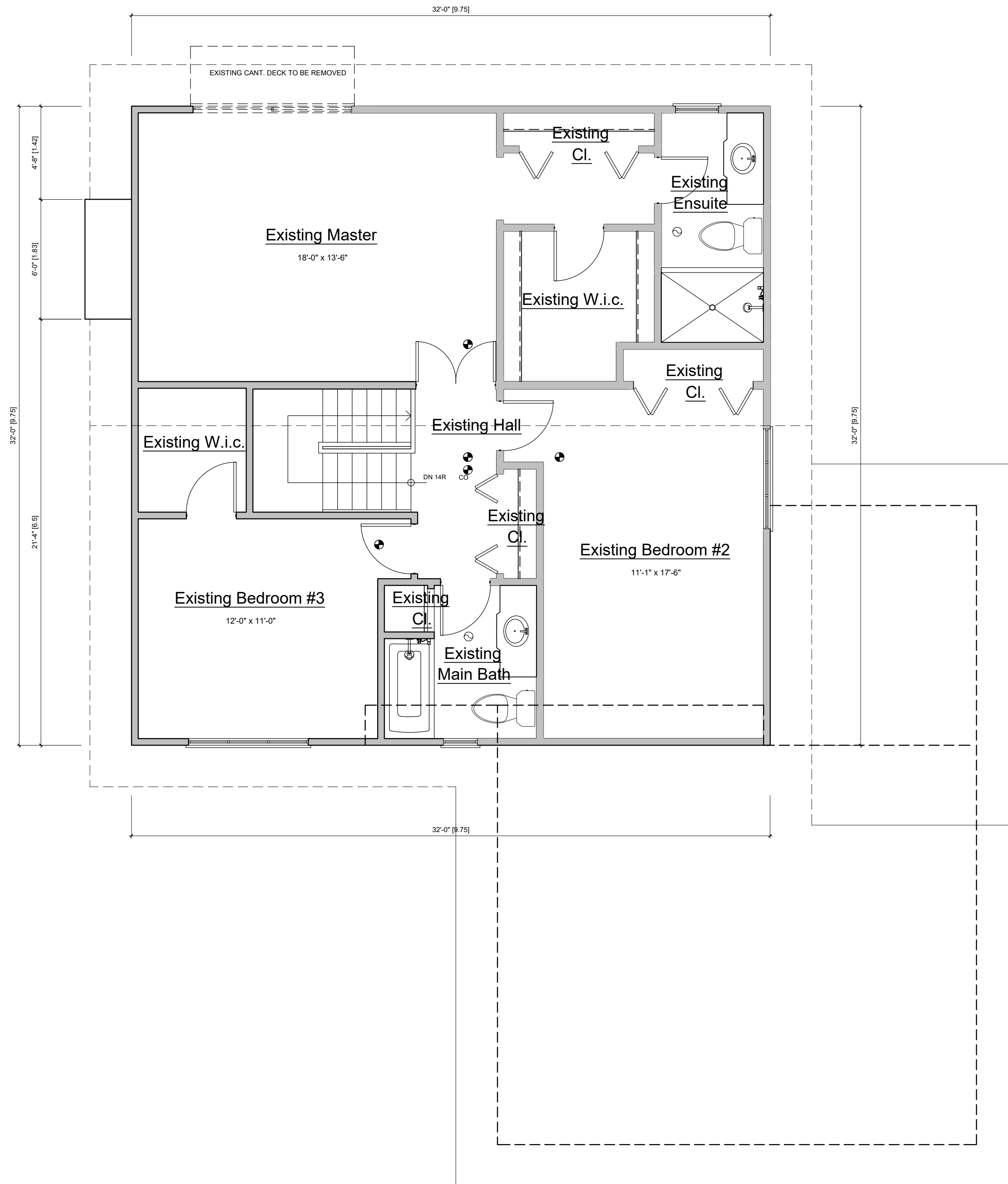
OWNER: SHELLY BACON

DRAWN BY: RBB/MLB
PROJECT NO.: 2501A

CHECKED BY: RBB
DATE: 24JAN25

SCALE: AS NOTED
DWG. NO.: A1.1

DWG. FILE NO.: 2501A-ARCH-01



LEGEND

| | |
|--------------------------------|-----------------------------|
| INT. INTERIOR | FG. FIXED GLASS |
| EXT. EXTERIOR | GB. GLASS BLOCK |
| TOF TOP OF FOUNDATION | RWL RAIN WATER LEADER |
| FFE FIRST FLOOR ELEVATION | O/S OUTSIDE OF STUD. |
| AFF ABOVE FINISHED FLOOR | U/S UNDER SIDE |
| ▶ EXTERIOR ENTRY | SB SOLID BEARING |
| ⊙ SMOKE DETECTOR | PL POINT LOAD ABOVE. |
| ⊙ CO CARBON MONOXIDE DETECTOR. | FL FIREPLACE VENT |
| ⊙ EXHAUST FAN | SV STOVE VENT |
| □ FLOOR DRAIN | DV DRYER VENT |
| X HB FROST FREE HOSE BIB | AH ATTIC HATCH 22 1/2 x 28" |

SMOKE ALARM: (9.10.19. OBC 2012)

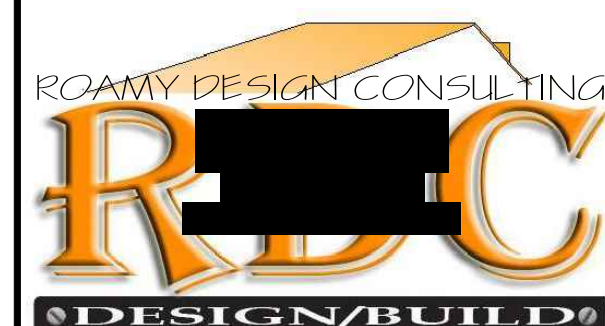
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(9.33.4., OBC 2012)
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| | | | |
|---|----------------|--------|--|
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| NAME | SIGNATURE | BCIN # | |
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| REGISTRATION INFORMATION | | | |
| Roamy Design Consulting | 33867 | | |
| FIRM NAME | Registration # | | |

| | | | |
|-----|---------------------|---------|-----|
| | | | |
| 2 | RESUBMIT FOR PERMIT | 20MAR25 | RBB |
| 1 | ISSUED for PERMIT | 07FEB25 | RBB |
| NO. | DESCRIPTION | DATE | BY |



PROJECT:
REAR DECK/ALTERATION
5 MILLAR'S LANE
MALLORYTOWN, ON

DWG TITLE:
EXISTING PLANS

CLIENT: DKP CONSTRUCTION

OWNER: SHELLY BACON

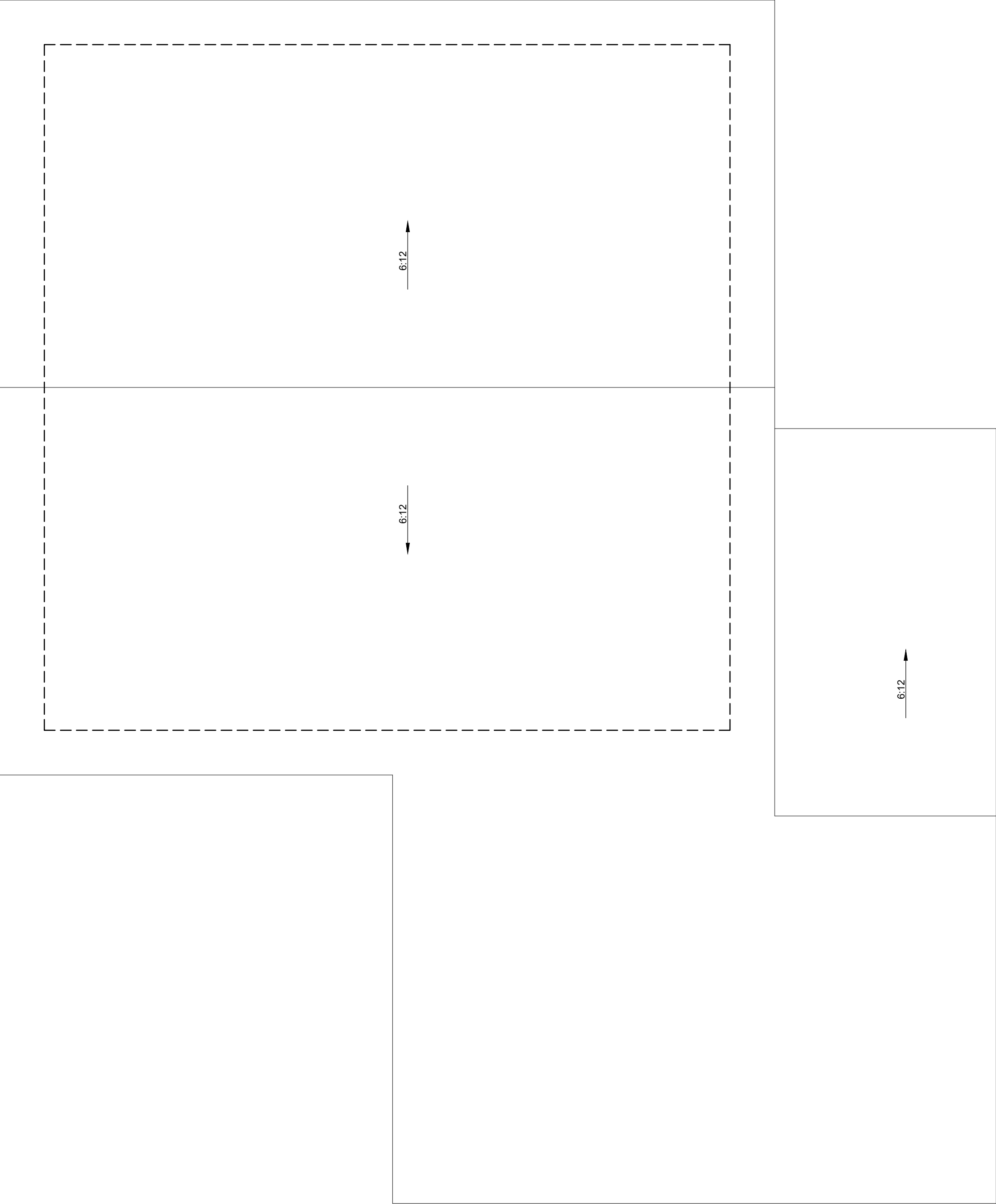
DRAWN BY: RBB/MLB PROJECT NO.: 2501A

CHECKED BY: RBB DATE: 24JAN25

SCALE: AS NOTED DWG. NO.: A1.2

DWG. FILE NO.: 2501A-ARCH-01

1 Existing Second Plan
A1.2 Scale: 1/4" = 1'-0"



LEGEND

| | |
|--------------------------------|----------------------------|
| INT. INTERIOR | FG. FIXED GLASS |
| EXT. EXTERIOR | GB. GLASS BLOCK |
| TOF TOP OF FOUNDATION | RWL RAIN WATER LEADER |
| FFE FIRST FLOOR ELEVATION | O/S OUTSIDE OF STUD. |
| AFF ABOVE FINISHED FLOOR | U/S UNDER SIDE |
| ▶ EXTERIOR ENTRY | SB SOLID BEARING |
| ☼ SMOKE DETECTOR | PL POINT LOAD ABOVE. |
| ☼ CO CARBON MONOXIDE DETECTOR. | FL FIREPLACE VENT |
| ⌚ EXHAUST FAN | SV STOVE VENT |
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CARBON MONOXIDE ALARMS:
(9.33.4., OBC 2012)
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| Required unless design is exempt under 2.17.5.1. of the building code | | | |
| QUALIFICATION INFORMATION | | | |
| Robert Bailey | | 24772 | |
| NAME | SIGNATURE | BCIN # | |
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| REGISTRATION INFORMATION | | | |
| Roamy Design Consulting | | 33867 | |
| FIRM NAME | | Registration # | |

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|-----|---------------------|---------|-----|
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| | | | |
| 2 | RESUBMIT FOR PERMIT | 20MAR25 | RBB |
| 1 | ISSUED for PERMIT | 07FEB25 | RBB |
| NO. | DESCRIPTION | DATE | BY |



PROJECT:
REAR DECK/ALTERATION
5 MILLAR'S LANE
MALLORYTOWN, ON

DWG TITLE:
EXISTING PLANS

CLIENT: DKP CONSTRUCTION

OWNER: SHELLY BACON

DRAWN BY: RBB/MLB PROJECT NO.: 2501A

CHECKED BY: RBB DATE: 24JAN25

SCALE: AS NOTED DWG. NO.: A1.3

DWG. FILE NO.: 2501A-ARCH-01

LEGEND

| | |
|--------------------------------|----------------------------|
| INT. INTERIOR | FG. FIXED GLASS |
| EXT. EXTERIOR | GB. GLASS BLOCK |
| TOF TOP OF FOUNDATION | RWL RAIN WATER LEADER |
| FFE FIRST FLOOR ELEVATION | O/S OUTSIDE OF STUD. |
| AFF ABOVE FINISHED FLOOR | U/S UNDER SIDE |
| ▶ EXTERIOR ENTRY | SB SOLID BEARING |
| ⊙ SMOKE DETECTOR | PL POINT LOAD ABOVE. |
| ⊙ CO CARBON MONOXIDE DETECTOR. | FV FIREPLACE VENT |
| ⊙ EXHAUST FAN | SV STOVE VENT |
| □ FLOOR DRAIN | DV DRYER VENT |
| X HB FROST FREE HOSE BIB | AH ATTIC HATCH 22 1/2 x28" |

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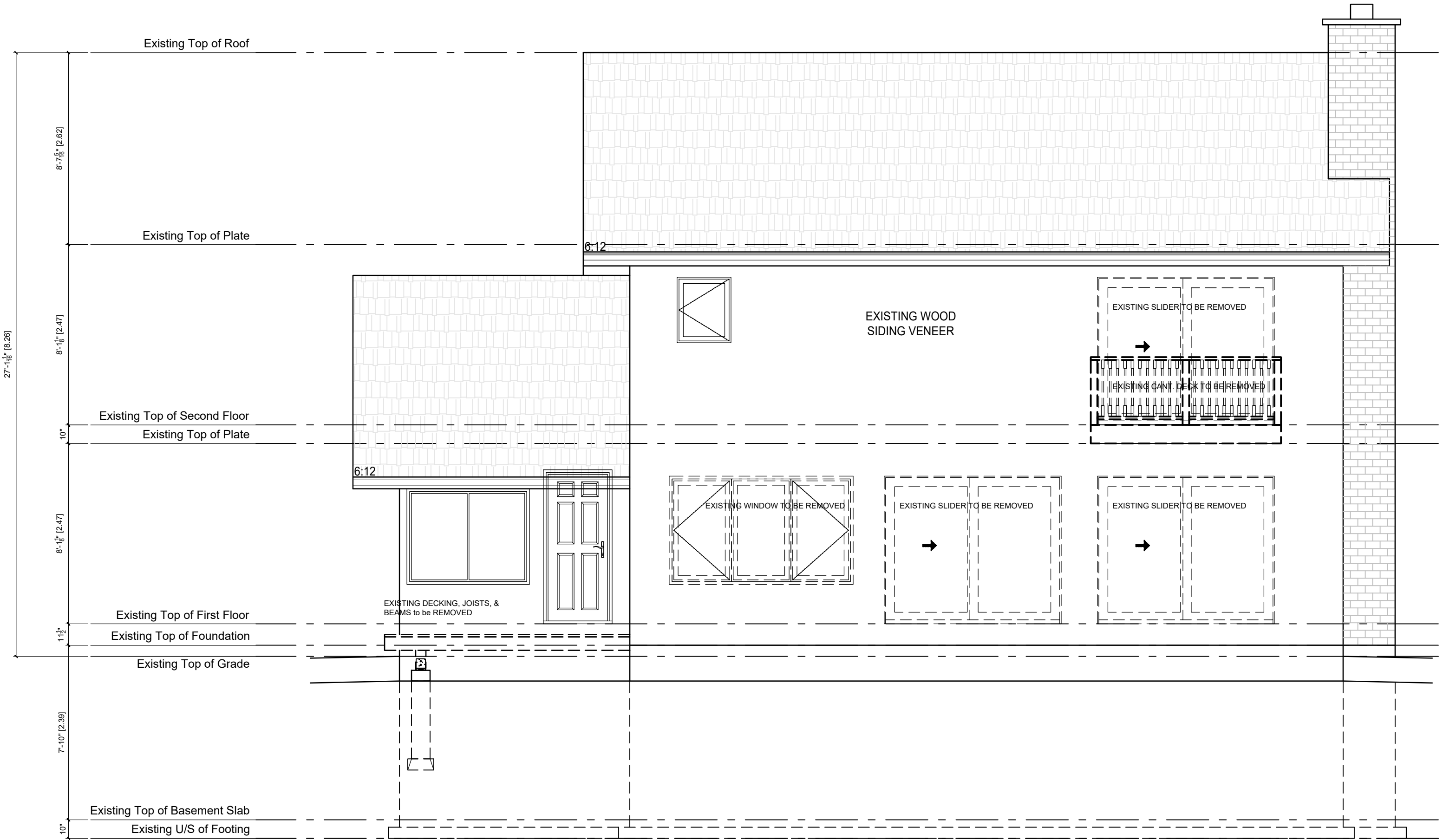
| | | | |
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| QUALIFICATION INFORMATION | | | |
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| | | | |
| 2 | RESUBMIT FOR PERMIT | 20MAR25 | RBB |
| 1 | ISSUED for PERMIT | 07FEB25 | RBB |
| NO. | DESCRIPTION | DATE | BY |



PROJECT:
REAR DECK/ALTERATION
5 MILLAR'S LANE
MALLORYTOWN, ON

| | | |
|----------------|--------------|---------------------|
| DWG TITLE: | | EXISTING ELEVATIONS |
| CLIENT: | | DKP CONSTRUCTION |
| OWNER: | | SHELLY BACON |
| DRAWN BY: | PROJECT NO.: | |
| RBB/MLB | 2501A | |
| CHECKED BY: | DATE: | |
| RBB | 24JAN25 | |
| SCALE: | DWG. NO.: | |
| AS NOTED | | |
| DWG. FILE NO.: | | |
| 2501A-ARCH-01 | | A2.0 |



1 Existing Rear Elevation
A2.0 Scale: 1/4" = 1'-0"

LEGEND

| | |
|--------------------------------|----------------------------|
| INT. INTERIOR | FG. FIXED GLASS |
| EXT. EXTERIOR | GB. GLASS BLOCK |
| TOF TOP OF FOUNDATION | RWL RAIN WATER LEADER |
| FFE FIRST FLOOR ELEVATION | O/S OUTSIDE OF STUD. |
| AFF ABOVE FINISHED FLOOR | U/S UNDER SIDE |
| ▶ EXTERIOR ENTRY | SB SOLID BEARING |
| ⊙ SMOKE DETECTOR | PL POINT LOAD ABOVE. |
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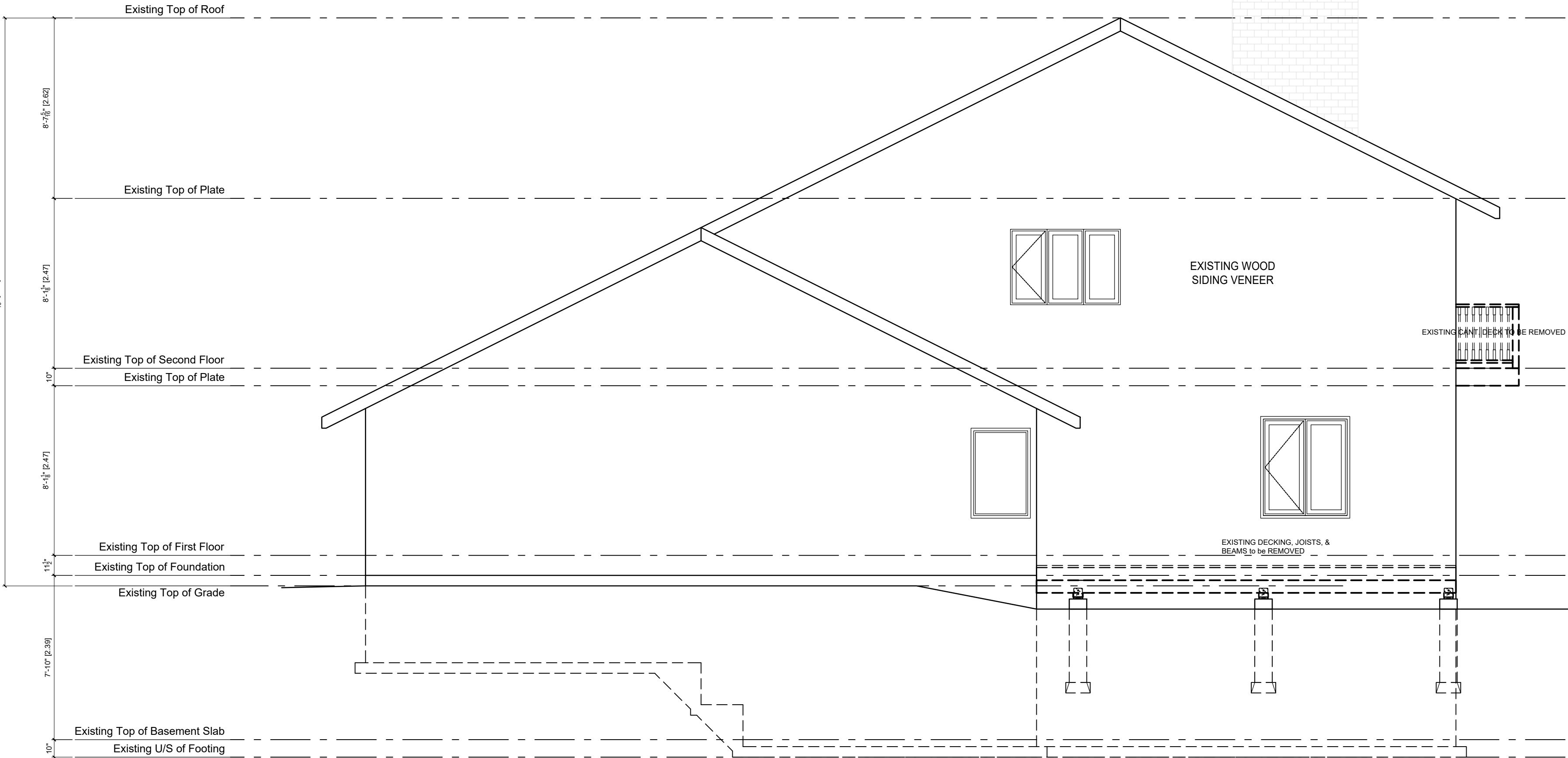
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| 1 | ISSUED for PERMIT | 07FEB25 | RBB |
| NO. | DESCRIPTION | DATE | BY |

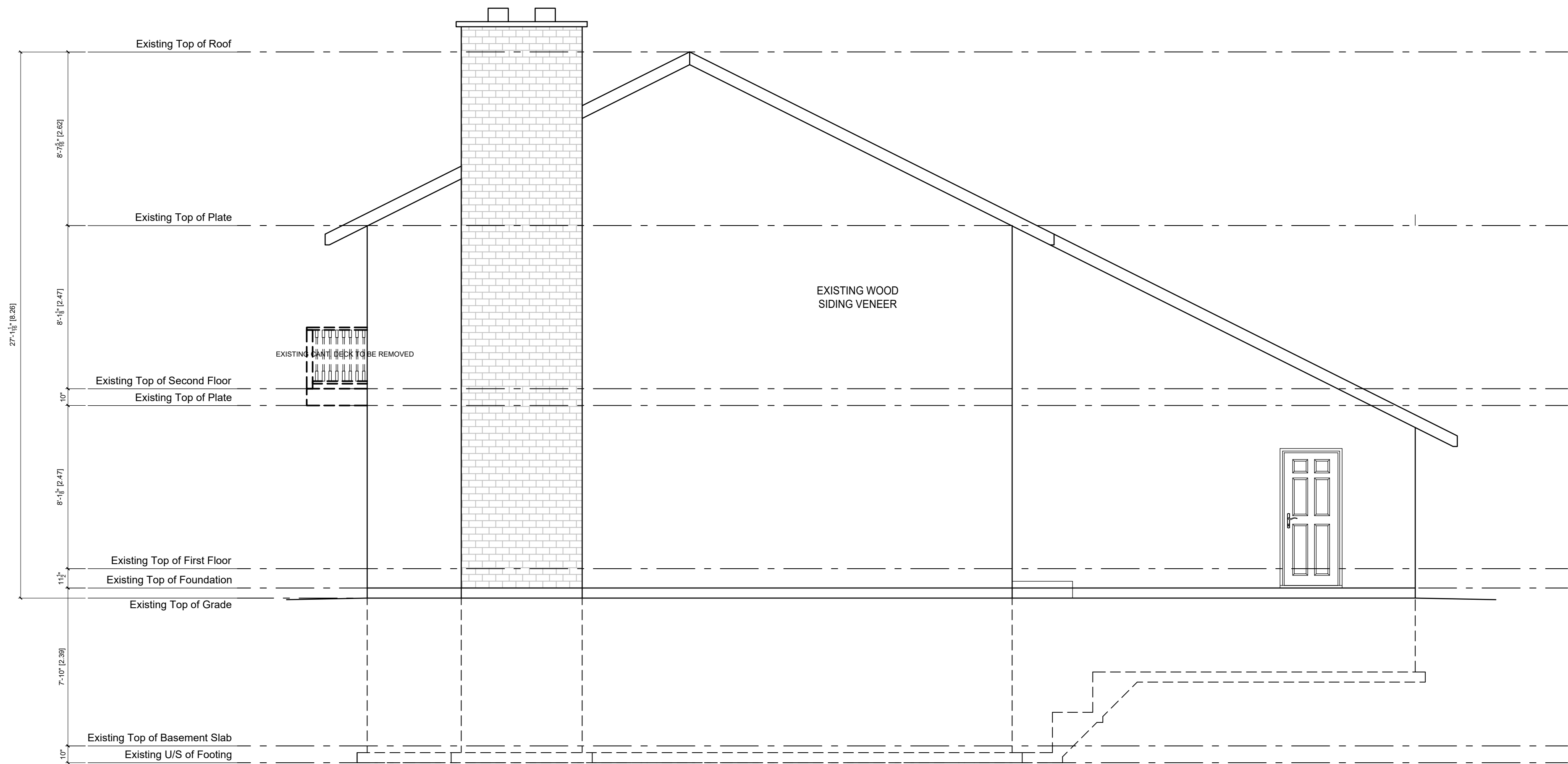


PROJECT:
REAR DECK/ALTERATION
5 MILLAR'S LANE
MALLORYTOWN, ON

| | | | |
|----------------|----------|---------------------|---------|
| DWG TITLE: | | EXISTING ELEVATIONS | |
| CLIENT: | | DKP CONSTRUCTION | |
| OWNER: | | SHELLY BACON | |
| DRAWN BY: | RBB/MLB | PROJECT NO.: | 2501A |
| CHECKED BY: | RBB | DATE: | 24JAN25 |
| SCALE: | AS NOTED | DWG. NO.: | A2.1 |
| DWG. FILE NO.: | | 2501A-ARCH-01 | |



1 Existing Right Elevation
A2.1 Scale: 1/4" = 1'-0"



1 Existing Left Elevation
A2.2 Scale: 1/4" = 1'-0"

LEGEND

| | |
|--------------------------------|-----------------------------|
| INT. INTERIOR | FG. FIXED GLASS |
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| TOF TOP OF FOUNDATION | RWL RAIN WATER LEADER |
| FFE FIRST FLOOR ELEVATION | O/S OUTSIDE OF STUD. |
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| 2 | RESUMIT FOR PERMIT | 20MAR25 | RBB |
| 1 | ISSUED for PERMIT | 07FEB25 | RBB |
| NO. | DESCRIPTION | DATE | BY |



PROJECT:
REAR DECK/ALTERATION
5 MILLAR'S LANE
MALLORYTOWN, ON

DWG TITLE:
EXISTING ELEVATIONS

CLIENT: DKP CONSTRUCTION

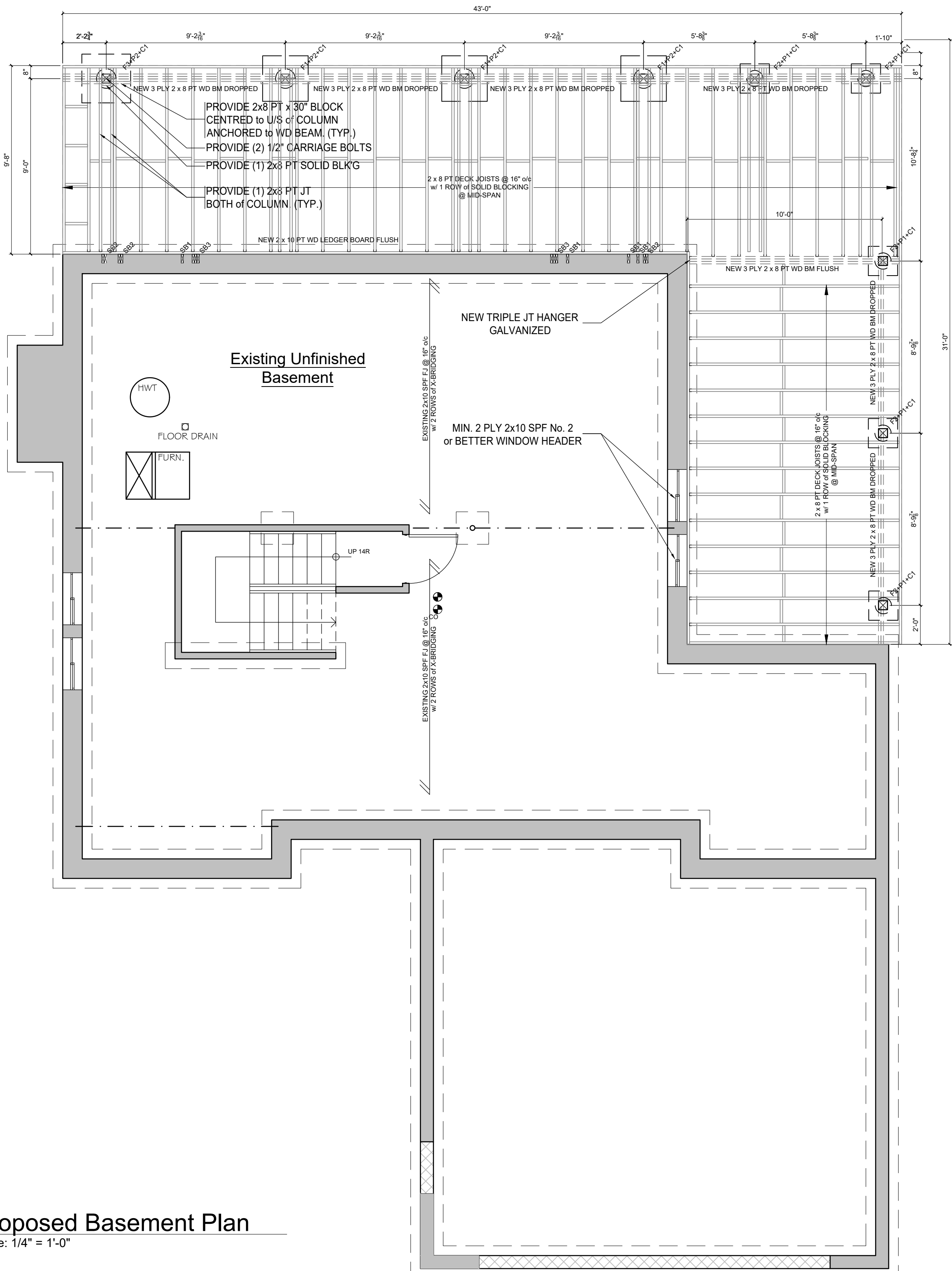
OWNER: SHELLY BACON

DRAWN BY: RBB/MLB PROJECT NO.: 2501A

CHECKED BY: RBB DATE: 24JAN25

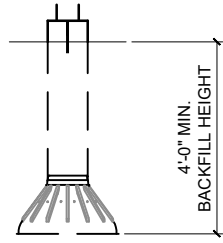
SCALE: AS NOTED DWG. NO.:

DWG. FILE NO.: 2501A-ARCH-01 A2.2

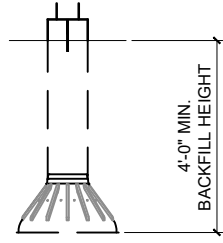


- F1 - NEW 28"x28"x8" 25 MPa CONCRETE PAD BEARING on UNDISTURBED NON-ORGANIC SOIL w/ MIN. 1500 psf (75 kPa) SOIL BEARING CAPACITY.
- F2 - NEW 18"x18"x6" 25 MPa CONCRETE PAD BEARING on UNDISTURBED NON-ORGANIC SOIL w/ MIN. 1500 psf (75 kPa) SOIL BEARING CAPACITY.
- F3 - NEW 20"x20"x6" 25 MPa CONCRETE PAD BEARING on UNDISTURBED NON-ORGANIC SOIL w/ MIN. 1500 psf (75 kPa) SOIL BEARING CAPACITY.
- P1 - 10" Ø CONCRETE PIER, ENCASED W/ 10" Ø SONOTUBE FILLED w/ 25 MPa CONCRETE W/ 5 ~ 8 % AIR ENTRAINMENT. PROVIDE 6x6 GALV. METAL COLUMN BASE (ABU ZMAX w/ SDS2 SCREWS by SST).
- P2 - 12" Ø CONCRETE PIER, ENCASED W/ 10" Ø SONOTUBE FILLED w/ 25 MPa CONCRETE W/ 5 ~ 8 % AIR ENTRAINMENT. PROVIDE 6x6 GALV. METAL COLUMN BASE (CBSQ w/ SDS2 SCREWS by SST).

C1 - 6x6 PT WOOD COLUMN.



ALTERNATIVE FOOTING/PIER DTL.
F2 - BF28 BIGFOOT SYSTEMS FOOTING FORMS
C1 - 6x6 P.T. WOOD COLUMN w/ METAL 6x6 GALV. METAL COLUMN BASE (ABU ZMAX w/ SDS2 SCREWS by SST). EMBEDDED INTO CONCRETE PIER.
P1 - NEW 10" Ø SONOTUBE FILLED w/ 25 MPa CONCRETE w/ 5~8% AIR ENTRAINMENT.



ALTERNATIVE FOOTING/PIER DTL.
F1 - BF36 BIGFOOT SYSTEMS FOOTING FORMS
C1 - 6x6 P.T. WOOD COLUMN w/ METAL 6x6 GALV. METAL COLUMN BASE (CBSQ w/ SDS2 SCREWS by SST). EMBEDDED INTO CONCRETE PIER.
P2 - NEW 12" Ø SONOTUBE FILLED w/ 25 MPa CONCRETE w/ 5~8% AIR ENTRAINMENT.

FLOOR DESIGN LOADS

| | |
|-----------|---|
| LIVE LOAD | 40.0 psf |
| DEAD LOAD | 12.0 psf |
| SBx | SOLID BEARING REQ'D & NUMBER OF PLIES (TO MATCH WALL THICKNESS) |
| PLA | POINT LOAD ABOVE |

LEGEND

| | |
|---------------------------|--------------------------|
| INT. INTERIOR | FG. FIXED GLASS |
| EXT. EXTERIOR | GB. GLASS BLOCK |
| TOF TOP OF FOUNDATION | RWL RAIN WATER LEADER |
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| AFF ABOVE FINISHED FLOOR | U/S UNDER SIDE |
| EXTERIOR ENTRY | SOLID BEARING |
| SMOKE DETECTOR | POINT LOAD ABOVE. |
| CARBON MONOXIDE DETECTOR. | FIREPLACE VENT |
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| FROST FREE HOSE BIB | ATTIC HATCH 22 1/2 x 28" |

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| | | | |
| | | | |
| 2 | RESUBMIT FOR PERMIT | 20MAR25 | RBB |
| 1 | ISSUED for PERMIT | 07FEB25 | RBB |
| NO. | DESCRIPTION | DATE | BY |



| | | | |
|--------------------------|--|-----------------------|--|
| PROJECT: | | REAR DECK/ALTERATION | |
| | | 5 MILLAR'S LANE | |
| | | MALLORYTOWN, ON | |
| DWG TITLE: | | | |
| PROPOSED PLANS | | | |
| CLIENT: DKP CONSTRUCTION | | | |
| OWNER: SHELLY BACON | | | |
| DRAWN BY: RBB/MLB | | PROJECT NO.: 2501A | |
| CHECKED BY: RBB | | DATE: 24JAN25 | |
| SCALE: AS NOTED | | DWG. NO.: | |
| DWG. FILE NO.: | | A3.0 | |
| 2501A-ARCH-01 | | | |

1 Proposed Basement Plan
A3.0 Scale: 1/4" = 1'-0"

LEGEND

| | |
|-----------------------------|----------------------------|
| INT. INTERIOR | FG. FIXED GLASS |
| EXT. EXTERIOR | GB. GLASS BLOCK |
| TOF TOP OF FOUNDATION | RWL RAIN WATER LEADER |
| FFE FIRST FLOOR ELEVATION | O/S OUTSIDE OF STUD. |
| AFF ABOVE FINISHED FLOOR | U/S UNDER SIDE |
| ▶ EXTERIOR ENTRY | SB SOLID BEARING |
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| | | | |
| 2 | RESUBMIT FOR PERMIT | 20MAR25 | RBB |
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| NO. | DESCRIPTION | DATE | BY |



PROJECT:
REAR DECK/ALTERATION
5 MILLAR'S LANE
MALLORYTOWN, ON

DWG TITLE:
PROPOSED PLANS

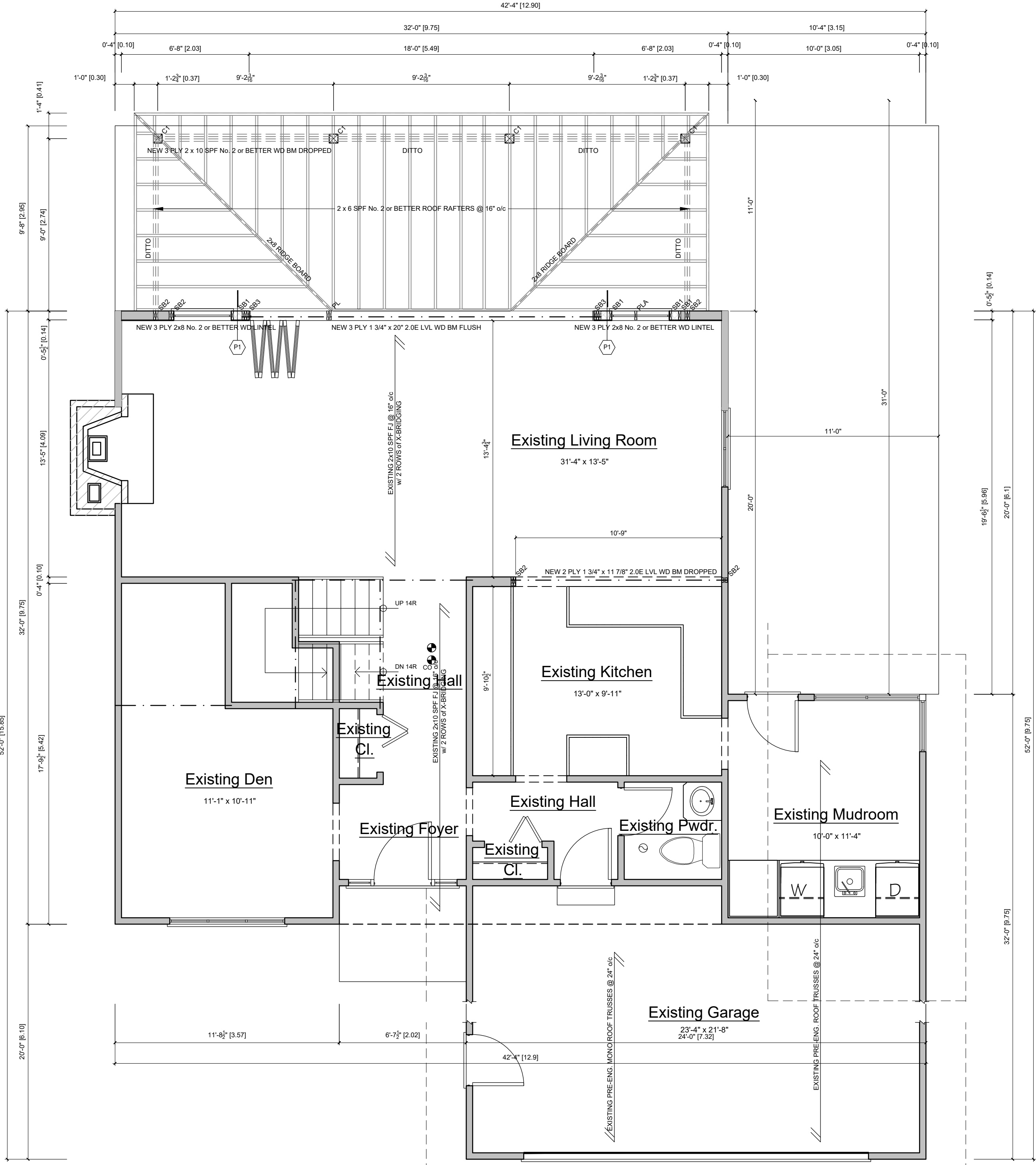
CLIENT: DKP CONSTRUCTION

OWNER: SHELLY BACON

DRAWN BY: RBB/MLB PROJECT NO.: 2501A

CHECKED BY: RBB DATE: 24JAN25

SCALE: AS NOTED DWG. NO.:
DWG. FILE NO.: 2501A-ARCH-01
A3.1



C1 - 6x6 PT WOOD COLUMN.

NEW WALL

P1 - PROPOSED EXTERIOR LOAD BEARING WALL

EXTERIOR

- VERT. VINYL SIDING
- 1/4" HORZ STRAPPING @ 16" o/c
- 1/2" EXT. GRADE PLYWOOD
- R5 CONT. INSULATION
- 2x6 SPF WALL STUDS @ 16" o/c w/ 2x6 BLOCKING @ MID-HEIGHT
- R22 BATT INSULATION
- 1/2" GYP. BD.

INTERIOR

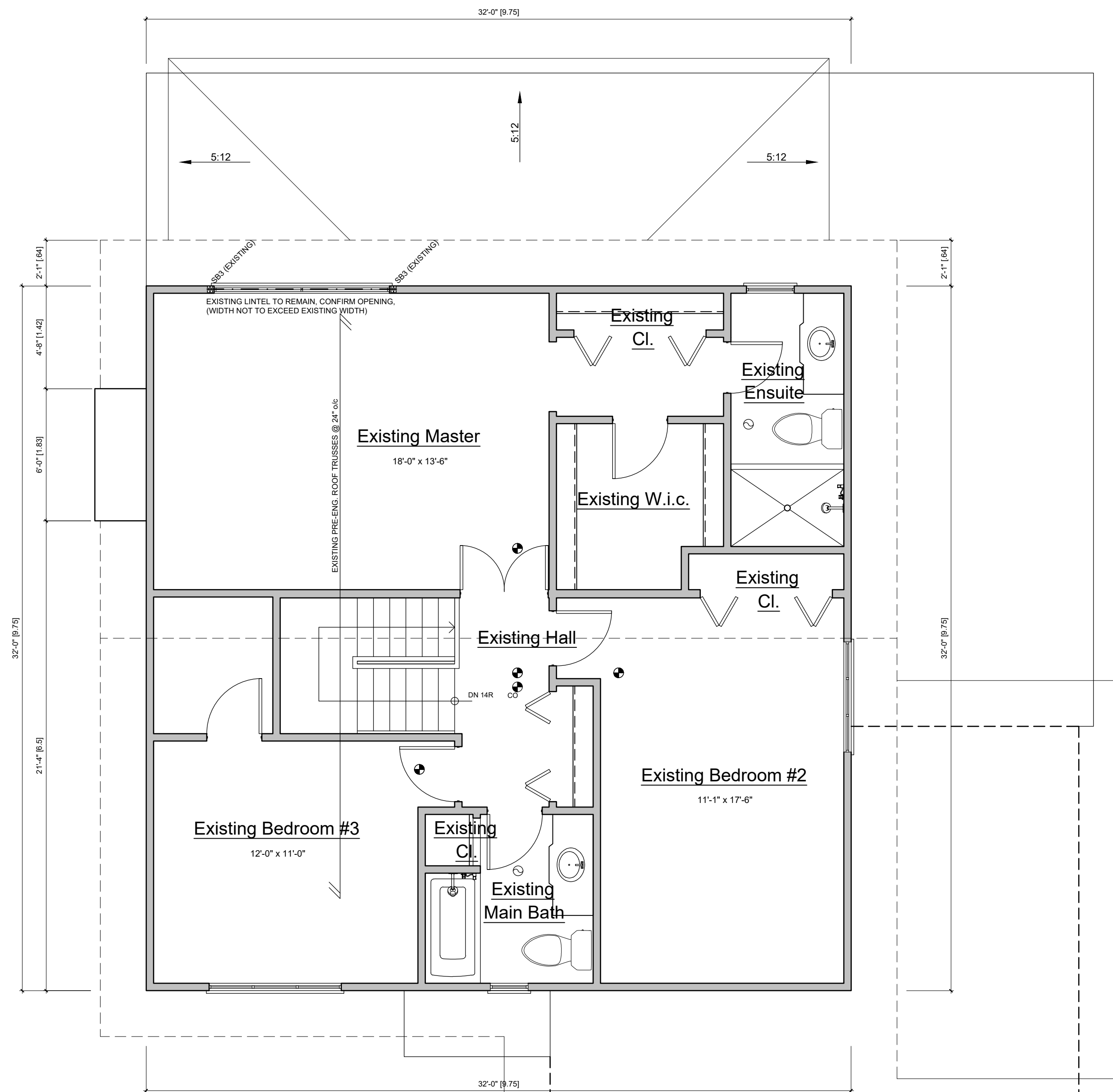
FLOOR DESIGN LOADS

| | |
|-----------|----------|
| LIVE LOAD | 40.0 psf |
| DEAD LOAD | 12.0 psf |

ROOF DESIGN LOADS

| | |
|----------------------|---|
| SNOW LOAD (Factored) | 36.0 psf |
| DEAD LOAD | 10.0 psf |
| SBx | SOLID BEARING REQ'D & NUMBER of PLIES (TO MATCH WALL THICKNESS) |
| PLA | POINT LOAD ABOVE |

1 Proposed Ground Floor Plan
A3.1 Scale: 1/4" = 1'-0"



ROOF DESIGN LOADS

| | |
|-------------------------|--|
| SNOW LOAD (Factored) | 36.0 psf |
| LIVE LOAD ATTIC | 5.0 psf |
| DEAD LOAD TOP CHORD | 6.0 psf |
| DEAD LOAD BOTTOM CHORD | 8.0 psf |
| SBx | SOLID BEARING REQ'D & NUMBER of PLIES (TO MATCH WALL THICKNESS) |
| PLA | POINT LOAD ABOVE |

LEGEND

| | |
|-----------------------------|-----------------------------|
| INT. INTERIOR | FG. FIXED GLASS |
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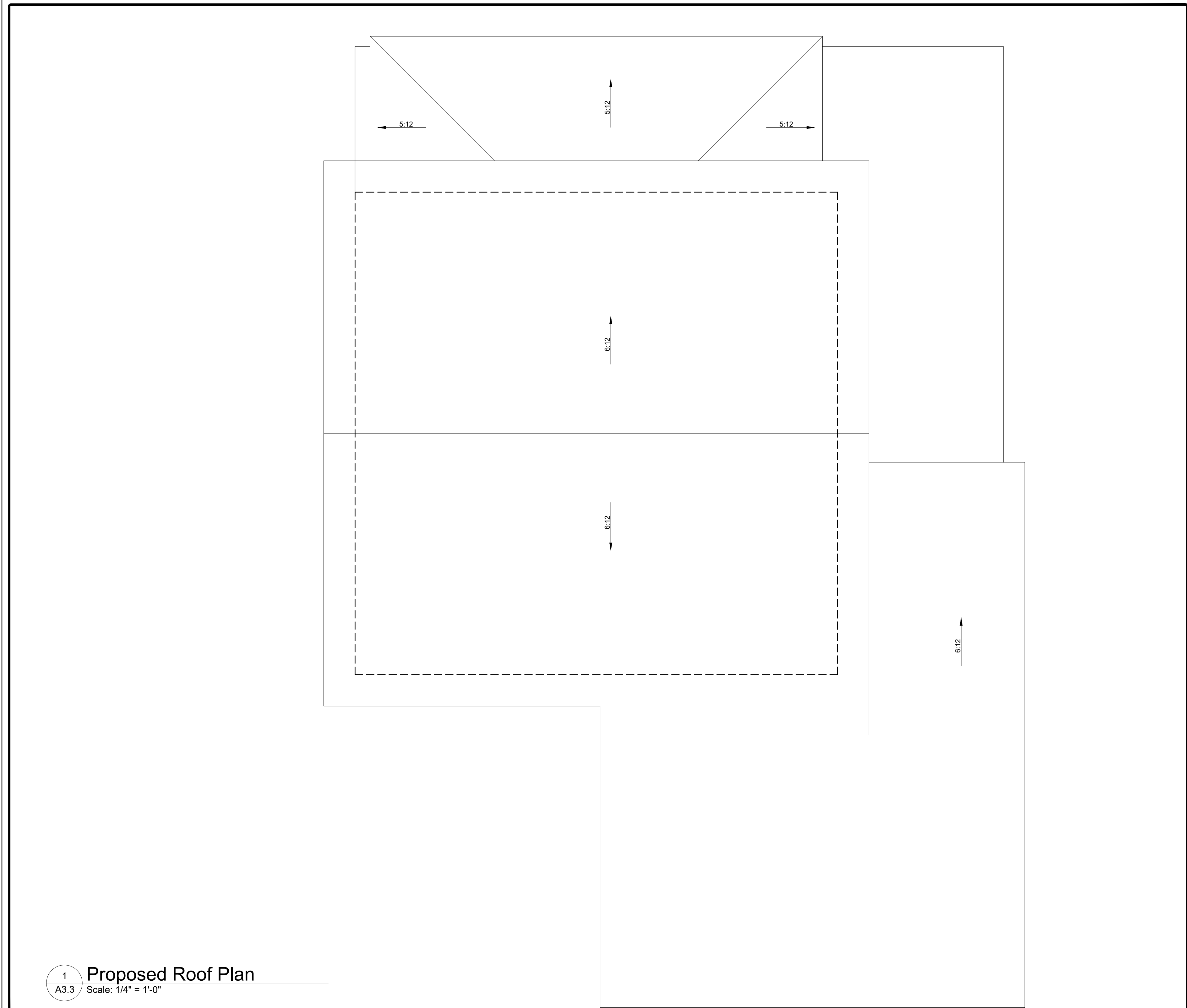
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| NAME | SIGNATURE | BCIN # | |
| Required unless design is exempt under 2.17.4.1. of the building code | | | |
| REGISTRATION INFORMATION | | | |
| Roamy Design Consulting | 33867 | | |
| FIRM NAME | Registration # | | |

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|-----|---------------------|---------|-----|
| | | | |
| 2 | RESUBMIT FOR PERMIT | 20MAR25 | RBB |
| 1 | ISSUED for PERMIT | 07FEB25 | RBB |
| NO. | DESCRIPTION | DATE | BY |



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| PROJECT: REAR DECK/ALTERATION 5 MILLAR'S LANE MALLORYTOWN, ON | |
| DWG TITLE: PROPOSED PLANS | |
| CLIENT: DKP CONSTRUCTION | |
| OWNER: SHELLY BACON | |
| DRAWN BY: RBB/MLB | PROJECT NO.: 2501A |
| CHECKED BY: RBB | DATE: 24JAN25 |
| SCALE: AS NOTED | DWG. NO.: A3.2 |
| DWG. FILE NO.: 2501A-ARCH-01 | |



LEGEND

| | |
|--------------------------------|----------------------------|
| INT. INTERIOR | FG. FIXED GLASS |
| EXT. EXTERIOR | GB. GLASS BLOCK |
| TOF TOP OF FOUNDATION | RWL RAIN WATER LEADER |
| FFE FIRST FLOOR ELEVATION | O/S OUTSIDE OF STUD. |
| AFF ABOVE FINISHED FLOOR | U/S UNDER SIDE |
| ▶ EXTERIOR ENTRY | SB SOLID BEARING |
| ☼ SMOKE DETECTOR | PL POINT LOAD ABOVE. |
| ☼ CO CARBON MONOXIDE DETECTOR. | FV FIREPLACE VENT |
| ⌚ EXHAUST FAN | SV STOVE VENT |
| □ FLOOR DRAIN | DV DRYER VENT |
| X HB FROST FREE HOSE BIB | AH ATTIC HATCH 22 1/2 x28" |

SMOKE ALARM: (9.10.19. OBC 2012)
AT LEAST ONE SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL. ON ANY STOREY THAT CONTAINS SLEEPING ROOMS, SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND IN THE HALLWAY BY WHICH THE SLEEPING ROOMS ARE SERVED. SMOKE ALARMS SHALL BE INTERCONNECTED. SMOKE SHALL CONFORM TO CAN/ULC-S553.

CARBON MONOXIDE ALARMS:
(9.33.4., OBC 2012)
A CARBON MONOXIDE (CO) ALARMS SHALL CONFORMING TO CAN/CGA-6.19. SHALL BE INSTALLED AS PER THE MANUFACTURER'S RECOMMENDED HEIGHT IN A SERVICE ROOM(S); IF A SOLID FUEL BURNING APPLIANCE IS INSTALLED A CO ALARM SHALL BE INSTALLED ADJACENT TO THE SLEEPING AREAS. IF THE DWELLING CONTAINS AN ATTACHED SERVICE GARAGE A CO ALARM SHALL BE INSTALLED ADJACENT TO SLEEPING AREAS. CO ALARM(S) SHALL BE WIRED SO THAT THEIR ACTIVATION WILL ACTIVATE ALL CO ALARMS WITHIN THE DWELLING.

| | |
|---|------------------|
| Required unless design is exempt under 2.17.5.1. of the building code | |
| QUALIFICATION INFORMATION | |
| Robert Bailey | 24772 |
| NAME | SIGNATURE BCIN # |
| Required unless design is exempt under 2.17.4.1. of the building code | |
| REGISTRATION INFORMATION | |
| Roamy Design Consulting | 33867 |
| FIRM NAME | Registration # |

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| 2 | RESUBMIT FOR PERMIT | 20MAR25 | RBB |
| 1 | ISSUED for PERMIT | 07FEB25 | RBB |
| NO. | DESCRIPTION | DATE | BY |



PROJECT:
REAR DECK/ALTERATION
5 MILLAR'S LANE
MALLORYTOWN, ON

| | |
|---------------------------------|-----------------------|
| DWG TITLE: PROPOSED PLANS | |
| CLIENT: DKP CONSTRUCTION | |
| OWNER: SHELLY BACON | |
| DRAWN BY: RBB/MLB | PROJECT NO.: 2501A |
| CHECKED BY: RBB | DATE: 24JAN25 |
| SCALE: AS NOTED | DWG. NO.: A3.3 |
| DWG. FILE NO.: 2501A-ARCH-01 | |

1 Proposed Roof Plan
A3.3 Scale: 1/4" = 1'-0"

LEGEND

| | |
|--------------------------------|-----------------------------|
| INT. INTERIOR | FG. FIXED GLASS |
| EXT. EXTERIOR | GB. GLASS BLOCK |
| TOF TOP OF FOUNDATION | RWL RAIN WATER LEADER |
| FFE FIRST FLOOR ELEVATION | O/S OUTSIDE OF STUD. |
| AFF ABOVE FINISHED FLOOR | U/S UNDER SIDE |
| ▶ EXTERIOR ENTRY | SB SOLID BEARING |
| ⊙ SMOKE DETECTOR | PL POINT LOAD ABOVE. |
| ⊙ CO CARBON MONOXIDE DETECTOR. | FL FIREPLACE VENT |
| ⊙ EXHAUST FAN | SV STOVE VENT |
| □ FLOOR DRAIN | DV DRYER VENT |
| X HB FROST FREE HOSE BIB | AH ATTIC HATCH 22 1/2 x 28" |

SMOKE ALARM: (9.10.19. OBC 2012)
AT LEAST ONE SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL. ON ANY STOREY THAT CONTAINS SLEEPING ROOMS, SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND IN THE HALLWAY BY WHICH THE SLEEPING ROOMS ARE SERVED. SMOKE ALARMS SHALL BE INTERCONNECTED. SMOKE SHALL CONFORM TO CAN/ULC-S553.

CARBON MONOXIDE ALARMS:
(9.33.4., OBC 2012)
A CARBON MONOXIDE (CO) ALARMS SHALL CONFORMING TO CAN/CGA-6.19. SHALL BE INSTALLED AS PER THE MANUFACTURER'S RECOMMENDED HEIGHT IN A SERVICE ROOM(S). IF A SOLID FUEL BURNING APPLIANCE IS INSTALLED A CO ALARM SHALL BE INSTALLED ADJACENT TO THE SLEEPING AREAS. IF THE DWELLING CONTAINS AN ATTACHED SERVICE GARAGE A CO ALARM SHALL BE INSTALLED ADJACENT TO SLEEPING AREAS. CO ALARM(S) SHALL BE WIRED SO THAT THEIR ACTIVATION WILL ACTIVATE ALL CO ALARMS WITHIN THE DWELLING.

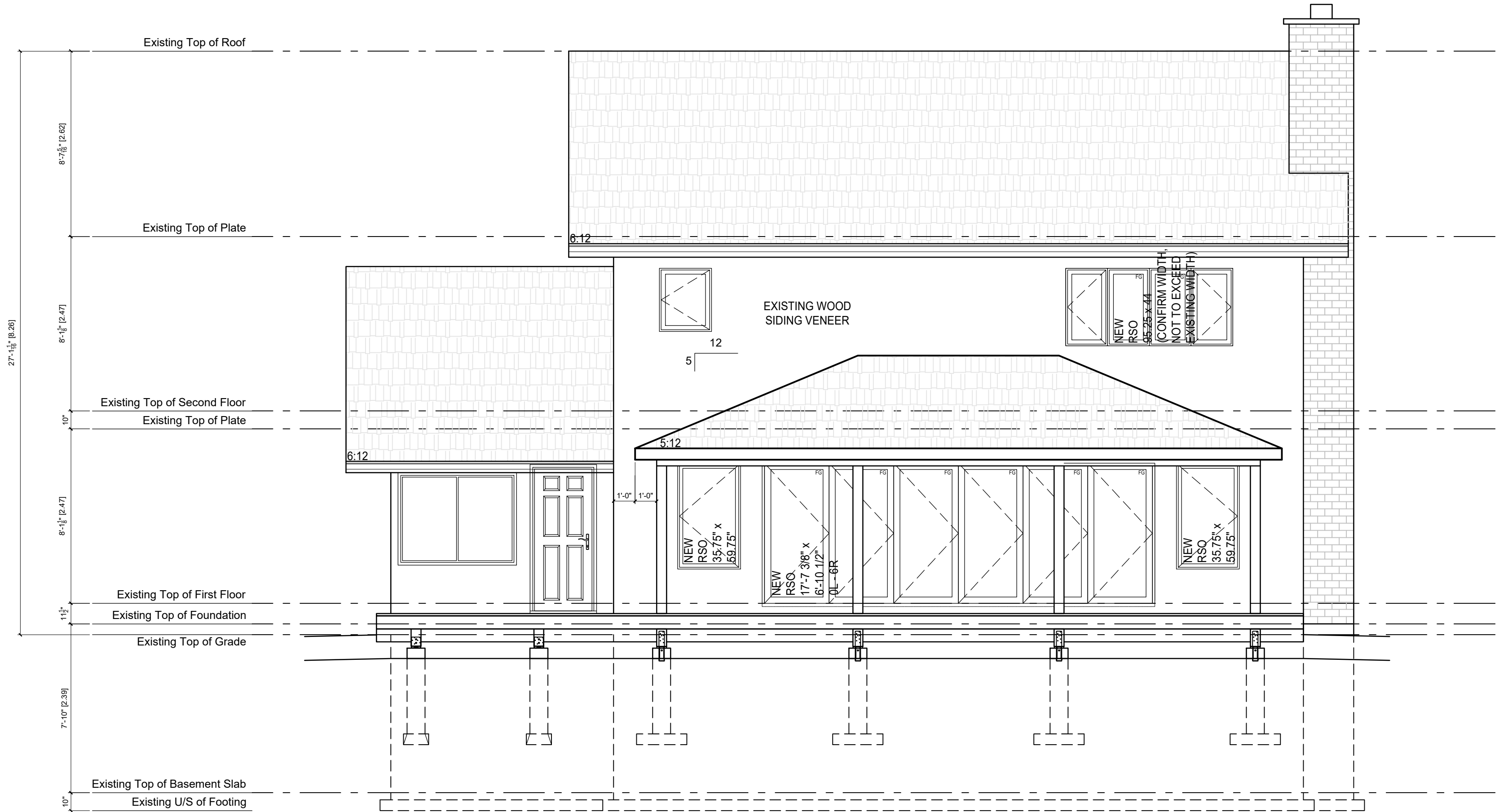
| | |
|---|------------------|
| Required unless design is exempt under 2.17.5.1. of the building code | |
| QUALIFICATION INFORMATION | |
| Robert Bailey | 24772 |
| NAME | SIGNATURE BCIN # |
| Required unless design is exempt under 2.17.4.1. of the building code | |
| REGISTRATION INFORMATION | |
| Roamy Design Consulting | 33867 |
| FIRM NAME | Registration # |

| | | | |
|-----|---------------------|---------|-----|
| | | | |
| 2 | RESUBMIT FOR PERMIT | 20MAR25 | RBB |
| 1 | ISSUED for PERMIT | 07FEB25 | RBB |
| NO. | DESCRIPTION | DATE | BY |









PROJECT:
REAR DECK/ALTERATION
5 MILLAR'S LANE
MALLORYTOWN, ON

| | |
|-----------------------------------|-----------------------|
| DWG TITLE: PROPOSED ELEVATIONS | |
| CLIENT: DPK CONSTRUCTION | |
| OWNER: SHELLY BACON | |
| DRAWN BY: RBB/MLB | PROJECT NO.: 2501A |
| CHECKED BY: RBB | DATE: 24JAN25 |
| SCALE: AS NOTED | DWG. NO.: A4.0 |
| DWG. FILE NO.: 2501A-ARCH-01 | |



1 Proposed Rear Elevation
A4.0 Scale: 1/4" = 1'-0"

LEGEND

| | |
|--------------------------------|--|
| INT. INTERIOR | FG. FIXED GLASS |
| EXT. EXTERIOR | GB. GLASS BLOCK |
| TOF TOP OF FOUNDATION | RWL RAIN WATER LEADER |
| FFE FIRST FLOOR ELEVATION | O/S OUTSIDE OF STUD. |
| AFF ABOVE FINISHED FLOOR | U/S UNDER SIDE |
| ▶ EXTERIOR ENTRY |  SOLID BEARING |
| ⊙ SMOKE DETECTOR |  POINT LOAD ABOVE. |
| ⊙ CO CARBON MONOXIDE DETECTOR. |  FIREPLACE VENT |
| ⊙ EXHAUST FAN |  STOVE VENT |
| □ FLOOR DRAIN |  DRYER VENT |
| X HB FROST FREE HOSE BIB |  ATTIC HATCH 22 1/2 x 28" |

SMOKE ALARM: (9.10.19. OBC 2012)
AT LEAST ONE SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL. ON ANY STOREY THAT CONTAINS SLEEPING ROOMS, SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND IN THE HALLWAY BY WHICH THE SLEEPING ROOMS ARE SERVED. SMOKE ALARMS SHALL BE INTERCONNECTED. SMOKE SHALL CONFORM TO CAN/ULC-S553.

CARBON MONOXIDE ALARMS:
(9.33.4., OBC 2012)
A CARBON MONOXIDE (CO) ALARMS SHALL CONFORMING TO CAN/CGA-6.19. SHALL BE INSTALLED AS PER THE MANUFACTURER'S RECOMMENDED HEIGHT IN A SERVICE ROOM(S); IF A SOLID FUEL BURNING APPLIANCE IS INSTALLED A CO ALARM SHALL BE INSTALLED ADJACENT TO THE SLEEPING AREAS. IF THE DWELLING CONTAINS AN ATTACHED SERVICE GARAGE A CO ALARM SHALL BE INSTALLED ADJACENT TO SLEEPING AREAS. CO ALARM(S) SHALL BE WIRED SO THAT THEIR ACTIVATION WILL ACTIVATE ALL CO ALARMS WITHIN THE DWELLING.

| | | | |
|---|-----------|----------------|--|
| Required unless design is exempt under 2.17.5.1. of the building code | | | |
| QUALIFICATION INFORMATION | | | |
| Robert Bailey | | 24772 | |
| NAME | SIGNATURE | BCIN # | |
| Required unless design is exempt under 2.17.4.1. of the building code | | | |
| REGISTRATION INFORMATION | | | |
| Roamy Design Consulting | | 33867 | |
| FIRM NAME | | Registration # | |

| | | | |
|-----|---------------------|---------|-----|
| | | | |
| 2 | RESUBMIT FOR PERMIT | 20MAR25 | RBB |
| 1 | ISSUED for PERMIT | 07FEB25 | RBB |
| NO. | DESCRIPTION | DATE | BY |



PROJECT:
REAR DECK/ALTERATION
5 MILLAR'S LANE
MALLORYTOWN, ON

DWG TITLE:
PROPOSED ELEVATIONS

CLIENT: DKP CONSTRUCTION

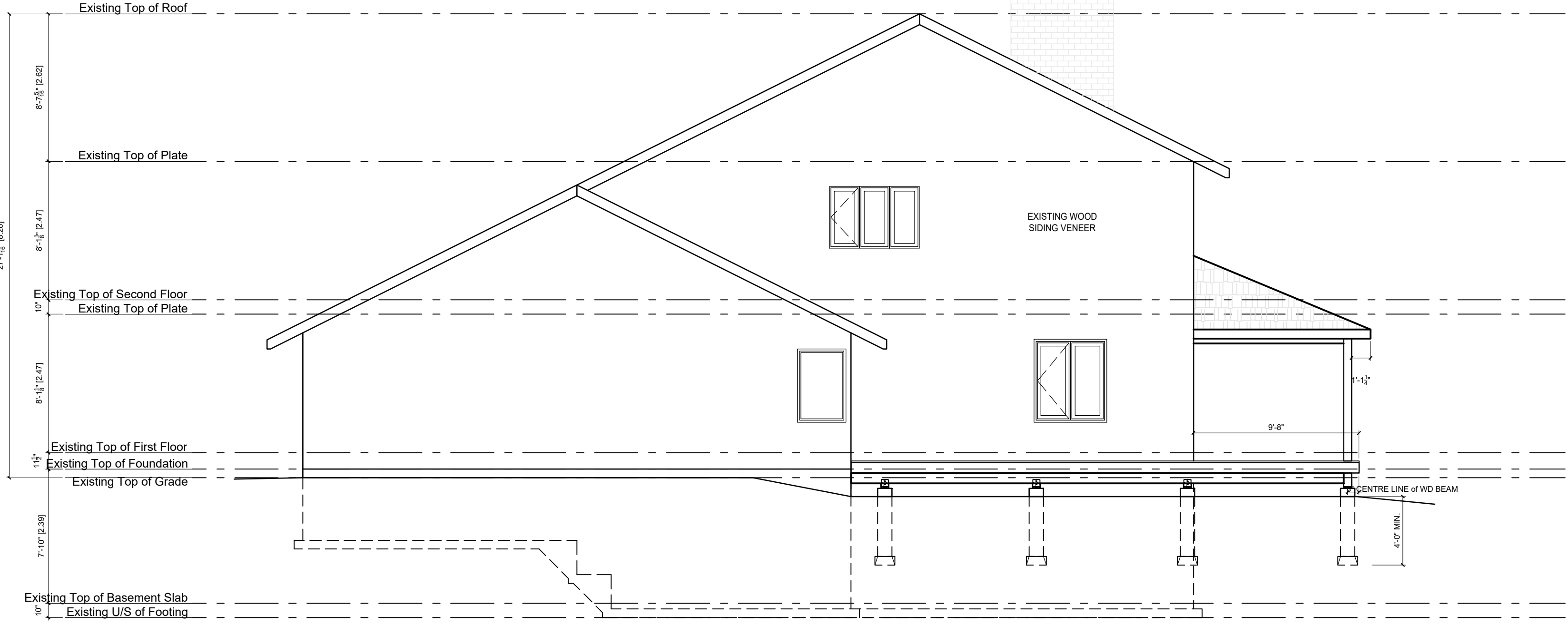
OWNER: SHELLY BACON

| | |
|----------------------|-----------------------|
| DRAWN BY: RBB/MLB | PROJECT NO.: 2501A |
|----------------------|-----------------------|

| | |
|--------------------|------------------|
| CHECKED BY: RBB | DATE: 24JAN25 |
|--------------------|------------------|

| | |
|--------------------|-----------|
| SCALE: AS NOTED | DWG. NO.: |
|--------------------|-----------|

| | |
|---------------------------------|------|
| DWG. FILE NO.: 2501A-ARCH-01 | A4.1 |
|---------------------------------|------|



1 Proposed Right Elevation
A4.1 Scale: 3/16" = 1'-0"

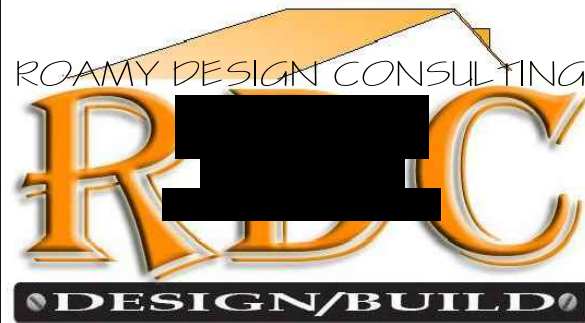
LEGEND

| | | |
|-------------------------------------|-----|--------------------------|
| INT. INTERIOR | FG. | FIXED GLASS |
| EXT. EXTERIOR | GB. | GLASS BLOCK |
| TOF TOP OF FOUNDATION | RWL | RAIN WATER LEADER |
| FFE FIRST FLOOR ELEVATION | O/S | OUTSIDE OF STUD. |
| AFF ABOVE FINISHED FLOOR | U/S | UNDER SIDE |
| ▶ EXTERIOR ENTRY | SB | SOLID BEARING |
| ⊙ SMOKE DETECTOR | PL | POINT LOAD ABOVE. |
| ⊙ CARBON MONOXIDE DETECTOR. | FL | FIREPLACE VENT |
| ⊙ EXHAUST FAN | SV | STOVE VENT |
| □ FLOOR DRAIN | DV | DRYER VENT |
| X _{HB} FROST FREE HOSE BIB | AH | ATTIC HATCH 22 1/2 x 28" |

SMOKE ALARM: (9.10.19. OBC 2012)
AT LEAST ONE SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL. ON ANY STOREY THAT CONTAINS SLEEPING ROOMS, SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND IN THE HALLWAY BY WHICH THE SLEEPING ROOMS ARE SERVED. SMOKE ALARMS SHALL BE INTERCONNECTED. SMOKE SHALL CONFORM TO CAN/ULC-S553.

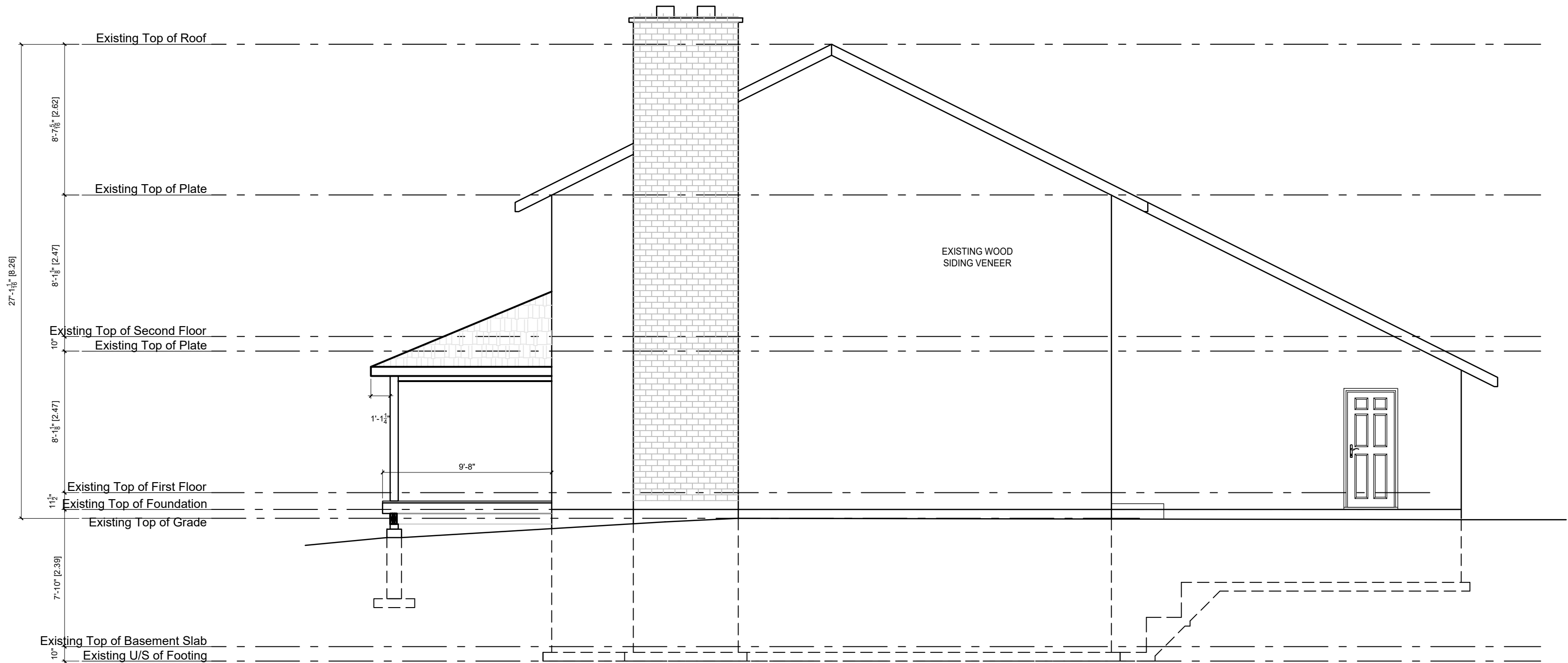
CARBON MONOXIDE ALARMS:
(9.33.4., OBC 2012)
A CARBON MONOXIDE (CO) ALARMS SHALL CONFORMING TO CAN/CGA-6.19. SHALL BE INSTALLED AS PER THE MANUFACTURER'S RECOMMENDED HEIGHT IN A SERVICE ROOM(S); IF A SOLID FUEL BURNING APPLIANCE IS INSTALLED A CO ALARM SHALL BE INSTALLED ADJACENT TO THE SLEEPING AREAS. IF THE DWELLING CONTAINS AN ATTACHED SERVICE GARAGE A CO ALARM SHALL BE INSTALLED ADJACENT TO SLEEPING AREAS. CO ALARM(S) SHALL BE WIRED SO THAT THEIR ACTIVATION WILL ACTIVATE ALL CO ALARMS WITHIN THE DWELLING.

| | | | |
|---|-----------|----------------|--|
| Required unless design is exempt under 2.17.5.1. of the building code | | | |
| QUALIFICATION INFORMATION | | | |
| Robert Bailey | | 24772 | |
| NAME | SIGNATURE | BCIN # | |
| Required unless design is exempt under 2.17.4.1. of the building code | | | |
| REGISTRATION INFORMATION | | | |
| Roamy Design Consulting | | 33867 | |
| FIRM NAME | | Registration # | |



PROJECT:
REAR DECK/ALTERATION
5 MILLAR'S LANE
MALLORYTOWN, ON

| | |
|-----------------------------------|-----------------------|
| DWG TITLE: PROPOSED ELEVATIONS | |
| CLIENT: DKP CONSTRUCTION | |
| OWNER: SHELLY BACON | |
| DRAWN BY: RBB/MLB | PROJECT NO.: 2501A |
| CHECKED BY: RBB | DATE: 24JAN25 |
| SCALE: AS NOTED | DWG. NO.: A4.2 |
| DWG. FILE NO.: 2501A-ARCH-01 | |



1 Proposed Left Elevation
A4.2 Scale: 3/16" = 1'-0"

LEGEND

| | |
|---------------------------|--------------------------|
| INT. INTERIOR | FG. FIXED GLASS |
| EXT. EXTERIOR | GB. GLASS BLOCK |
| TOF TOP OF FOUNDATION | RWL RAIN WATER LEADER |
| FFE FIRST FLOOR ELEVATION | O/S OUTSIDE OF STUD. |
| AFF ABOVE FINISHED FLOOR | U/S UNDER SIDE |
| EXTERIOR ENTRY | SOLID BEARING |
| SMOKE DETECTOR | POINT LOAD ABOVE. |
| CARBON MONOXIDE DETECTOR. | FIREPLACE VENT |
| EXHAUST FAN | STOVE VENT |
| FLOOR DRAIN | DRYER VENT |
| FROST FREE HOSE BIB | ATTIC HATCH 22 1/2 x 28" |

SMOKE ALARM: (9.10.19. OBC 2012)
AT LEAST ONE SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL. ON ANY STOREY THAT CONTAINS SLEEPING ROOMS, SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND IN THE HALLWAY BY WHICH THE SLEEPING ROOMS ARE SERVED. SMOKE ALARMS SHALL BE INTERCONNECTED. SMOKE SHALL CONFORM TO CAN/ULC-S553.

CARBON MONOXIDE ALARMS:
(9.33.4., OBC 2012)
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| | | | |
|---|----------------|--------|--|
| Required unless design is exempt under 2.17.5.1. of the building code | | | |
| QUALIFICATION INFORMATION | | | |
| Robert Bailey | 24772 | | |
| NAME | SIGNATURE | BCIN # | |
| Required unless design is exempt under 2.17.4.1. of the building code | | | |
| REGISTRATION INFORMATION | | | |
| Roamy Design Consulting | 33867 | | |
| FIRM NAME | Registration # | | |

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| 2 | RESUBMIT FOR PERMIT | 20MAR25 | RBB |
| 1 | ISSUED for PERMIT | 07FEB25 | RBB |
| NO. | DESCRIPTION | DATE | BY |



PROJECT:
REAR DECK/ALTERATION
5 MILLAR'S LANE
MALLORYTOWN, ON

DWG TITLE:
PROPOSED
CROSS SECTION

CLIENT: DKP CONSTRUCTION

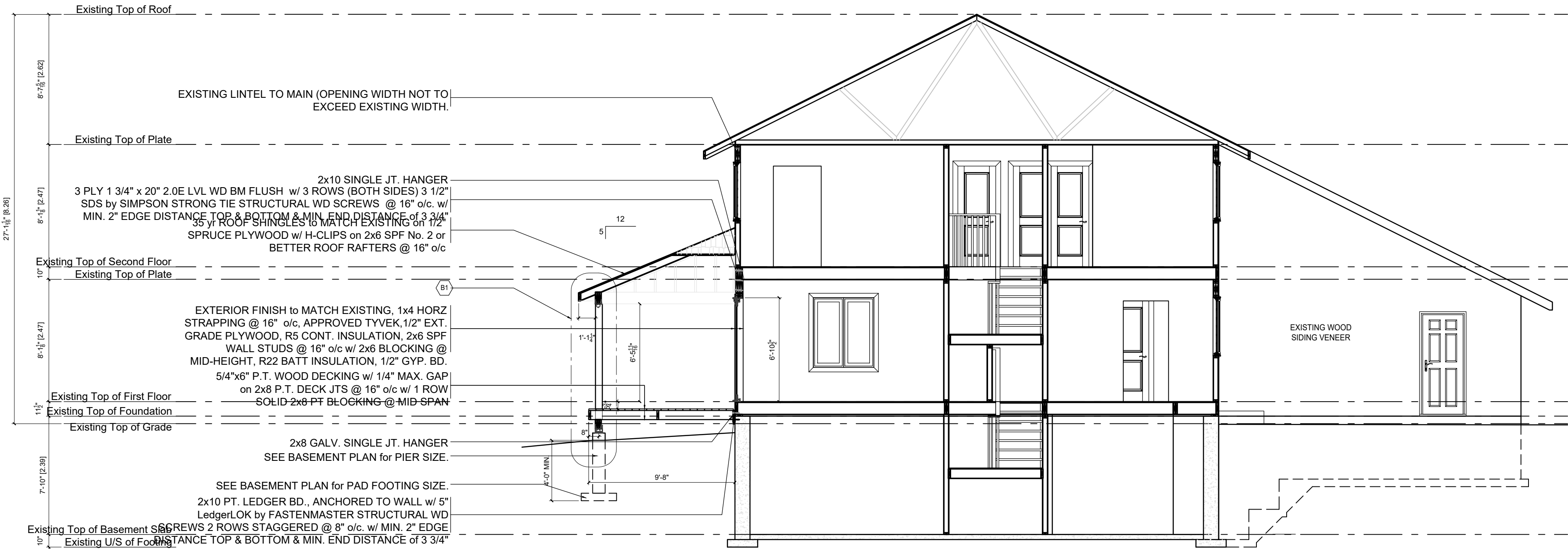
OWNER: SHELLY BACON

DRAWN BY: RBB/MLB PROJECT NO.: 2501A

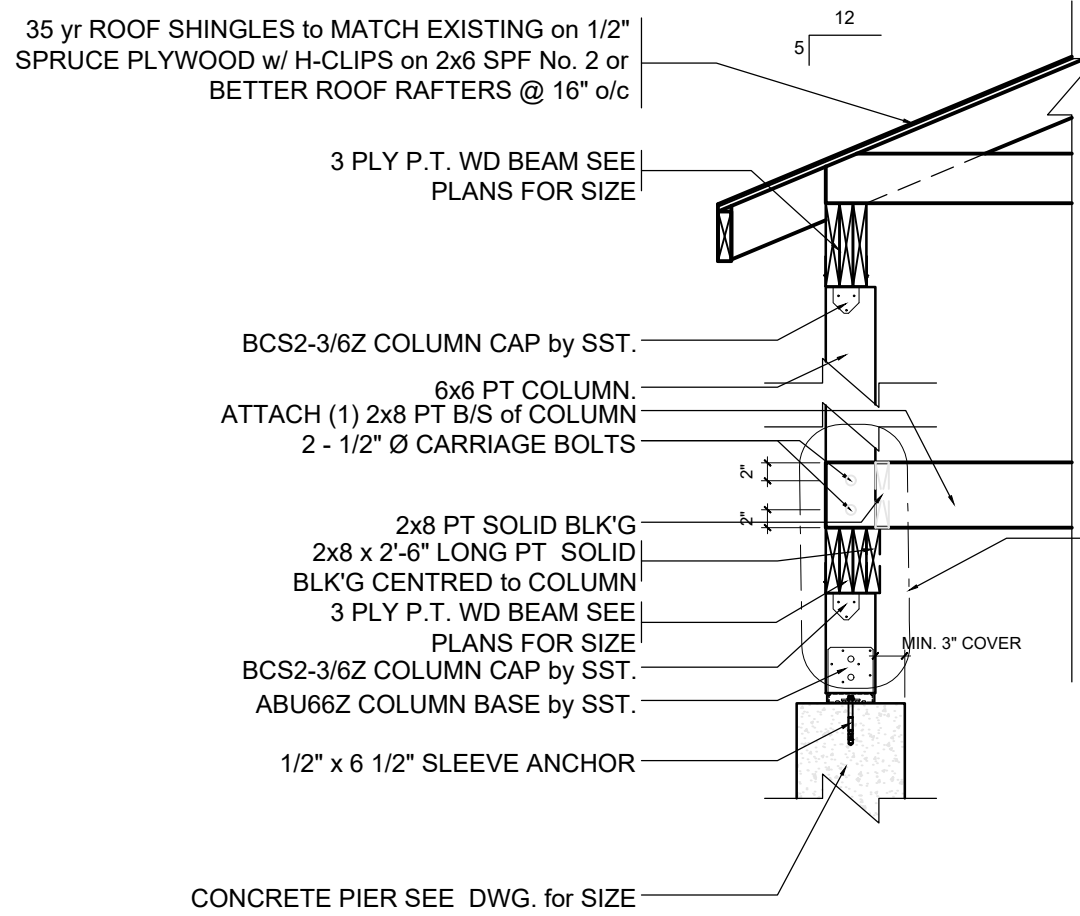
CHECKED BY: RBB DATE: 24JAN25

SCALE: AS NOTED DWG. NO.:

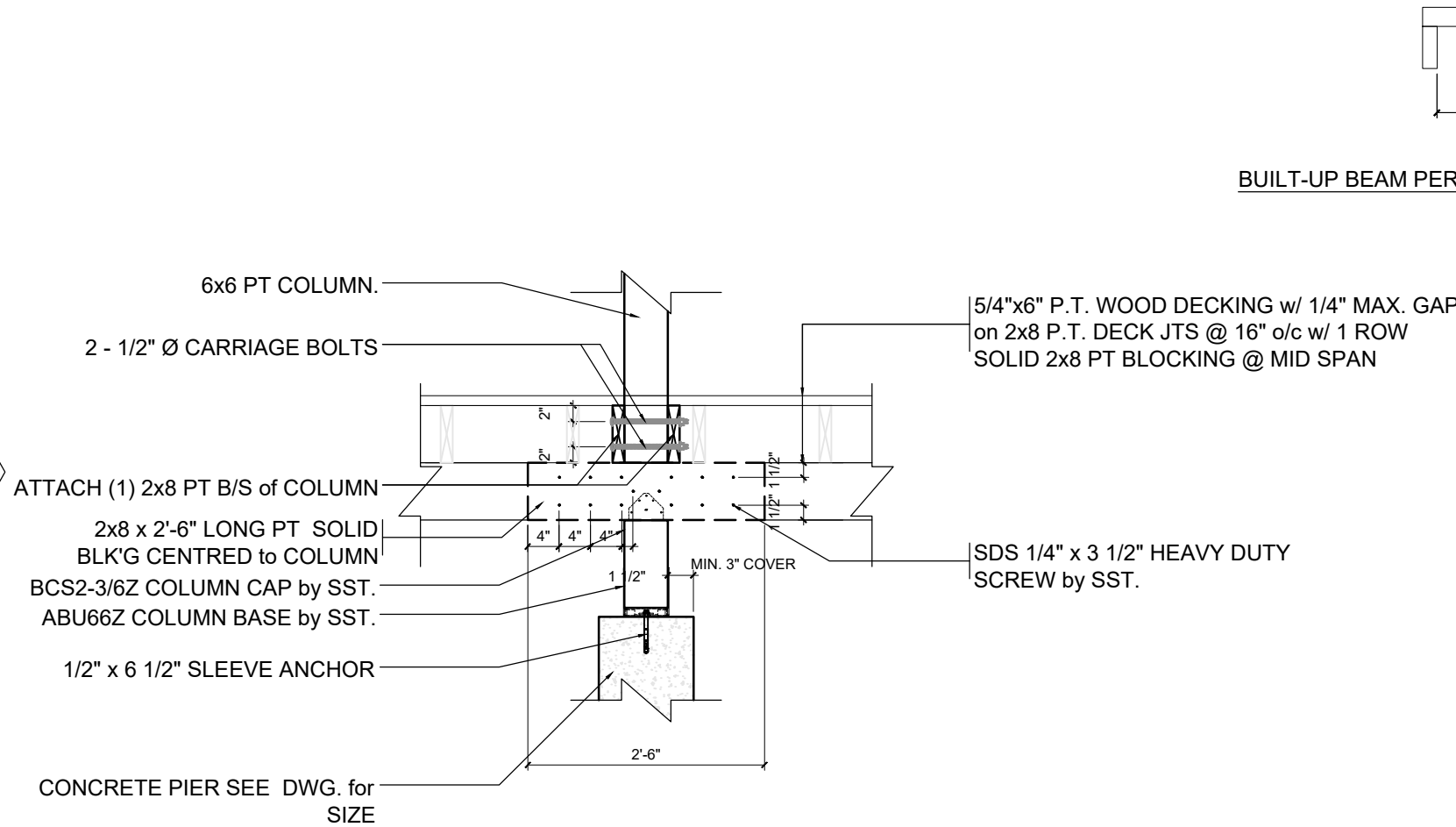
DWG. FILE NO.: 2501A-ARCH-01 A5.0



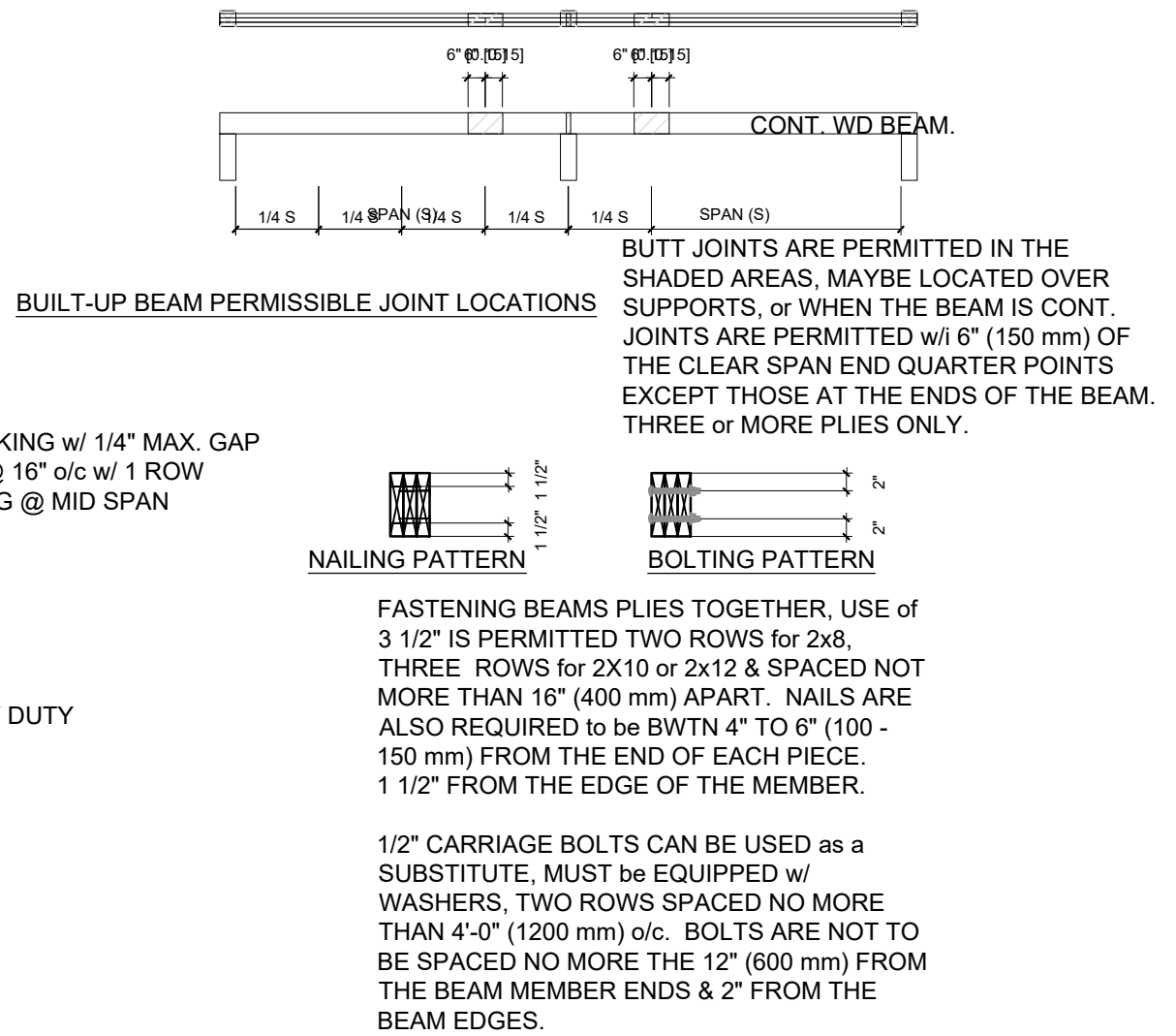
1 Proposed Cross Section
A5.0 Scale: 3/16" = 1'-0"

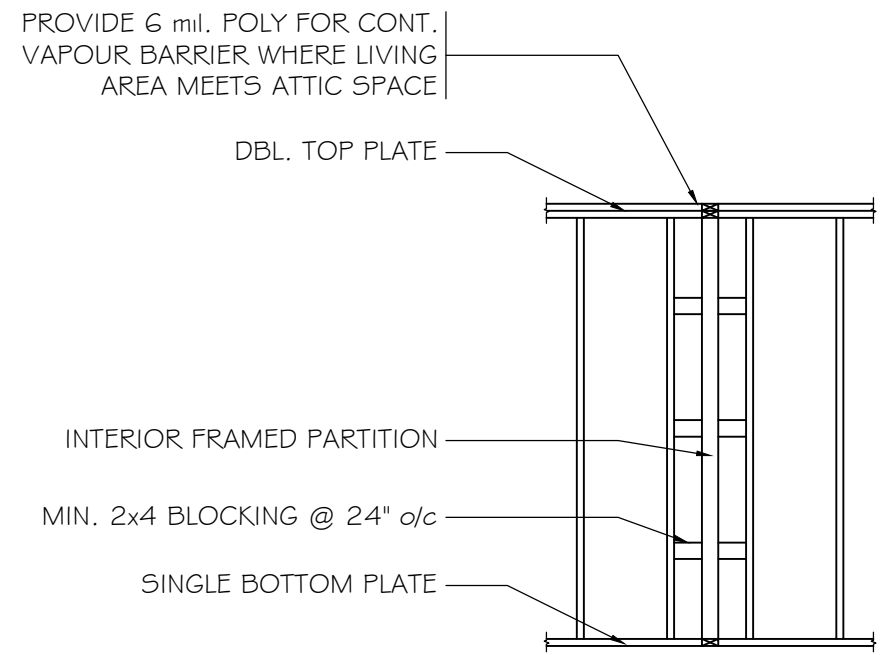


2 DETAIL B1
A5.0 Scale: 3/4" = 1'-0"

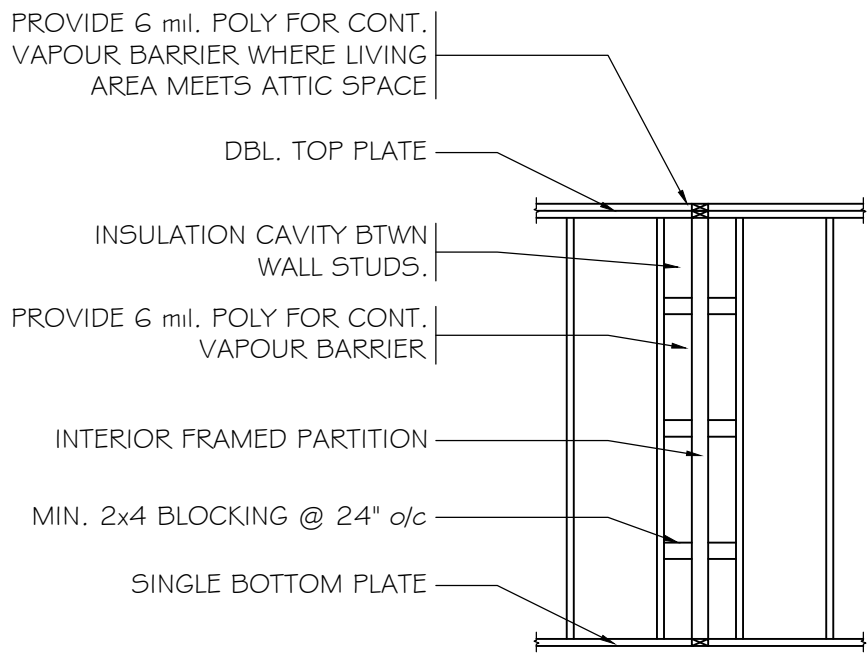


3 DETAIL B2
A5.0 Scale: 3/4" = 1'-0"





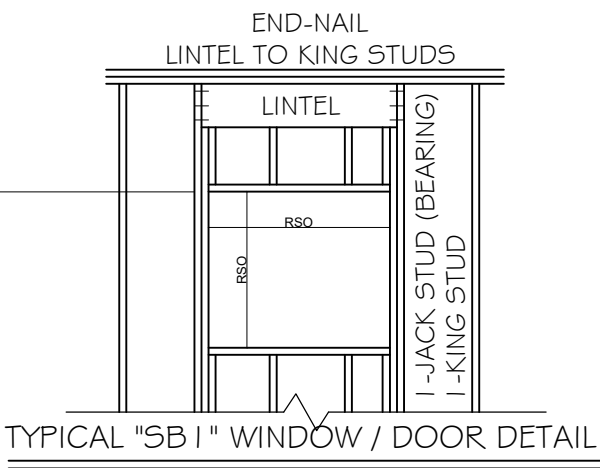
TYPICAL "INTERIOR TO INTERIOR WALL CONNECTION" DETAIL



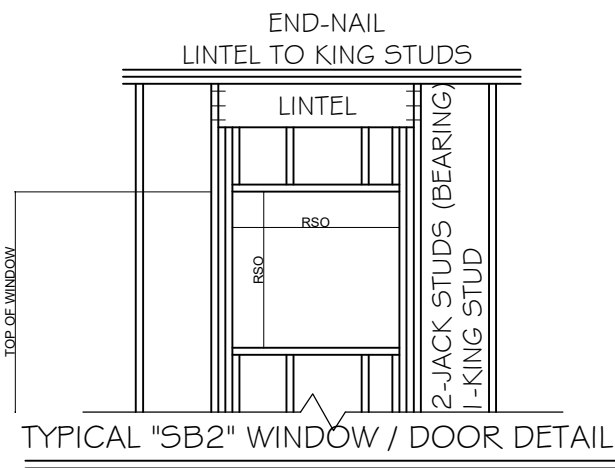
TYPICAL "INTERIOR TO EXTERIOR WALL CONNECTION" DETAIL

GENERAL NOTES:

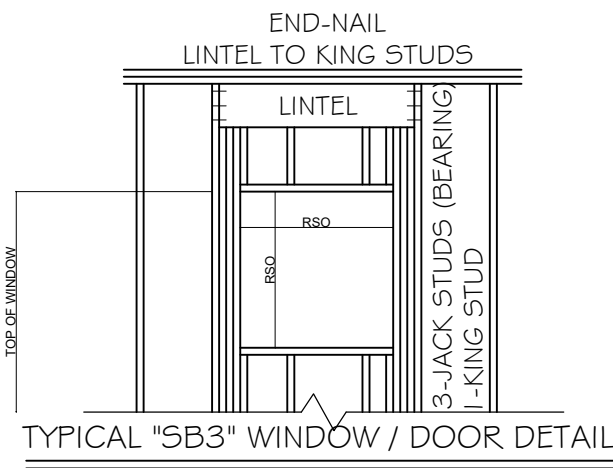
1. END-NAIL LINTELS TO KING STUD FROM EACH SIDE AS PER TABLE 9.23.3.4. (OBC 2024)
2. LINTELS TO BE NAILED TOGETHER FROM EACH SIDE AS PER TABLE 9.23.3.4. (OBC 2006) (SEE FLOOR PLANS FOR LINTEL - NUMBER OF PLIES, SIZE & GRADE)
3. SEE ELEVATIONS FOR RSO SIZES AND TOP OF WINDOW HEIGHT.
4. SOLID BEARING IS REQUIRED FROM U/S OF SUPPORTING MEMBER CONTINUOUS TO FOUNDATION.
5. DBL. BEARING STUDS & BLOCKS TO BE NAILED TOGETHER FROM EACH SIDE AS PER TABLE 9.23.3.4. (OBC 2024)
6. TRPL. BEARING STUDS & BLOCKS TO BE NAILED TOGETHER FROM EACH SIDE AS PER TABLE 9.23.3.4. (OBC 2024)



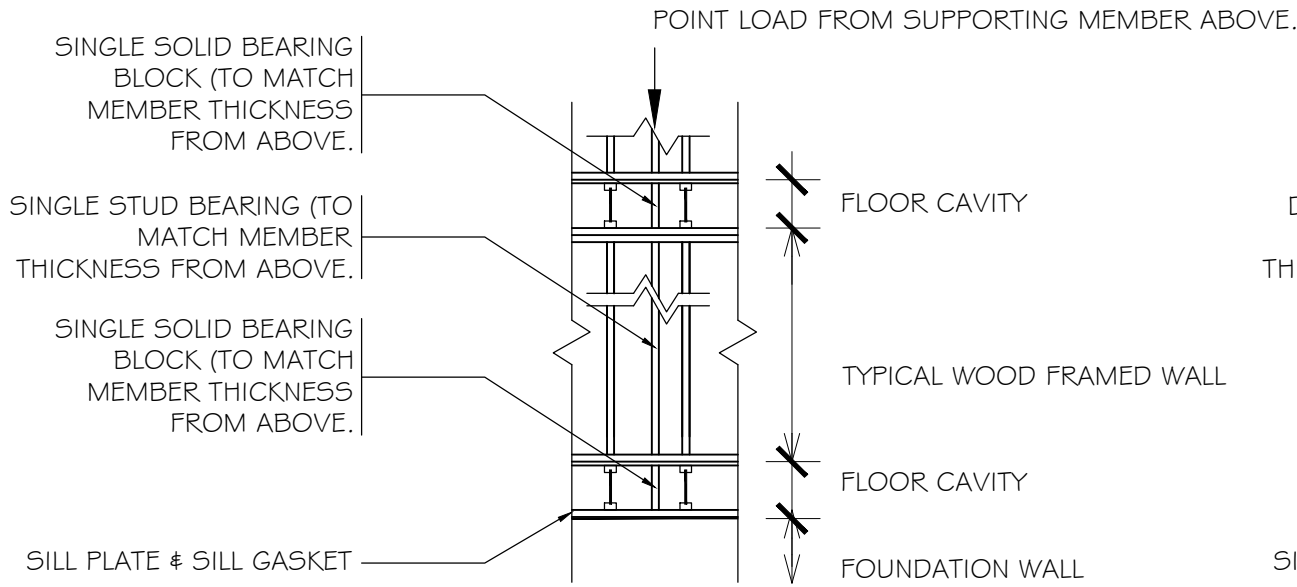
TYPICAL "SB1" WINDOW / DOOR DETAIL



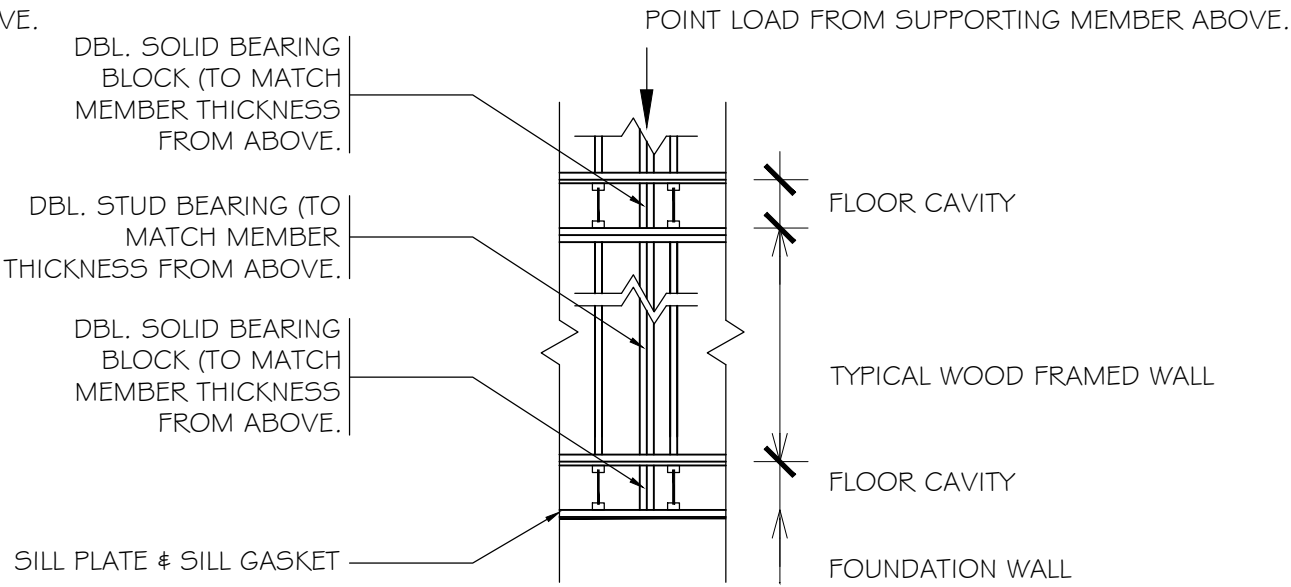
TYPICAL "SB2" WINDOW / DOOR DETAIL



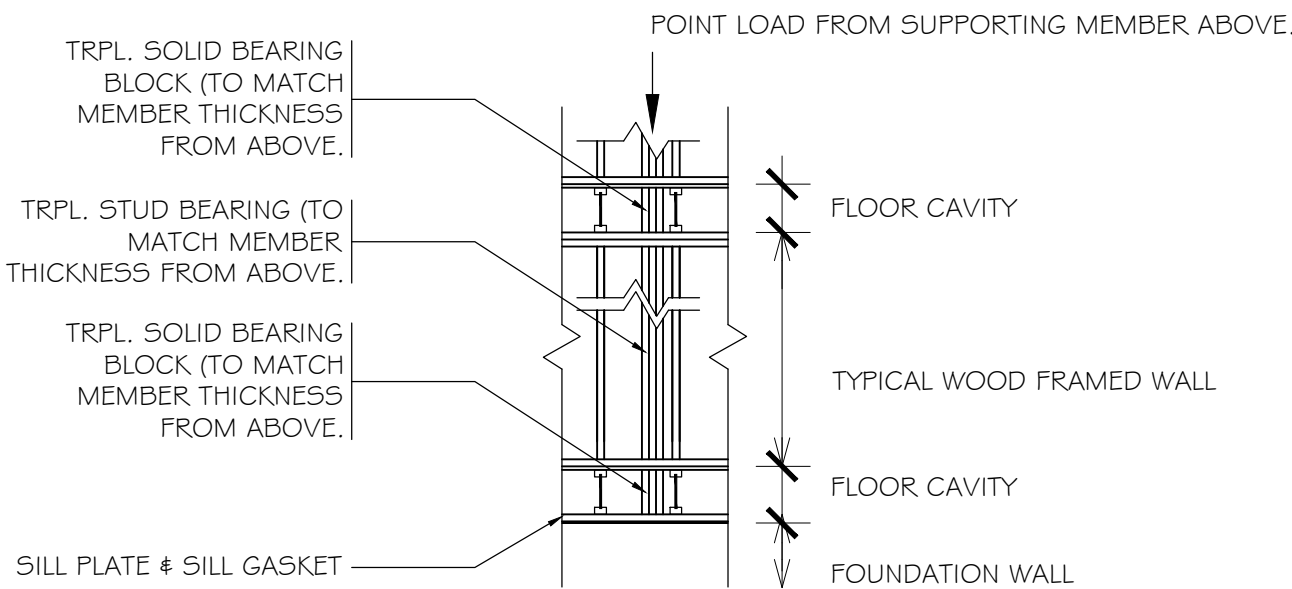
TYPICAL "SB3" WINDOW / DOOR DETAIL



TYPICAL "SB1 & SB1A"



TYPICAL "SB2 & SB2A"



TYPICAL "SB3 & SB3A"

LEGEND

| | |
|-----------------------------|---------------------------|
| INT. INTERIOR | FG. FIXED GLASS |
| EXT. EXTERIOR | GB. GLASS BLOCK |
| TOF TOP OF FOUNDATION | RWL RAIN WATER LEADER |
| FFE FIRST FLOOR ELEVATION | O/S OUTSIDE OF STUD. |
| AFF ABOVE FINISHED FLOOR | U/S UNDER SIDE |
| ▶ EXTERIOR ENTRY | ☒ SOLID BEARING |
| ⊙ SMOKE DETECTOR | ☒ POINT LOAD ABOVE. |
| ⊙ CARBON MONOXIDE DETECTOR. | ☒ FIREPLACE VENT |
| ⊙ EXHAUST FAN | ☒ STOVE VENT |
| □ FLOOR DRAIN | ☒ DRYER VENT |
| ⊗ FROST FREE HOSE BIB | ☒ ATTIC HATCH 22 1/2 x28" |

SMOKE ALARM: (9.10.19. OBC 2012)
AT LEAST ONE SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL. ON ANY STOREY THAT CONTAINS SLEEPING ROOMS, SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND IN THE HALLWAY BY WHICH THE SLEEPING ROOMS ARE SERVED. SMOKE ALARMS SHALL BE INTERCONNECTED. SMOKE SHALL CONFORM TO CAN/ULC-S553.

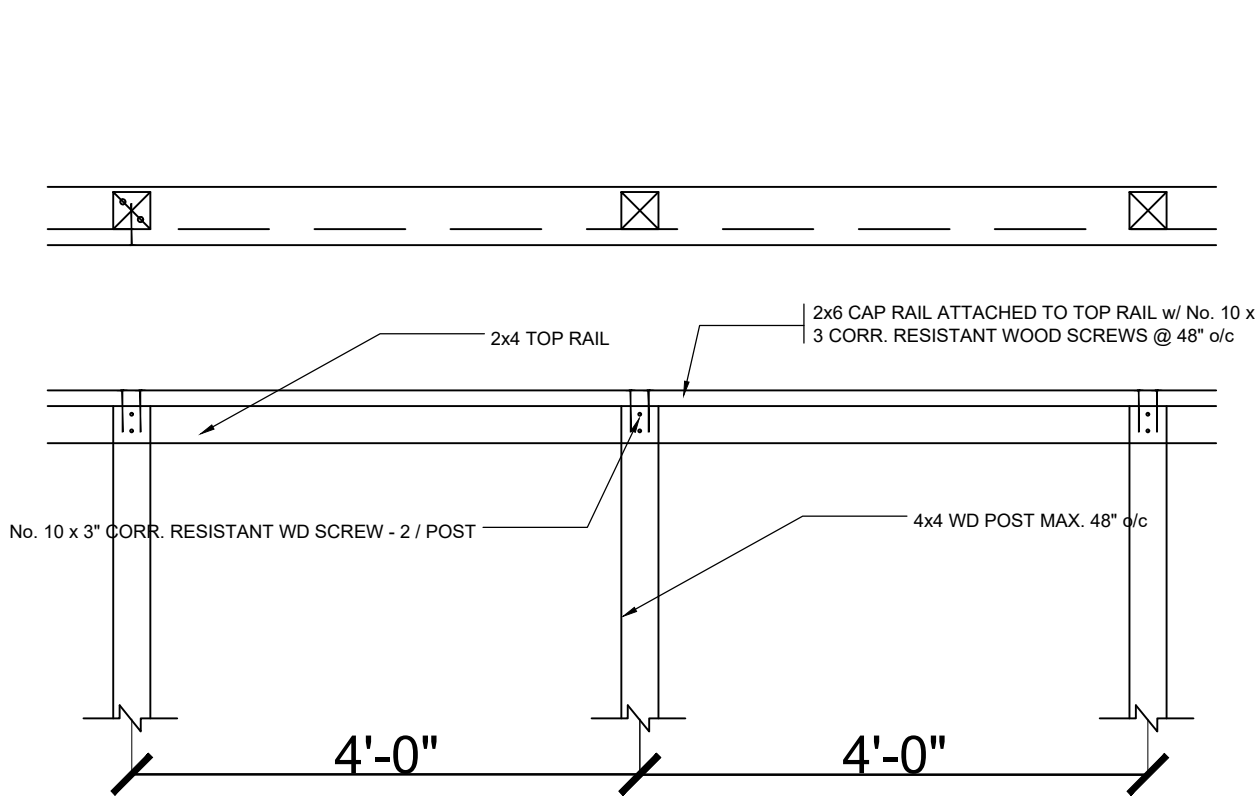
CARBON MONOXIDE ALARMS:
(9.33.4., OBC 2012)
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| | | | |
|---|----------------|--------|--|
| Required unless design is exempt under 2.17.5.1. of the building code | | | |
| QUALIFICATION INFORMATION | | | |
| Robert Bailey | 24772 | | |
| NAME | SIGNATURE | BCIN # | |
| Required unless design is exempt under 2.17.4.1. of the building code | | | |
| REGISTRATION INFORMATION | | | |
| Roamy Design Consulting | 33867 | | |
| FIRM NAME | Registration # | | |

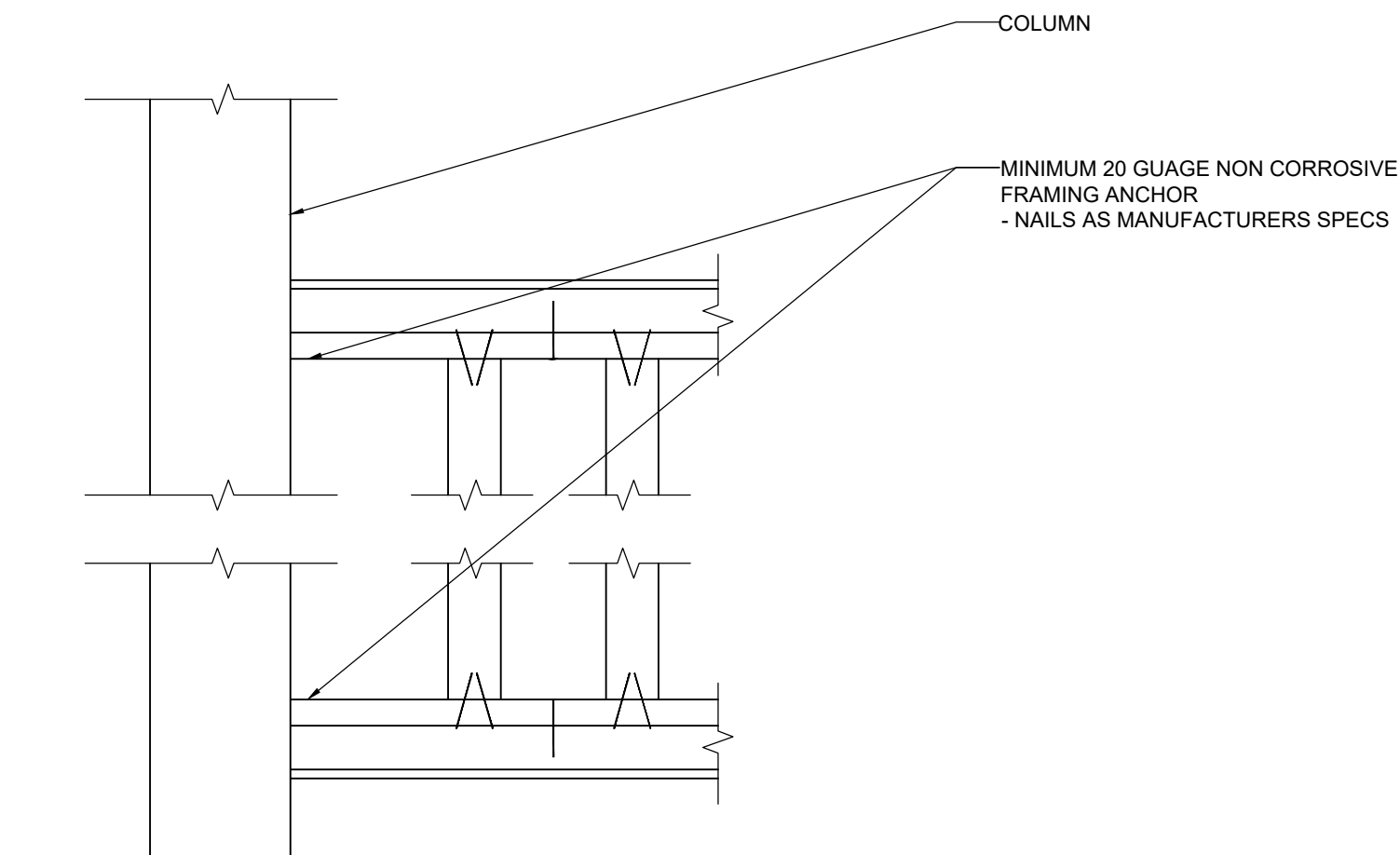
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| 1 | ISSUED for PERMIT | 07FEB25 | RBB |
| NO. | DESCRIPTION | DATE | BY |



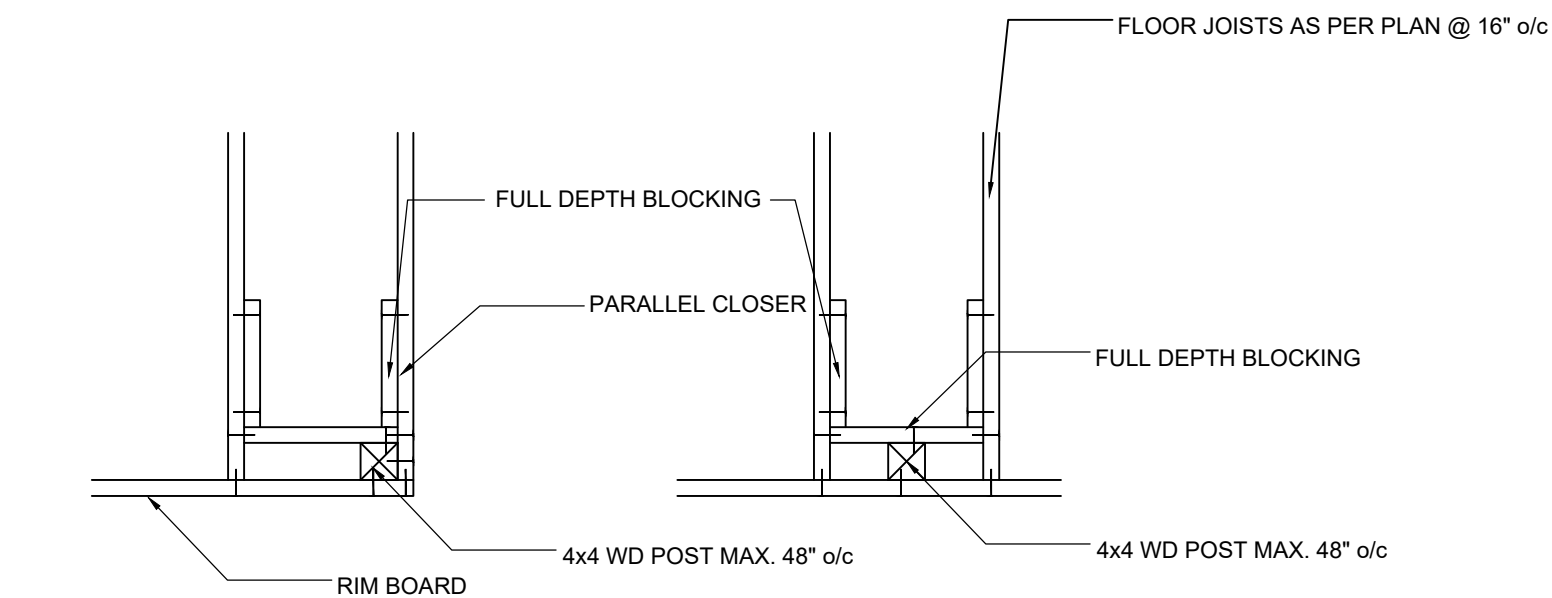
| | |
|--|-----------------------|
| PROJECT: REAR DECK/ALTERATION 5 MILLAR'S LANE MALLORYTOWN, ON | |
| DWG TITLE: PROPOSED DETAILS | |
| CLIENT: DKP CONSTRUCTION | |
| OWNER: SHELLY BACON | |
| DRAWN BY: RBB/MLB | PROJECT NO.: 2501A |
| CHECKED BY: RBB | DATE: 24JAN25 |
| SCALE: AS NOTED | DWG. NO.: A6.0 |
| DWG. FILE NO.: 2501A-ARCH-01 | |



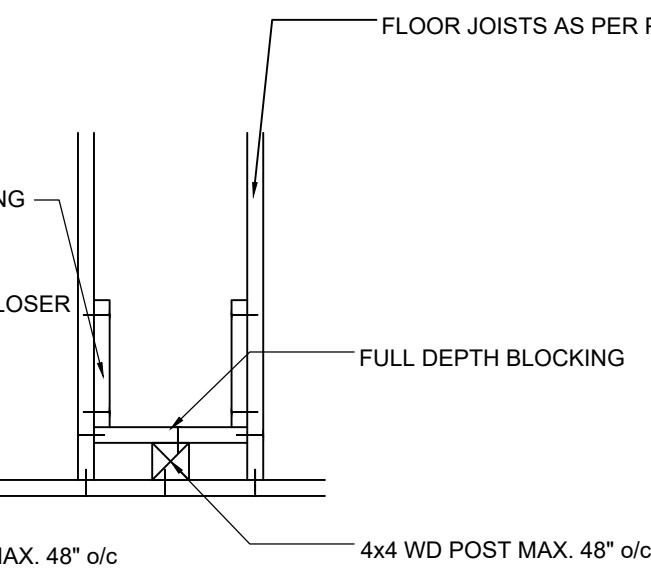
ATTACHMENT OF TOP RAIL TO POSTS
Scale: 3/4" = 1'-0"



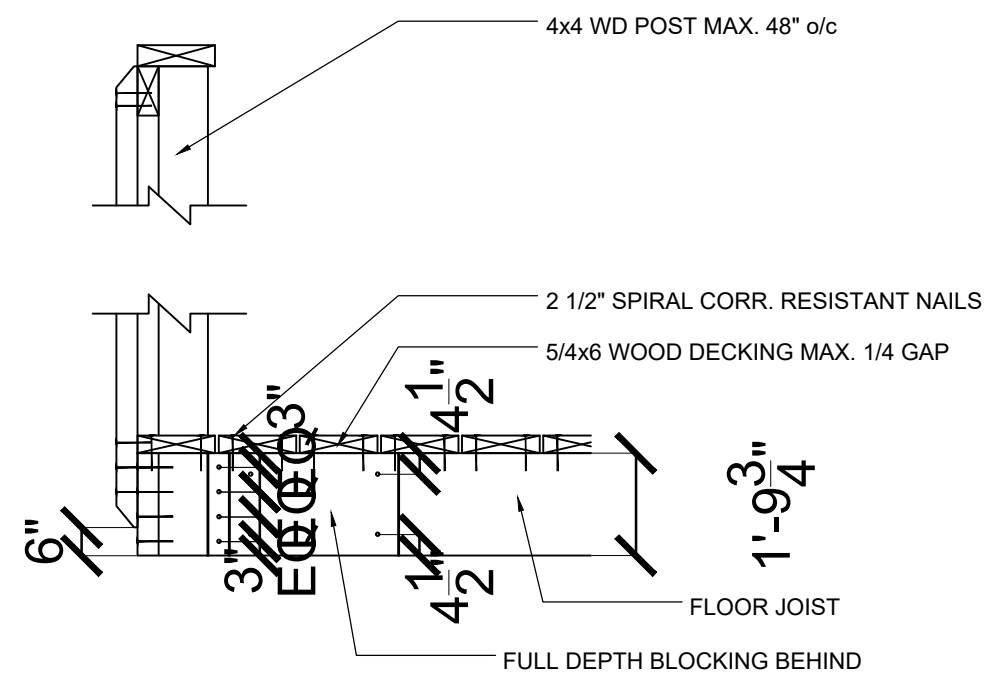
DETAIL EA-5 SB-7 TOP / BOTTOM RAIL CONNECTION TO EXTERIOR COLUMN
Scale: 3" = 1'-0"



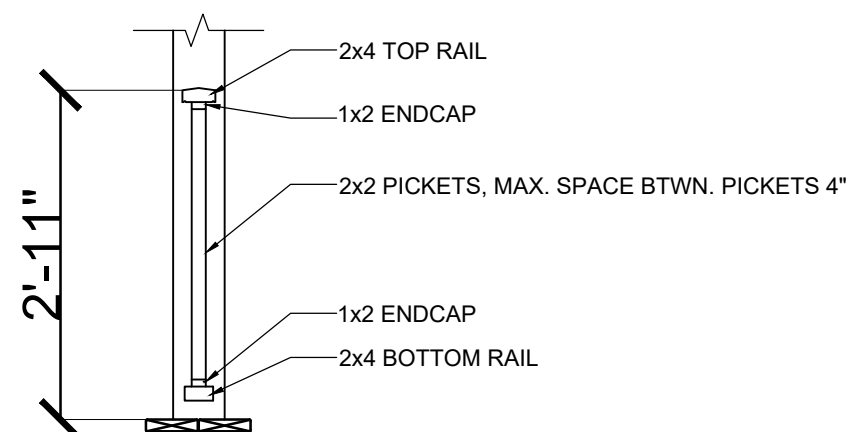
ATTACHMENT OF POSTS TO JOISTS (EXTERIOR)
Scale: 3/4" = 1'-0"



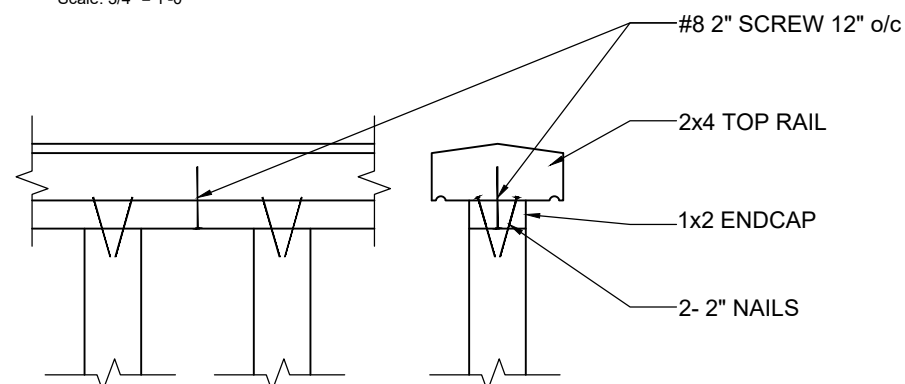
ATTACHMENT OF POSTS TO JOISTS (INTERIOR)
Scale: 3/4" = 1'-0"



ELEVATION ATTACHMENT OF POSTS TO JOISTS
Scale: 3/4" = 1'-0"



DETAIL EC-1 SB-7
Scale: 3/4" = 1'-0"



DETAIL EC-1 SB-7 NAILING PATTERN
Scale: 3" = 1'-0"

NOTE:

ALL NAILS TO BE 3" COMMON SPIRAL CORROSION RESISTANT.

GENERAL NOTES:

1. ALL LUMBER TO BE No. 2 or BETTER CEDAR or PRESSURE TREATED
2. CONCRETE PIERS SHALL BEAR ON UNDISTURBED SOIL MIN. BEARING CAPACITY OF 1500 psf & MIN. 4'-0" BELOW FINISHED GRADE.
3. PROVIDE HANDRAIL FOR STAIRS; IF MORE THAN 3 RISERS ARE USED.
4. DECK IS NOT PERMITTED TO BE SUPPORTED ON BRICK VENEER.

LEGEND

| | |
|--------------------------------|-----------------------------|
| INT. INTERIOR | FG. FIXED GLASS |
| EXT. EXTERIOR | GB. GLASS BLOCK |
| TOF TOP OF FOUNDATION | RWL RAIN WATER LEADER |
| FFE FIRST FLOOR ELEVATION | O/S OUTSIDE OF STUD. |
| AFF ABOVE FINISHED FLOOR | U/S UNDER SIDE |
| ▶ EXTERIOR ENTRY | SB SOLID BEARING |
| ⊙ SMOKE DETECTOR | PL POINT LOAD ABOVE. |
| ⊙ CO CARBON MONOXIDE DETECTOR. | FL FIREPLACE VENT |
| ⊙ EXHAUST FAN | SV STOVE VENT |
| □ FLOOR DRAIN | DV DRYER VENT |
| X HB FROST FREE HOSE BIB | AH ATTIC HATCH 22 1/2 x 28" |

SMOKE ALARM: (9.10.19. OBC 2012)

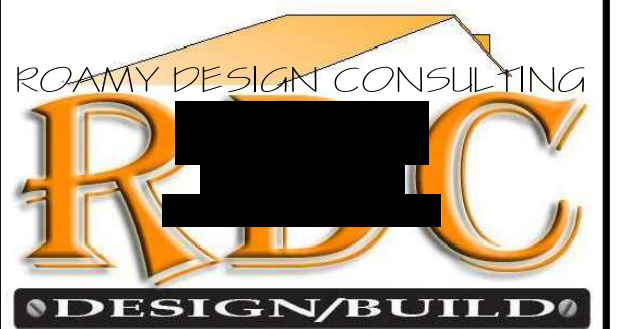
AT LEAST ONE SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL. ON ANY STOREY THAT CONTAINS SLEEPING ROOMS, SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND IN THE HALLWAY BY WHICH THE SLEEPING ROOMS ARE SERVED. SMOKE ALARMS SHALL BE INTERCONNECTED. SMOKE SHALL CONFORM TO CAN/ULC-S553.

CARBON MONOXIDE ALARMS:

(9.33.4., OBC 2012)
A CARBON MONOXIDE (CO) ALARMS SHALL CONFORMING TO CAN/CGA-6.19. SHALL BE INSTALLED AS PER THE MANUFACTURER'S RECOMMENDED HEIGHT IN A SERVICE ROOM(S); IF A SOLID FUEL BURNING APPLIANCE IS INSTALLED A CO ALARM SHALL BE INSTALLED ADJACENT TO THE SLEEPING AREAS. IF THE DWELLING CONTAINS AN ATTACHED SERVICE GARAGE A CO ALARM SHALL BE INSTALLED ADJACENT TO SLEEPING AREAS. CO ALARM(S) SHALL BE WIRED SO THAT THEIR ACTIVATION WILL ACTIVATE ALL CO ALARMS WITHIN THE DWELLING.

| | | | |
|---|----------------|--------|--|
| Required unless design is exempt under 2.17.5.1. of the building code | | | |
| QUALIFICATION INFORMATION | | | |
| Robert Bailey | 24772 | | |
| NAME | SIGNATURE | BCIN # | |
| Required unless design is exempt under 2.17.4.1. of the building code | | | |
| REGISTRATION INFORMATION | | | |
| Roamy Design Consulting | 33867 | | |
| FIRM NAME | Registration # | | |

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| 1 | ISSUED for PERMIT | 07FEB25 | RBB |
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PROJECT:
REAR DECK/ALTERATION
5 MILLAR'S LANE
MALLORYTOWN, ON

DWG TITLE:
PROPOSED DETAILS

CLIENT: DPK CONSTRUCTION

OWNER: SHELLY BACON

DRAWN BY: RBB/MLB PROJECT NO.: 2501A

CHECKED BY: RBB DATE: 24JAN25

SCALE: AS NOTED DWG. NO.:

DWG. FILE NO.: 2501A-ARCH-01 A6.1