



Public Meeting Agenda

Date: **Monday, May 5, 2025, 6:00 p.m.**

Location: **Lansdowne Council Chambers**

Public meetings are called in accordance with the *Planning Act*, the *Municipal Act*, and all other Acts that may pertain. All Public meetings shall be open to the public. Notice will be posted on the Township's website.

To register in advance for this webinar, click [here](#). After registering, you will receive a confirmation email containing information about joining the webinar. Accessible formats and communication supports are available upon request.

	Pages
1. <u>Call to Order</u>	
Time: PM	
2. <u>Declaration of Pecuniary Interest and the General Nature Thereof</u>	
3. <u>Purpose of Meeting</u>	
3.1 D14-2025-003 - 934 Burma Lane	2
3.2 D14-2025-002 - 91 Shipman's Lane	29
3.3 D14-2024-012 - 911 Country Lane	95
3.4 D14-2025-004 - 61-77 Shipman's Lane	120
4. <u>Adjournment</u>	
4.1 Motion to Adjourn	
Recommendation:	
THAT the Public meeting adjourn.	
Time: PM	

the decision for provisionally approved consent application B-130-24 states: "That the severed lands are rezoned to a Tourist Commercial 'CT' zone to facilitate consistent zoning for the portion of the resulting lot that is outside of the Floodplain 'FP' zone." The purpose of the application is to satisfy this condition. The consent application and subject application to amend Township Zoning By-Law Number 07-079 are to facilitate the construction of a new septic system to support the existing tourist lodging establishment located at 931 Burma Lane. The approval authority for the new septic system is the Ministry of Environment, Conservation and Parks.

To view the supporting documents with respect to this application, please visit:

<https://www.leeds1000islands.ca/en/growing/active-applications.aspx>

How to Participate:

All comments received will become part of the public record. Comments can be provided in writing, email or verbally in person/virtually. Staff are unable to accept verbal comments over the phone or in person outside of the meeting.

Anyone attending in person in the Council Chambers or virtually online/by phone through Zoom will be provided the opportunity to comment on an application. The ways to comment on an application are:

1. Written Comments – By Email: planningtechnician@townshipleeds.on.ca
By Mail: Township of Leeds and the Thousand Islands
Attn: Amanda Werner-Mackeler, Planning Technician
1233 Prince Street P.O. Box 280
Lansdowne, ON K0E 1L0
2. In Person Attendance – In person attendance will be in the Council Chambers at the Township Office at 1233 Prince Street, Lansdowne, ON.
3. Virtual/Phone Attendance – If you wish to attend virtually/by phone, you are required to register to be an attendee prior to the meeting. Once registered, you will receive a follow up email from the Clerk with the details to attend the meeting by computer or by phone. To register to participate for this meeting option, please visit the Township's website at <https://www.leeds1000islands.ca/en/governing/council-and-committee-calendar.aspx>. Under Upcoming Meetings, select the meeting you are interested in attending. On the meeting agenda, there is a link to register in advance to attend the meeting online or by phone.

If you have any issues registering online, please call 613-659-2415 x 203 before May 2, 2025 and indicate your name, phone number, email address and application you wish to speak to. Staff will register you for the meeting using your email address and you will receive a follow up email from the Clerk with the details on how to attend the meeting by computer or by phone.

Make Your Views Known

The purpose of the Public Meeting is to present planning applications in a public forum as required by the *Planning Act* and to inform the public of the purpose of the application and the effect of the proposed amending Zoning By-Law. At the public meeting, members of the public are provided the opportunity to provide comments and questions regarding the application. No decisions are made at public meetings concerning applications; the public meeting is held to gather public opinion.

This notice has been mailed to you, as required by the *Planning Act*, to ensure that as an interested party you may make your views known on the above application. You may express your support or opposition to the proposed amendment by either attending the above public hearing or sending a letter by mail, email, fax or hand-delivery prior to the hearing date. Any correspondence received will become part of the public record. Please note that written comments may be submitted anytime between the municipality's receipt of a complete application from the applicant and the decision of Council.

No specified person, public body or registered owner to which the by-law would apply shall be added as a party to the hearing of the appeal unless, before the by-law was passed, the specified person, public body or registered owner of any land to which the by-law applies made oral submissions at a statutory public meeting or written submissions to the Committee of Adjustment prior to the decision or, in the opinion of the Tribunal, there are reasonable grounds to add the specified person or public body as a party.

“Public body” and “specified person” are defined under Section 1(1) of the Planning Act.

Collection of Personal Information:

Personal information is collected in order to gather feedback and communicate with interested parties regarding this development proposal. This information is collected under the authority of the *Planning Act* and in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*. With the exception of e-mail addresses and telephone numbers, all information and comments will become part of the public record and will appear on the Township’s website. Council and committee meetings are broadcast live over the internet on Facebook. If you speak at the meeting your voice will be heard in the broadcast. Broadcasts are archived and continue to be publicly available.

Potential Appeal Limitations

If a person or public body would otherwise have an ability to appeal the decision of the Council for the Township of Leeds and the Thousand Islands to the Ontario Land Tribunal (OLT) but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Leeds and the Thousand Islands before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting, or make written submissions to the Township of Leeds and the Thousand Islands before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

Further Information

Additional information regarding the proposal may be obtained by contacting the Planning and Development Department at 613-659-2415 x 226 or by e-mail at seniorplanner@townshipleeds.on.ca.

Office Location:

1233 Prince Street, Lansdowne, ON

Mailing Address:

Township of Leeds and the Thousand Islands
1233 Prince Street, P.O. Box 280
Lansdowne, ON K0E 1L0

Township Active Application Website:

<https://www.leeds1000islands.ca/en/growing/active-applications.aspx>

Township Council Public Meeting Website:

<https://www.leeds1000islands.ca/en/governing/council-and-committee-calendar.aspx>

Additional information and materials will be available to the public for electronic viewing at the Township Office. Additional information and materials will be available by email and on the Township website.

Receive a Copy of the Council’s Decision

If you wish to be notified of the decision of the Council of the Township of Leeds and the Thousand Islands on the proposed zoning by-law amendment, you must make a written request to Amanda Werner-Mackeler, Planning Technician at:

Township of Leeds and the Thousand Islands
Attn: Amanda Werner-Mackeler, Planning Technician
1233 Prince St, PO Box 280
Lansdowne, ON K0E 1L0
Email: planningtechnician@townshipleeds.on.ca

Accessibility Information

If you are a person with a disability and need Township of Leeds and the Thousand Islands information provided in another format, please contact our Clerk’s office at 613-659-2415 x 231 or clerk@townshipleeds.on.ca.

Multi-Residential Unit Notification

If you have received this notice and you are the owner of land that contains seven or more residential units, please post this notice in a location that is visible to all of the residents.

DATED at the Township of Leeds and the Thousand Islands on April 9, 2025.

Marnie Venditti
Director of Planning and Development



Township of
Leeds and the
Thousand Islands

931 Roll #
08-12-816-015-14300-0000

DEVELOPMENT APPLICATION

Section 22 (Official Plan Amendment), Section 34 (Zoning Amendment), Section 36 (Holding Zone Removal), Section 41 (Site Plan Approval) of the Planning Act

OFFICE USE ONLY

Application:	D14-2025-003	Date Received:	March 28, 2025
Roll Number:	816-015-12403	Deemed Complete:	April 4, 2025
Application Fee:	\$1500	<input checked="" type="checkbox"/> Cheque	<input type="checkbox"/> Cash <input type="checkbox"/> Interac <input type="checkbox"/> N/A
Posting of Sign By:	<input type="checkbox"/> Owner	<input checked="" type="checkbox"/> Agent	<input type="checkbox"/> Staff (\$50 Fee) <input type="checkbox"/> Other
Posting of Sign Fee:	<input type="checkbox"/> Cheque	<input type="checkbox"/> Cash	<input type="checkbox"/> Interac <input checked="" type="checkbox"/> N/A

1. APPLICATION TYPE *(Check all that apply)*

- ☒ Zoning By-Law Amendment ☐ Official Plan Amendment
☐ Site Plan Agreement

2. PRE-CONSULTATION *(Attach supporting documentation)*

- ☐ TLTI – Staff ☐ Leeds, Grenville & Lanark Health Unit
☐ CRCA ☐ St. Lawrence Parks Commission
☐ Other:

3. COMPLETE APPLICATION REQUIREMENTS

- ☐ Complete Application Form
☐ Authorization of Applicant (if applicable)
☐ Affidavit signed by a Commissioner of Oaths, Notary, etc. (Available at Office)
☐ Township and other Agency (if applicable) Applications and Fees
☐ Cover Letter and/or report
☐ Survey Plan (if available)
☐ Deed
☐ Scaled Sketch with setbacks identified (1 hard copy (11x17 paper or less) and 1 digital copy)
☐ Minimum Distance Separation Calculation Form (if applicable)
☐ All Supporting Information identified through Pre-Consultation including DRT

4. SUBJECT LAND

Assessment Roll Number: 816-015-12403
Civic Address: 934 Burn Lane
Legal Description (Concession, Lot, Part, Reference Plan numbers): Part 6 28R3555
Date subject land acquired by current owner: 2024

5. REGISTERED OWNER(S)

All owners must be included. If company, identify principals. A separate page may be submitted, if needed.

Name(s): Mike Tierney

Company Name (if applicable): _____

Mailing Address: _____

Phone (home): _____

Phone (cell): _____

Email Address: _____

6. APPLICANT INFORMATION

*If an applicant is NOT the owner of the subject lands, written authorization from **all registered owner(s)** must be obtained stating that the agent is authorized to make the application (Section 14)*

6.1 Is the applicant the same as the owner?

☐

Yes (same information as above)

☒

No (please fill out below **and** complete Section 14 - Agreement, Authorization and Declaration)

6.2 Name(s): Playton Gray

Company Name (if applicable): 1000451373 ON INC "Grays Whispering Pines"

Mailing Address: _____

Phone (home): _____

Phone (cell): _____

Phone (work): _____

Email Address: _____

7. SUBJECT LAND CHARACTERISTICS

7.1 Please list and describe any existing easements, right-of-ways or restrictive covenants that apply to the subject property (required to be shown on sketch)

Burma Lane - private Rd

Lane way to 929-931 Burma Lane.

7.2 Site Description: (briefly describe factors that may impact the proposed development, such as soil type and depth, lot configuration, steep slopes or low-lying areas, natural feature, etc.)

Kolland engineering is developing the septic system that we plan to install. Soil type, depth, low-lying areas and natural features are all factors in the placement of the new proposed septic

7.3 Dimensions of Subject Land

Total Lot Area: 1.9 hectares hectares acres
 Lot Depth: 180.8 metres feet
 Lot Width (frontage): 250 metres feet

7.4 Road Access (include name)

- ☐ Provincial Highway: _____
☐ County Road: _____
☐ Municipal Road: _____
☒ Private Right-of-Way: Burma Lane
☐ Water Only: _____

7.5 If access to the subject land is by water only, provide details of parking and docking facilities to be used and the approximate distance of these from the subject land and the nearest public road:

7.6 Servicing – Water

Existing Proposed Not Applicable

Municipal Piped Water System

☐☐☒

Privately Owned and Operated Well

☐ Dug☐☐☒☐ Drilled☐☐☒☐ Communal☐☐☒

Lake or Other Water Body:

☐☐☒

Other:

☐☐☒**7.7 Servicing – Sewage**

Existing Proposed Not Applicable

Municipal

☐☐☒

Privately-Owned

☐ Individual Sanitary Sewage System☐☐☒☐ Communal Sanitary Sewage System☐☐☒☐ Composting/Self-Contained Toilet☐☐☒☐ Privy☐☐☒☐ Outhouse☐☐☒

Other: (Specify)

☐☐☒**7.8 Servicing – Storm Drainage**

Existing Proposed Not Applicable

Sewers

☐☐☒

Ditches

☐☐☒

Swales

☐☐☒

Other (Specify): _____

☐☐☒

8. OFFICIAL PLAN, ZONING BY-LAW AND LAND USE INFORMATION

8.1 Official Plan Designation: Rural Flood Plain Highly Sensitive aquifer.
wood lands low and modest wild land size passed area.

8.2 Special Policy Area: ☐ 1000 Islands ☒ Highly Sensitive Lake Trout Lake ☒ No

8.3 Zoning: Rural. Rs-5, PF, PSW.

8.4 Is this a designated heritage property: ☐ Yes ☒ No

8.5 Existing Use(s): (indicate uses and length of time uses have continued)

Vacant land.

8.6 Proposed Use(s):

The proposed use is to install a septic with compliance to the Ministry of environment set backs.

8.7 Existing Use on Adjacent Lands:

North: Residential / Vacant Land South: Vacant Land

East: Commercial (proposed purchasing land) West: Vacant Land

8.8 Previous Use(s): (indicate all previous land uses on the subject land or adjacent lands including any industrial or commercial use, or if there is suspected contamination. Note: When a property is being proposed for a more sensitive land than its current or most recent use, then a Record of Site Condition (RSC) per the Environmental Protection Act (EPA) is required prior to land use change. Please refer to Ontario Regulation 153/04 for list of uses that may require RSC.)

This parcel of land was previously separate as vacant land. It was purchased by adjacent land owner and combined with his property after some time.

8.9 Indicate any current or previous application under the *Planning Act* affecting the subject land: *Self Review*

Application Type	File Number	File Status
Minor Variance		
Site Plan Agreement		
Zoning By-Law Amendment		
Official Plan Amendment		
Consent	APPLICATION B-130-24.	Granted.
Subdivision		
Other:		

☐ There have been no previous Planning Act applications affecting the subject lands

8.10 Potential Land Use Constraints:	On Subject Lands	On Adjacent Lands Within	No
Agricultural Operation including Livestock Facility or Stockyard (If Yes, MDS info must be submitted)	<input type="checkbox"/>	<input type="checkbox"/> 1000m	<input checked="" type="checkbox"/>
Waste Management Site or Landfill	<input type="checkbox"/>	<input type="checkbox"/> 500m	<input checked="" type="checkbox"/>
Sewage Treatment Plant or Waste Stabilization	<input type="checkbox"/>	<input type="checkbox"/> 500m	<input checked="" type="checkbox"/>
Provincially Significant Wetland (PSW)	<input checked="" type="checkbox"/>	<input type="checkbox"/> 120m	<input checked="" type="checkbox"/>
Locally Significant Wetland (LSW)	<input type="checkbox"/>	<input type="checkbox"/> 50m	<input checked="" type="checkbox"/>
Area of Natural and Scientific Interest (ANSI)	<input type="checkbox"/>	<input type="checkbox"/> 50m	<input checked="" type="checkbox"/>
Flood Plain	<input type="checkbox"/>	N/A	<input checked="" type="checkbox"/>
Wellhead Protection (Village of Lansdowne)	<input type="checkbox"/>	N/A	<input checked="" type="checkbox"/>
James W. King Intake Protection Zone - St. Lawrence River - South of Gananoque (OP Schedule A6)	<input type="checkbox"/>	N/A	<input checked="" type="checkbox"/>
Licensed Mine, Pit or Quarry or an area designated for Aggregate Extraction	<input type="checkbox"/>	<input type="checkbox"/> 1000m	<input checked="" type="checkbox"/>
Rehabilitated Mine/Pit/Quarry Site?	<input type="checkbox"/>	<input type="checkbox"/> 500m	<input checked="" type="checkbox"/>
Industrial or Commercial Use, or Wrecking Yard Specify Use: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Active Railway Line	<input type="checkbox"/>	<input type="checkbox"/> 500m	<input checked="" type="checkbox"/>
Municipal or Federal Airport	<input type="checkbox"/>	<input type="checkbox"/> 500m	<input checked="" type="checkbox"/>
Provincial Highway 401	<input type="checkbox"/>	<input type="checkbox"/> 250m	<input checked="" type="checkbox"/>
Utility Corridor(s) i.e. Power Lines, Hydro Easement	<input type="checkbox"/>	<input type="checkbox"/> 500m	<input checked="" type="checkbox"/>
i.e. Natural Gas or Oil Pipeline, etc.	<input type="checkbox"/>	<input type="checkbox"/> 500m	<input checked="" type="checkbox"/>
Gas Station – Currently or at Any Time	<input type="checkbox"/>	<input type="checkbox"/> Adjacent	<input checked="" type="checkbox"/>
Lands suspected to be contaminated	<input type="checkbox"/>	<input type="checkbox"/> 500m	<input checked="" type="checkbox"/>
Has grading of the subject land been changed by adding earth or other material(s)?	<input type="checkbox"/>	N/A	<input checked="" type="checkbox"/>
Designated Heritage Building/Site	<input type="checkbox"/>	<input type="checkbox"/> 500m	<input checked="" type="checkbox"/>

8.11 Additional information that may be relevant to the review of the application:

The purchase of "part 6" seems to be our only option at this moment to achieve the M.O.E approval. We are operating with permission from the ministry to use our current holding tanks. This permission is only granted if we continue to move forward with a approved plans to replace our current septic system.

☐ Provided on a Separate Sheet

9. REQUIRED PLANS

9.1 A detailed sketch in metric has been attached with the required information as noted in Section 9.2. ☒ Yes ☐ No

All required site plan drawings, elevations, cross-sections, grading, drainage, etc. along with the required information as noted in Section 9.3. ☒ Yes ☐ No

9.2 Sketch Requirements

For zoning and official plan amendment applications, a detailed sketch **is required**. The sketch must include:

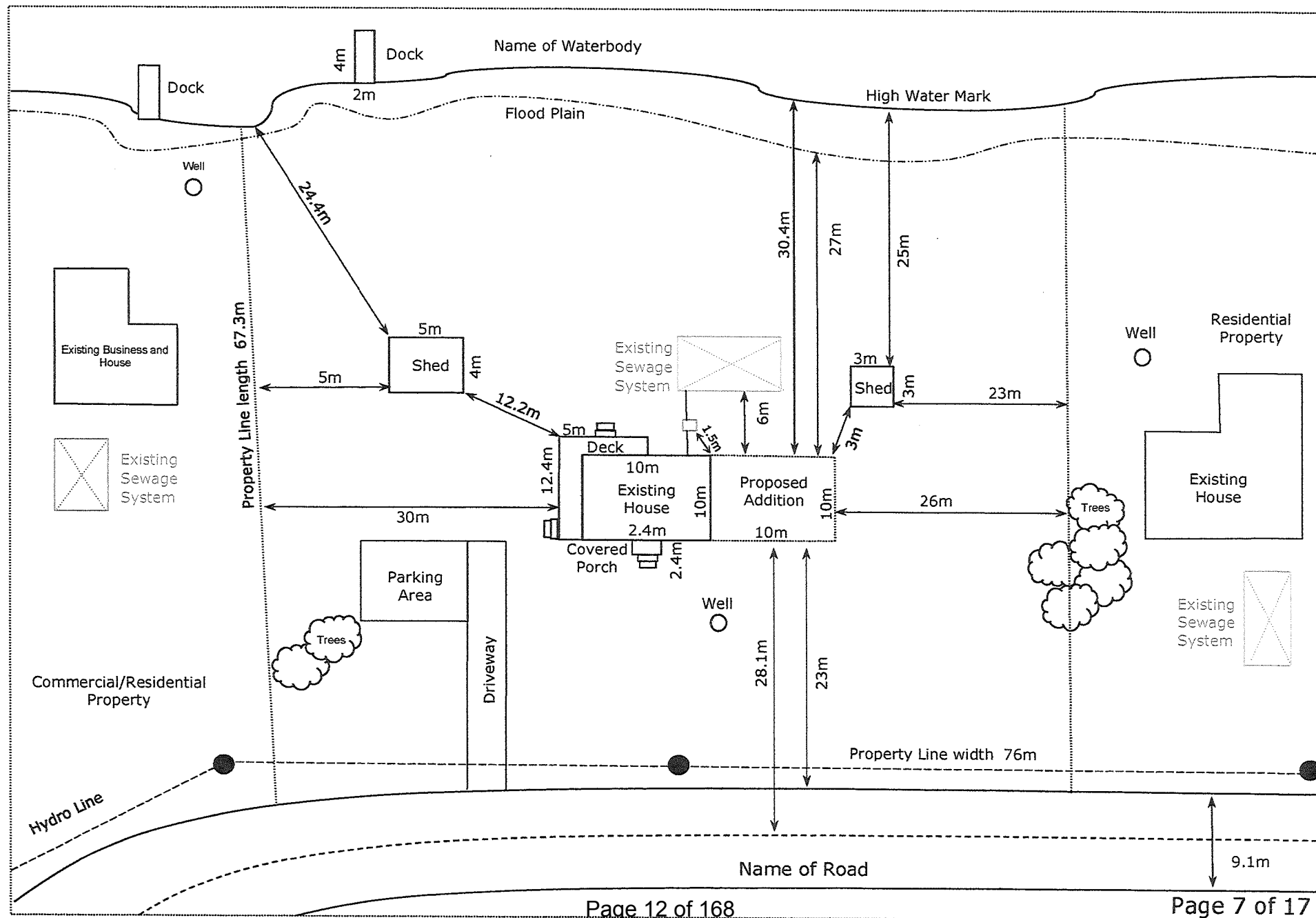
- (a) The boundaries and dimensions of the subject land.
- (b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating their distance from the front lot line, rear lot line and side lot line.
- (c) The approximate location of all natural and artificial features (for example, buildings, railways, roads, watercourses, flood plains drainage, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that:
 - (i) Are located on the subject land and on land that is adjacent to it, and
 - (ii) In the applicant's opinion, may affect the application.
- (d) The current uses of land that is adjacent to the subject land.
- (e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.
- (f) If access to the subject land will be by water only, the location of the parking and docking facilities to be used; and
- (g) The location and nature of any easement affecting the subject land.

9.3 Site Plan Requirements

In addition to Section 9.2, for site plan applications, drawings showing plan, elevation and cross-section views for each building to be erected, except a building to be used for residential purposes containing fewer than 25 dwelling units which drawings are sufficient to display,

- (a) The massing and conceptual design of the proposed building;
- (b) The relationship of the proposed building to adjacent buildings, streets and exterior areas to which members of the public have access;
- (c) The provision of interior walkways, stairs, elevators and escalators to which members of the public have access from streets, open spaces and interior walkways in adjacent buildings;
- (d) Matters relating to exterior design, including without limitation the character, scale, appearance and design features of buildings, and their sustainable design, but only to the extent that it is a matter of exterior design
 - (d.1) Matters relating to exterior access to each building that will contain affordable housing units or to any part of such building, but only to the extent that it is a matter of exterior design;
- (e) the sustainable design elements on any adjoining highway under a municipality's jurisdiction, including without limitation trees, shrubs, hedges, plantings or other ground cover, permeable paving materials, street furniture, curb ramps, waste and recycling containers and bicycle parking facilities; and
- (f) facilities designed to have regard for accessibility for persons with disabilities.

9.3 SAMPLE SKETCH – Measurements, setbacks for all structures must be transcribed onto Sections 10 and 11.



10. EXISTING STRUCTURES & SETBACKS ON SUBJECT LAND (Indicate any to be demolished)**10.1 Existing Structures in metres. Include all structures on subject land, including marine facilities and structures under 10 square metres.**

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Stories	Dimensions			Year Built
				Length	Width	Height	
No structure on second land.							

10.2 Setbacks of Existing Structures to property boundaries, shoreline, etc. in metres

Type of Structure	Front	Side	Side	Rear	Water	Flood Plain	Public Road (center)	Right of Way (edge)	Other

10.3 Existing Parking & Loading Spaces

Existing Number of Standard Parking Spaces:

Existing Number of Barrier Free Parking Spaces:

Existing Number of Loading Spaces:

11. PROPOSED STRUCTURES & SETBACKS ON SUBJECT LAND (Indicate any to be demolished)**11.1** Proposed Development (**if any**) in square metres, metres

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Stories	Dimensions			Year Built
				Length	Width	Height	
No structure on severed land.							

11.2 Setbacks of Proposed Structures to property boundaries, shoreline, etc. in metres

Type of Structure	Front	Side	Side	Rear	Water	Flood Plain	Public Road (center)	Right of Way (edge)	Other

11.3 Proposed Parking & Loading Spaces

Proposed Number of Standard Parking Spaces:

Proposed Number of Barrier Free Parking Spaces:

Proposed Number of Loading Spaces:

12. ZONING BY-LAW INFORMATION**12.1** Proposed Zoning: CT**12.2** Description of Proposal: (describe nature and extent of the rezoning request, reasons for rezoning)

We are planning to install a proper septic for "Whispering Pines Cottages". Ministry of Environment has informed us that a new septic would not be approved on our current property. Our only option would be to purchase additional land with a larger set back from Charleston Lake. The reason is to obtain an ministry of environmental compliance approval.

12.3 Is the requested amendment consistent with the Provincial Policy Statement (PPS)? ☒ Yes ☐ No

Explain how the requested amendment is consistent with the PPS.

Planning for the appropriate septic
Protecting the environment with having 300m set back
from Charleston Lake.

12.4 Is the requested amendment consistent with the County Official Plan? ☒ Yes ☐ No

Explain how the requested amendment conforms with the County Official Plan.

The County Official Plan supports improvement and revitalization. They encourage development in recreation sites and protection of natural environment such as Charleston Lake.

12.5 Is the requested amendment consistent with the Township Official Plan? ☒ Yes ☐ No

Explain how the requested amendment conforms with the Township Official Plan.

The subjected properties are not located within any
aggregation of prime agriculture boundaries.

12.6 Does the proposal require an amendment to the Township Official Plan? ☐ Yes ☒ No

If yes, list the application number:

12.7 Is the application within an area where the Municipality has pre-determined the minimum and maximum density requirements, or the minimum and maximum height requirements ☐ Yes ☒ No

If yes, provide a statement of these requirements:

12.8 Does the zoning amendment alter the boundaries of an existing area of settlement or require a new area of settlement to be implemented? ☐ Yes ☒ No

If the answer to 12.8 is yes, provide the current Official Plan policies if any dealing with the alteration or establishment of an area of settlement:

12.9 Does the zoning amendment remove land from an area of employment? ☐ Yes ☒ No

If the answer to section 12.9 is yes, provide the current Official Plan policies, if any, dealing with the removal of land from an area of employment:

12.10 Are the lands subject to zoning with conditions? ☐ Yes ☒ No

If the answer to Section 12.10 is yes, provide an explanation of how the proposed amendment complies with the Official Plan policy relating to the zoning with conditions:

12.11 Would this request permit development on a privately owned and operated individual or communal septic system more than 4500 litres of effluent per day? ☐ Yes ☒ No

If yes to Section 12.11 The following studies are required:

Submitted

(a) A servicing options report

☐ Yes ☐ No

(b) a hydrogeological report

☐ Yes ☐ No

12.12 Name(s) and address(es) of the holders of any mortgages, charges, and other encumbrances of the property.

☐ There are no mortgages, charges, or other encumbrances on the property.

12.13 What is your proposed strategy for consulting with the public?

Notice sent out with signage

13.0 OFFICIAL PLAN INFORMATION**13.1** Is the Application:☒ Site Specific☐ Applicable to a larger area or the entire Municipality**13.2** Does the application propose to change, replace, or a policy in the Official Plan? ☐ Yes ☐ No

Is yes, what is the policy to be changed, replaced or deleted?

13.3 Does the application propose to add a policy to the Official Plan ☐ Yes ☒ No**13.4** What is the purpose of the requested amendment?**13.5** What is the designation of the subject lands according to the Official Plan of the United Counties of Leeds and Grenville and explain how the proposed amendment conforms with it:**13.6** What is the current designation of the subject land in the Township Official Plan and what land uses does the designation authorize?

Rural.

13.7 Does the requested amendment propose to change or replace a designation of a parcel of land in the Official Plan? ☐ Yes ☐ No

If yes, what is the proposed designation?

13.8 What are the land uses that the requested official plan amendment would authorize?

13.9 Would this request permit development on a privately owned and operated individual or communal septic system more than 4500 litres of effluent per day? ☐ Yes ☐ No

If yes to Section 13.9 The following studies are required:

Submitted

(a) A servicing options report

☐ Yes ☐ No

(b) a hydrogeological report

☐ Yes ☐ No

13.10 Please indicate whether this land, or land within 120 metres of it, is the subject of an application by the applicant under the act for:

	Subject Lands			Adjacent Lands		
	Yes	No	File No.	Yes	No	File No.
Other Applications						
Minor Variance	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	
Consent	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	
Amendment to Official Plan	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	
Amendment to Zoning By-Law	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	
Minster's Zoning Order	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	
Other Applications:	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	

If yes has been answered one or more times, please specify the following on a separate page:

- 1) the lands affected
- 2) the name of the approval authority considering it
- 3) The purpose of the application
- 4) the status of the application
- 5) effect of the application

Is the separate page attached? ☐ Yes ☐ No ☐ Not Applicable

13.11 If a policy in the official plan is being changed, replaced or deleted or if a policy is being added, indicate the proposed text of the requested amendment or attach a draft of the amendment.

13.12 If the requested amendment changes or replaces a schedule in the official plan, indicate the requested schedule and text that accompanies it: *N/A*

13.13 If the requested amendment alters all or any part of the boundary of an area of settlement or establishes a new area of settlement, indicate the current official plan policies, dealing with the alteration or establishment of an area of settlement: *N/A*

13.14 If the requested amendment removes the subject land from an area of employment, indicate the current official plan policies dealing with the removal of land from an area of employment: *N/A*

13.15 Is the requested amendment consistent with the Provincial Policy Statement (PPS)? ☒ Yes ☐ No

If yes, explain how the requested amendment is consistent with the PPS:

See 12.3

13.16 What is the proposed strategy for consulting with the public?

We hope to have a minimal impact on the subject property. The use of the land would be for septic installation. No major changes or development would happen to avoid concerns.

14. AUTHORIZATION & PERMISSION TO ENTER

All Registered Owner(s) must complete the following to authorize the applicant/agent to make the application on their behalf (if Owner NOT the applicant) and/or to permit Council, Committees of Council, Township Staff or authorized agents to enter the subject property to conduct site inspections related to this application. If multiple owners, an authorization letter from each owner is required.

I/We

Michael Tierney

(name(s) of owner(s) or company)

being the registered owner(s) of the subject property of this application:

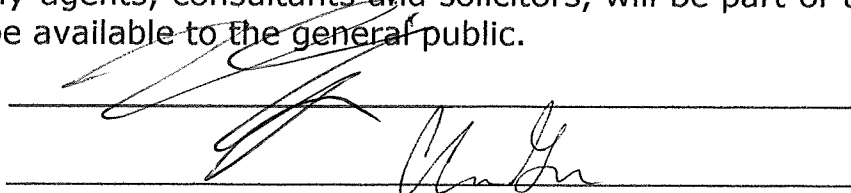
- ☒ Hereby authorize the following person(s) to act as our agent to prepare, submit the application and pay any associated fees on my/our behalf (if applicable):

Clayton Gray

(Name of Applicant(s)/Authorized Agent(s))

- ☒ Hereby authorize Council, Committees of Council, and Township Staff or authorized agents to enter the subject property without notice to conduct site inspections related to this application.
- ☒ Agree to ensure that any driveway/lanes are accessible during the circulation period of the application so that Committee members, Township staff and other agencies do not have any barriers blocking access to the subject land. Island properties will require a boat ride, which is to be provided by the owner/agent. If applicable, Township Staff will make arrangements for the most suitable date and time.
- ☒ Agree to post any required signage on site, which is prepared by Township Staff, with respect to this application in the requested timeframe of the Planning Act and upon notification by Township Staff. I/We also agree to provide photographic evidence of the posted sign at the request of Township Staff.
- ☒ Agree to stake the area of any proposed construction a minimum of 15 days prior to the meeting date of your application.
- ☒ Have included the written approval of all surveyors, designers, etc. that designed any documents, plot plans etc. to allow the Township to use their plan(s) in the notice or hearing and other documents which are viewable by the public.
- ☒ Hereby acknowledge and provide my consent, in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, that the information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Signature(s):



Date:

Mar 29, 2025

15. AGREEMENT TO INDEMNIFY & STATUTORY DECLARATION

I/We, Clayton Gray
 (name of owner, applicant or authorized agent)

Of the Leeds and the thousand islands
 (name of Municipality)

In the United Counties of Leeds and Grenville
 (name of County)

Hereby agree to indemnify and save harmless The Corporation of the Township of Leeds and Thousand Islands (the "Municipality") from all costs and expenses that the Municipality may incur in connection with the processing of the applicant's application for approval under the Planning Act.

Without limiting the foregoing, such costs and expenses will include all legal, engineering, planning, advertising and consulting fees and charges incurred or payable by the Municipality to process the application together with all costs and expenses arising from or incurred in connection with the Municipality being required, or requested by the applicant, to appear at the hearing of any appeal to the Local Planning Appeal Tribunal from any decision of the Council approving the applicant's application.

I/We acknowledge and agree that if any amount owing to the Municipality in respect of the application is not paid when due, the Municipality will not be required to process or to continue processing the application, or to appear before the Local Planning Appeal Tribunal in support of a decision approving the application until the amount has been paid in full.

I/We further acknowledge and agree that any amount owing by the applicant to the Municipality is, when due, a debt of the applicant and the Municipality may, in addition to any other remedies available to it at law, recover the amount owing together with interest from the applicant by action.

I/We solemnly declare that all of the above statements contained herein and all exhibits transmitted herewith including this application and any required document attached hereto are true, and I/We make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Signature(s): 

Declared before me at the: Township of Leeds and the Thousand Islands
 (name of municipality)

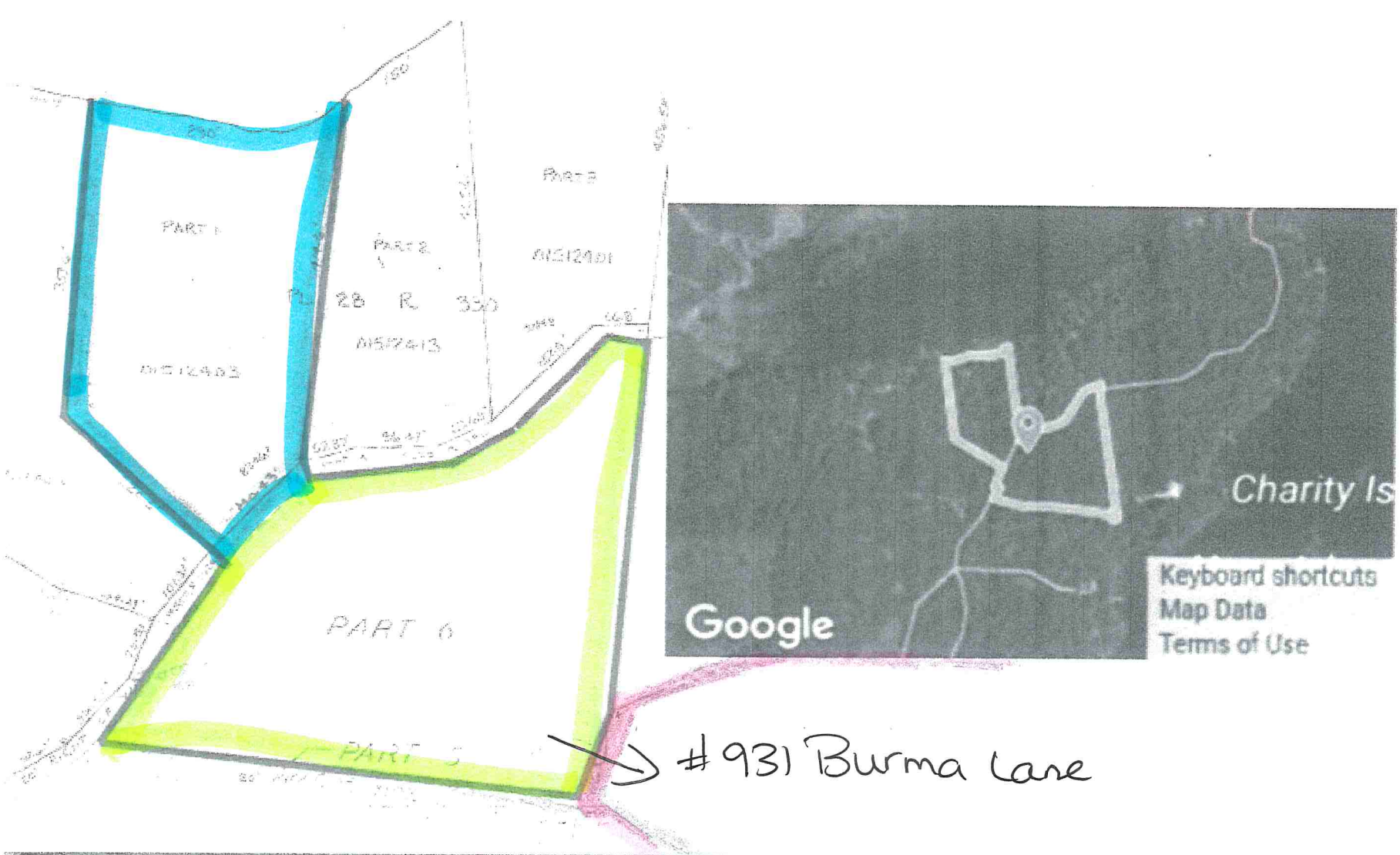
in the United Counties of Leeds and Grenville
 (name of County)

This 28th day of March, 2025.


 Signature of Commissioner of Oaths, etc.

AMANDA ZORA WERNER-MACKELER,
 a Commissioner, etc., Province of Ontario,
 the Corporation of the Township of Leeds
 and the Thousand Islands.
 Expires August 18, 2025.

(Official Stamp of Commissioner of Oaths)



- Severed Lands
- Retained Lands
- Adjoining Lot

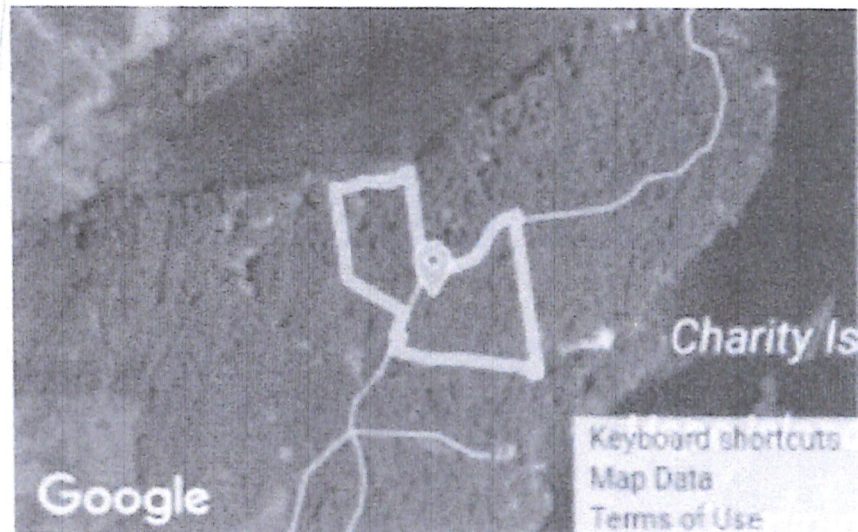
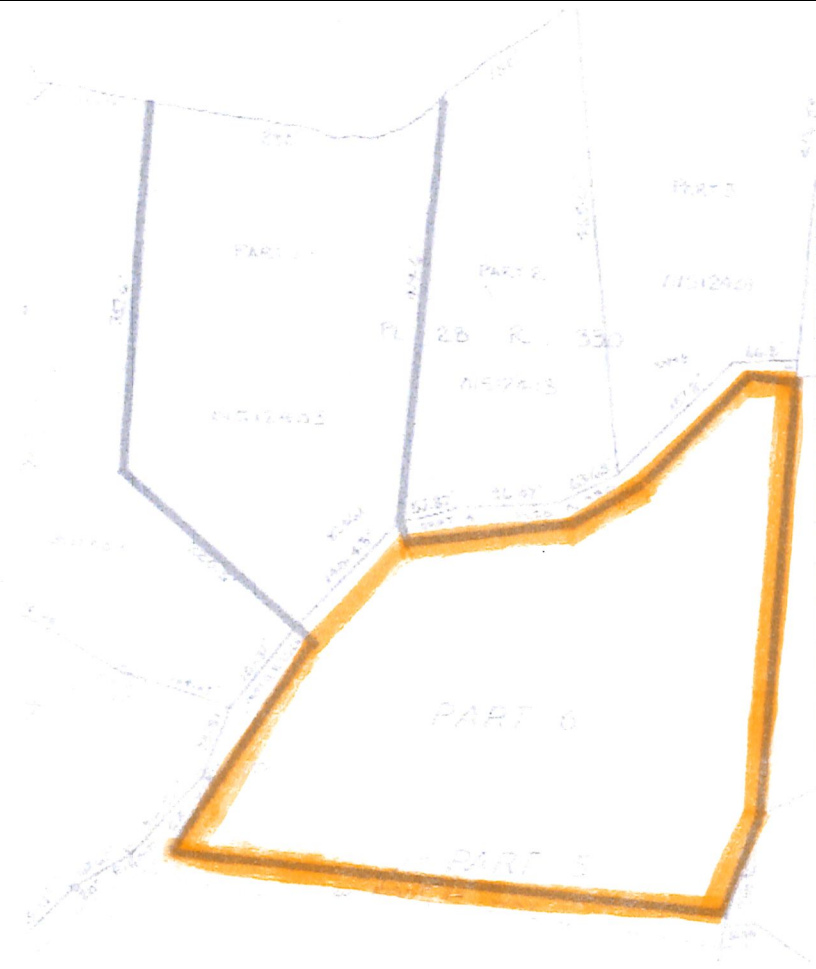
Fireplace: 4 (3 propane + 1 wood)
A/C Type: None

Heat Source: Electric, Propane, Oil, Radiant, Baseboard
Basement: Fully Finished/Walk Out

Taxes: \$

Occupancy: Vacant

Possession: 16 days or earlier from date of auction



The diagrams illustrate the stages of cell division:

- A single cell with a nucleus.
- The nucleus begins to divide, with chromatin condensing into chromosomes.
- The chromosomes are fully formed and aligned in the center of the cell.
- The cell membrane begins to pinch inward, forming a cleavage furrow.
- Two daughter cells are formed, each with its own nucleus.

44225

RIGHT-OF-WAY

RIGHT-OF-WAY

ROAD ALLOWANCE BETWEEN CONCESSIONS 647

CONFESSIO

28F4729
D065

0066
2502674

From 01-16-11

00067
20R3622
20R330

2244

5100

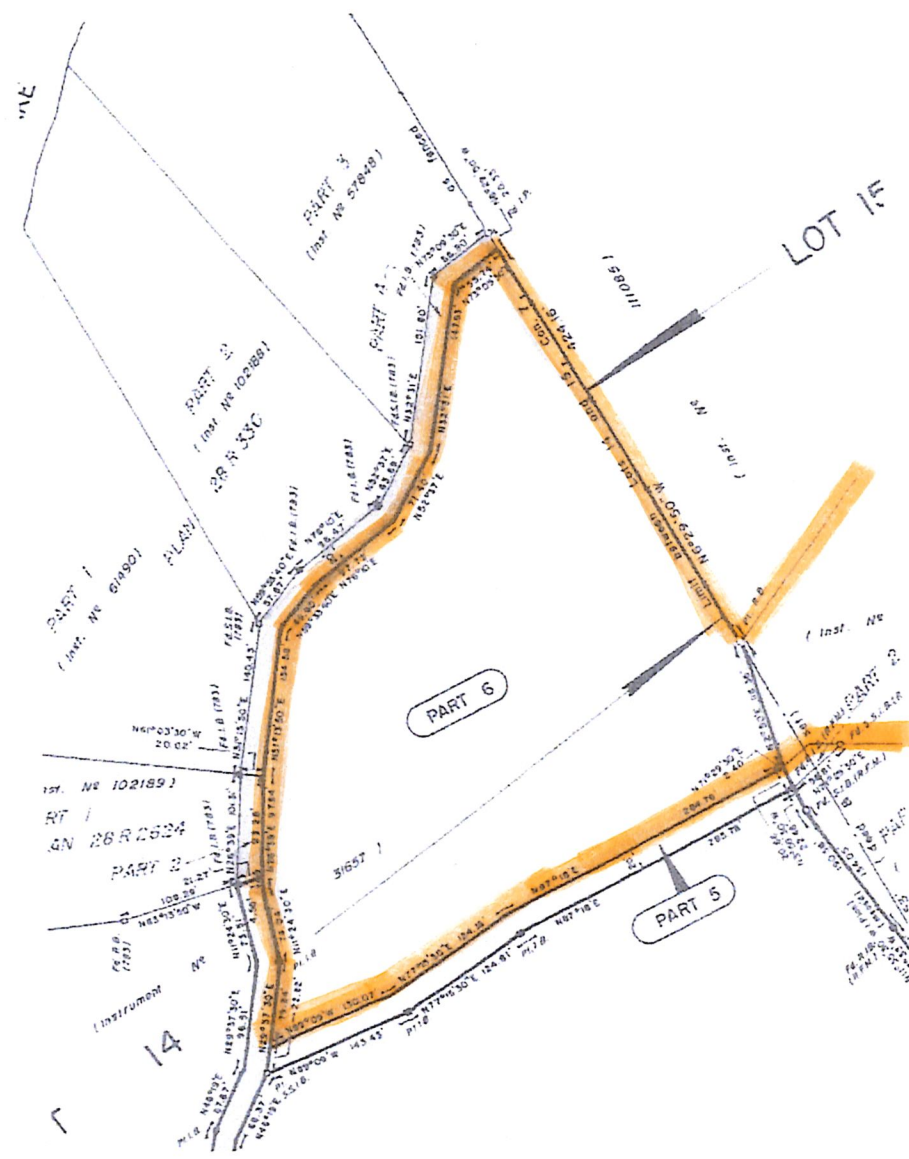
100

100

2004

5. 1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100. 101. 102. 103. 104. 105. 106. 107. 108. 109. 110. 111. 112. 113. 114. 115. 116. 117. 118. 119. 120. 121. 122. 123. 124. 125. 126. 127. 128. 129. 130. 131. 132. 133. 134. 135. 136. 137. 138. 139. 140. 141. 142. 143. 144. 145. 146. 147. 148. 149. 150. 151. 152. 153. 154. 155. 156. 157. 158. 159. 160. 161. 162. 163. 164. 165. 166. 167. 168. 169. 170. 171. 172. 173. 174. 175. 176. 177. 178. 179. 180. 181. 182. 183. 184. 185. 186. 187. 188. 189. 190. 191. 192. 193. 194. 195. 196. 197. 198. 199. 200. 201. 202. 203. 204. 205. 206. 207. 208. 209. 210. 211. 212. 213. 214. 215. 216. 217. 218. 219. 220. 221. 222. 223. 224. 225. 226. 227. 228. 229. 230. 231. 232. 233. 234. 235. 236. 237. 238. 239. 240. 241. 242. 243. 244. 245. 246. 247. 248. 249. 250. 251. 252. 253. 254. 255. 256. 257. 258. 259. 260. 261. 262. 263. 264. 265. 266. 267. 268. 269. 270. 271. 272. 273. 274. 275. 276. 277. 278. 279. 280. 281. 282. 283. 284. 285. 286. 287. 288. 289. 290. 291. 292. 293. 294. 295. 296. 297. 298. 299. 300. 301. 302. 303. 304. 305. 306. 307. 308. 309. 310. 311. 312. 313. 314. 315. 316. 317. 318. 319. 320. 321. 322. 323. 324. 325. 326. 327. 328. 329. 330. 331. 332. 333. 334. 335. 336. 337. 338. 339. 340. 341. 342. 343. 344. 345. 346. 347. 348. 349. 350. 351. 352. 353. 354. 355. 356. 357. 358. 359. 360. 361. 362. 363. 364. 365. 366. 367. 368. 369. 370. 371. 372. 373. 374. 375. 376. 377. 378. 379. 380. 381. 382. 383. 384. 385. 386. 387. 388. 389. 390. 391. 392. 393. 394. 395. 396. 397. 398. 399. 400. 401. 402. 403. 404. 405. 406. 407. 408. 409. 410. 411. 412. 413. 414. 415. 416. 417. 418. 419. 420. 421. 422. 423. 424. 425. 426. 427. 428. 429. 430. 431. 432. 433. 434. 435. 436. 437. 438. 439. 440. 441. 442. 443. 444. 445. 446. 447. 448. 449. 450. 451. 452. 453. 454. 455. 456. 457. 458. 459. 460. 461. 462. 463. 464. 465. 466. 467. 468. 469. 470. 471. 472. 473. 474. 475. 476. 477. 478. 479. 480. 481. 482. 483. 484. 485. 486. 487. 488. 489. 490. 491. 492. 493. 494. 495. 496. 497. 498. 499. 500. 501. 502. 503. 504. 505. 506. 507. 508. 509. 510. 511. 512. 513. 514. 515. 516. 517. 518. 519. 520. 521. 522. 523. 524. 525. 526. 527. 528. 529. 530. 531. 532. 533. 534. 535. 536. 537. 538. 539. 540. 541. 542. 543. 544. 545. 546. 547. 548. 549. 550. 551. 552. 553. 554. 555. 556. 557. 558. 559. 560. 561. 562. 563. 564. 565. 566. 567. 568. 569. 570. 571. 572. 573. 574. 575. 576. 577. 578. 579. 580. 581. 582. 583. 584. 585. 586. 587. 588. 589. 590. 591. 592. 593. 594. 595. 596. 597. 598. 599. 600. 601. 602. 603. 604. 605. 606. 607. 608. 609. 610. 611. 612. 613. 614. 615. 616. 617. 618. 619. 620. 621. 622. 623. 624. 625. 626. 627. 628. 629. 630. 631. 632. 633. 634. 635. 636. 637. 638. 639. 640. 641. 642. 643. 644. 645. 646. 647. 648. 649. 650. 651. 652. 653. 654. 655. 656. 657. 658. 659. 660. 661. 662. 663. 664. 665. 666. 667. 668. 669. 670. 671. 672. 673. 674. 675. 676. 677. 678. 679. 680. 681. 682. 683. 684. 685. 686. 687. 688. 689. 690. 691. 692. 693. 694. 695. 696. 697. 698. 699. 700. 701. 702. 703. 704. 705. 706. 707. 708. 709. 710. 711. 712. 713. 714. 715. 716. 717. 718. 719. 720. 721. 722. 723. 724. 725. 726. 727. 728. 729. 730. 731. 732. 733. 734. 735. 736. 737. 738. 739. 740. 741. 742. 743. 744. 745. 746. 747. 748. 749. 750. 751. 752. 753. 754. 755. 756. 757. 758. 759. 760. 761. 762. 763. 764. 765. 766. 767. 768. 769. 770. 771. 772. 773. 774. 775. 776. 777. 778. 779. 780. 781. 782. 783. 784. 785. 786. 787. 788. 789. 790. 791. 792. 793. 794. 795. 796. 797. 798. 799. 800. 801. 802. 803. 804. 805. 806. 807. 808. 809. 810. 811. 812. 813. 814. 815. 816. 817. 818. 819. 820. 821. 822. 823. 824. 825. 826. 827. 828. 829. 830. 831. 832. 833. 834. 835. 836. 837. 838. 839. 840.

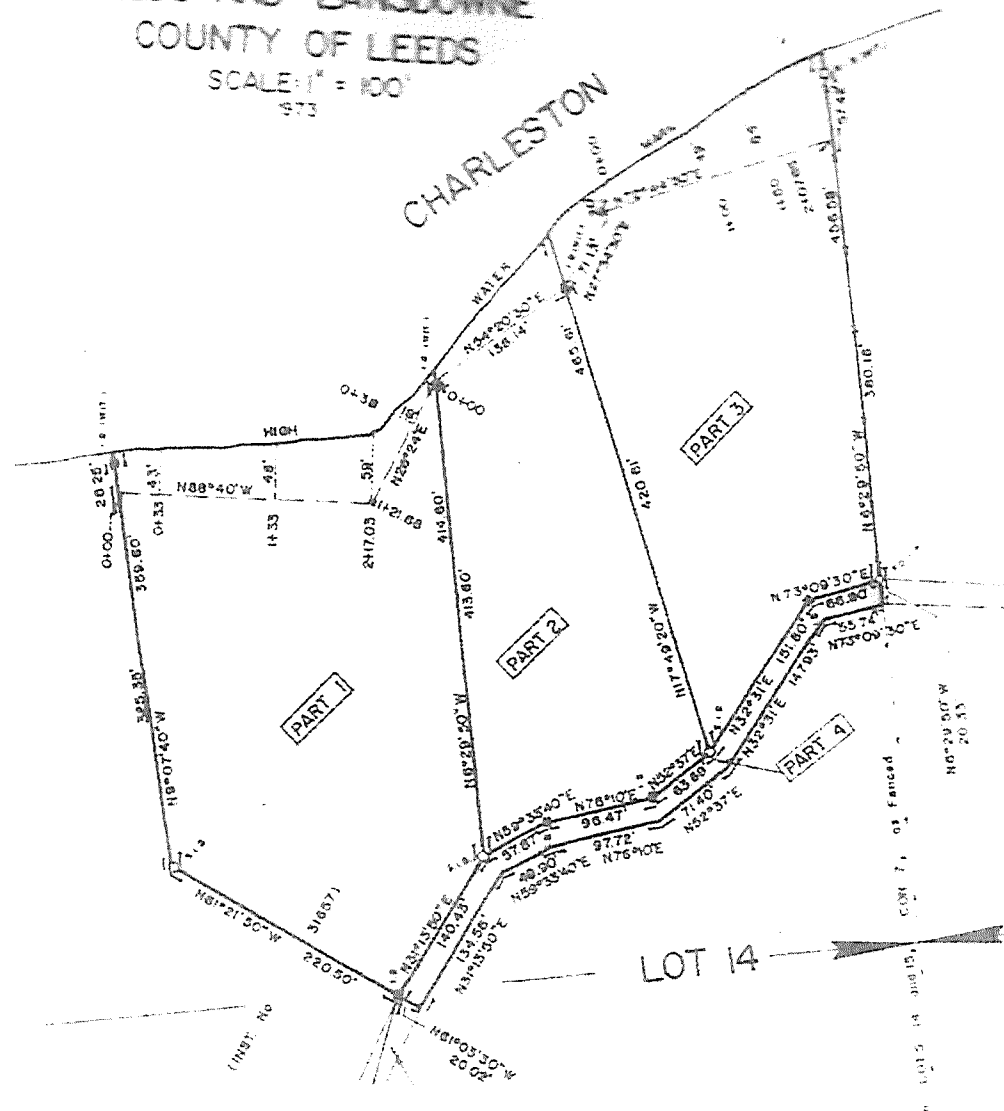
28R3555



28K330

452

CHARLESTON





Notice of a Complete Application and Public Meeting **Zoning By-Law Amendment** **(Section 34 of the *Planning Act*)**

Meeting Date: Monday, May 5, 2025

Meeting Time: 6:00 pm

Meeting Location: 1233 Prince Street, Lansdowne, ON.

Options for attending the meeting will be in person in the Council Chambers and virtually online/by phone through Zoom. Details on how to participate are included below.

File Number: D14-2025-002

Location: 91 Shipman's Lane

Owner: Michael Tippin and Anne Tippin

Agent: EFI Engineering (Niju Mathew)

Roll Number: 08-12-812-025-11800-0000

Related Application(s): Minor Variance Applications A31-13, A34-13 and A08-15
Site Plan Application SP01-14



Key Map: The property subject to the application for Zoning By-Law Amendment shown in blue outline and blue fill.

Purpose and Effect of Proposed Zoning By-Law Amendment

The subject application is proposing to change the portion of the property zoned Shoreline Residential 'RS' zone to a Special Exception 'RS-X' zone. The proposed zone change would facilitate the expansion of an existing detached garage to include habitable space/sleeping cabin within the structure and to recognize an additional accessory structure that serves as a gatehouse for the property. The property also contains an existing single detached

dwelling and a marine facility. Should the proposed zoning by-law amendment be approved, an application would be required to amend the existing site plan control agreement registered on title of the property.

To view the supporting documents with respect to this application, please visit:
<https://www.leeds1000islands.ca/en/growing/active-applications.aspx>

How to Participate:

All comments received will become part of the public record. Comments can be provided in writing, email or verbally in person/virtually. Staff are unable to accept verbal comments over the phone or in person outside of the meeting.

Anyone attending in person in the Council Chambers or virtually online/by phone through Zoom will be provided the opportunity to comment on an application. The ways to comment on an application are:

1. Written Comments – By Email: planningtechnician@townshipleeds.on.ca
By Mail: Township of Leeds and the Thousand Islands
Attn: Amanda Werner-Mackeler, Planning Technician
1233 Prince Street P.O. Box 280
Lansdowne, ON K0E 1L0
2. In Person Attendance – In person attendance will be in the Council Chambers at the Township Office at 1233 Prince Street, Lansdowne, ON.
3. Virtual/Phone Attendance – If you wish to attend virtually/by phone, you are required to register to be an attendee prior to the meeting. Once registered, you will receive a follow up email from the Clerk with the details to attend the meeting by computer or by phone. To register to participate for this meeting option, please visit the Township's website at <https://www.leeds1000islands.ca/en/governing/council-and-committee-calendar.aspx>. Under Upcoming Meetings, select the meeting you are interested in attending. On the meeting agenda, there is a link to register in advance to attend the meeting online or by phone.

If you have any issues registering online, please call 613-659-2415 x 203 before May 2, 2025 and indicate your name, phone number, email address and application you wish to speak to. Staff will register you for the meeting using your email address and you will receive a follow up email from the Clerk with the details on how to attend the meeting by computer or by phone.

Make Your Views Known

The purpose of the Public Meeting is to present planning applications in a public forum as required by the *Planning Act* and to inform the public of the purpose of the application and the effect of the proposed amending Zoning By-Law. At the public meeting, members of the public are provided the opportunity to provide comments and questions regarding the application. No decisions are made at public meetings concerning applications; the public meeting is held to gather public opinion.

This notice has been mailed to you, as required by the *Planning Act*, to ensure that as an interested party you may make your views known on the above application. You may express your support or opposition to the proposed amendment by either attending the above public hearing or sending a letter by mail, email, fax or hand-delivery prior to the hearing date. Any correspondence received will become part of the public record. Please note that written comments may be submitted anytime between the municipality's receipt of a complete application from the applicant and the decision of Council.

No specified person, public body or registered owner to which the by-law would apply shall be added as a party to the hearing of the appeal unless, before the by-law was passed, the specified person, public body or registered owner of any land to which the by-law applies made oral submissions at a statutory public meeting or written submissions to the

Committee of Adjustment prior to the decision or, in the opinion of the Tribunal, there are reasonable grounds to add the specified person or public body as a party.

“Public body” and “specified person” are defined under Section 1(1) of the Planning Act.

Collection of Personal Information:

Personal information is collected in order to gather feedback and communicate with interested parties regarding this development proposal. This information is collected under the authority of the *Planning Act* and in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*. With the exception of e-mail addresses and telephone numbers, all information and comments will become part of the public record and will appear on the Township’s website. Council and committee meetings are broadcast live over the internet on Facebook. If you speak at the meeting your voice will be heard in the broadcast. Broadcasts are archived and continue to be publicly available.

Potential Appeal Limitations

If a person or public body would otherwise have an ability to appeal the decision of the Council for the Township of Leeds and the Thousand Islands to the Ontario Land Tribunal (OLT) but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Leeds and the Thousand Islands before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting, or make written submissions to the Township of Leeds and the Thousand Islands before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

Further Information

Additional information regarding the proposal may be obtained by contacting the Planning and Development Department at 613-659-2415 x 226 or by e-mail at seniorplanner@townshipleeds.on.ca.

Office Location:

1233 Prince Street, Lansdowne, ON

Mailing Address:

Township of Leeds and the Thousand Islands
1233 Prince Street, P.O. Box 280
Lansdowne, ON K0E 1L0

Township Active Application Website:

<https://www.leeds1000islands.ca/en/growing/active-applications.aspx>

Township Council Public Meeting Website:

<https://www.leeds1000islands.ca/en/governing/council-and-committee-calendar.aspx>

Additional information and materials will be available to the public for electronic viewing at the Township Office. Additional information and materials will be available by email and on the Township website.

Receive a Copy of the Council’s Decision

If you wish to be notified of the decision of the Council of the Township of Leeds and the Thousand Islands on the proposed zoning by-law amendment, you must make a written request to Amanda Werner-Mackeler, Planning Technician at:

Township of Leeds and the Thousand Islands
Attn: Amanda Werner-Mackeler, Planning Technician
1233 Prince St, PO Box 280
Lansdowne, ON K0E 1L0

Email: planningtechnician@townshipleeds.on.ca

Accessibility Information

If you are a person with a disability and need Township of Leeds and the Thousand Islands information provided in another format, please contact our Clerk’s office at 613-659-2415 x 231 or clerk@townshipleeds.on.ca.

Multi-Residential Unit Notification

If you have received this notice and you are the owner of land that contains seven or more residential units, please post this notice in a location that is visible to all of the residents.

DATED at the Township of Leeds and the Thousand Islands on April 10, 2025.

Marnie Venditti
Director of Planning and Development

EFI Engineering
[REDACTED]
[REDACTED]

Planning & Development Department

Township of Leeds and the Thousand Islands
1233 Prince St., P.O. Box 280
Lansdowne, Ontario K0E 1L0

Re: Submission of Zoning By-law Amendment Application for 91 Shipman's Lane

To whom it may concern:

On behalf of Michael and Anne Tippin, EFI Engineering is pleased to submit the enclosed Zoning By-law Amendment (ZBLA) application for 91 Shipman's Lane, within the Township of Leeds and the Thousand Islands.

The purpose of this application is to request site-specific amendments to Zoning By-law No. 07-79 to permit modifications that will enhance the property's functionality, usability, and regulatory compliance, while ensuring alignment with provincial, municipal, and conservation authority policies. The proposed amendments seek to:

- Expand the detached garage to include limited habitable space (home office, gym, washroom).
- Increase the maximum permitted height of the garage from 7.0 metres to 9.9 metres.
- Formally recognize a gatehouse (4.46 sq. m.) as an accessory structure for refuse and parcel storage.
- Construct a pedestrian bridge (27.4 metres in length, 1.2 metres in width) to provide controlled access to a privately owned island.

The subject property is designated Rural Lands and Provincially Significant Wetland (PSW) under the United Counties of Leeds and Grenville Official Plan (UCLG OP) and is also designated Rural and Provincially Significant Wetland (PSW) under the Township of Leeds and the Thousand

Islands (TLTI) Official Plan (OP). It is zoned Shoreline Residential (RS) under Zoning By-law No. 07-79.

The application has been informed by pre-consultation discussions with the Township of Leeds and the Thousand Islands and the Cataraqui Region Conservation Authority (CRCA). The originally proposed carport has been removed following CRCA and Township feedback, ensuring full compliance with floodplain, erosion hazard, and wetland setback regulations.

The enclosed application includes all required supporting documents:

- Completed ZBLA Application Form
- Planning Justification Report (Prepared by EFI Engineering)
- Site Plan and Proposed Development Layout
- Conceptual Architectural Renderings
- Garage Expansion – Floor Plans and Elevations
- Garage Expansion – Structural and Section Details
- Plan of Survey
- Applicable Fees (Township and CRCA)

We appreciate your time and consideration of this application and look forward to working with your team throughout the review process. Thank you for your time and consideration of this application.

Sincerely,

Christine Stinson

Christine Stinson
Project Manager – Planning
EFI Engineering
Tel: [REDACTED]
Email: [REDACTED]

Niju Mathew

Niju Mathew. MSc (Planning)
Junior Planner
EFI Engineering
Tel: [REDACTED]
Email: [REDACTED]



Township of
**Leeds and the
Thousand Islands**

DEVELOPMENT APPLICATION

Section 22 (Official Plan Amendment), Section 34 (Zoning Amendment), Section 36 (Holding Zone Removal), Section 41 (Site Plan Approval) of the Planning Act

OFFICE USE ONLY

| | | | |
|-----------------------------|---|--|---|
| Application: | D14-2025-002 | Date Received: | March 7, 2025 |
| Roll Number: | 812-025-11800 | Deemed Complete: | April 9, 2025 |
| Application Fee: | \$1500 Application
\$215 Sewage Review | <input checked="" type="checkbox"/> Cheque | <input type="checkbox"/> Cash <input type="checkbox"/> Interac <input type="checkbox"/> N/A |
| Posting of Sign By: | <input checked="" type="checkbox"/> Owner | <input checked="" type="checkbox"/> Agent | <input type="checkbox"/> Staff (\$50 Fee) <input type="checkbox"/> Other |
| Posting of Sign Fee: | <input type="checkbox"/> Cheque | <input type="checkbox"/> Cash | <input type="checkbox"/> Interac <input checked="" type="checkbox"/> N/A |

1. APPLICATION TYPE (Check all that apply)

- ☐ Zoning By-Law Amendment ☐ Official Plan Amendment
☐ Site Plan Agreement

2. PRE-CONSULTATION (Attach supporting documentation)

- ☐ TLTI – Staff ☐ Leeds, Grenville & Lanark Health Unit
☐ CRCA ☐ St. Lawrence Parks Commission
☐ Other:

3. COMPLETE APPLICATION REQUIREMENTS

- ☐ Complete Application Form
☐ Authorization of Applicant (if applicable)
☐ Affidavit signed by a Commissioner of Oaths, Notary, etc. (Available at Office)
☐ Township and other Agency (if applicable) Applications and Fees
☐ Cover Letter and/or report
☐ Survey Plan (if available)
☐ Deed
☐ Scaled Sketch with setbacks identified (1 hard copy (11x17 paper or less) and 1 digital copy)
☐ Minimum Distance Separation Calculation Form (if applicable)
☐ All Supporting Information identified through Pre-Consultation including DRT

4. SUBJECT LAND

Assessment Roll Number: **08128120251180000000**
 Civic Address: **91 Shipmans Lane, Lansdowne, ON K0E 1L0** PT LT 14 CON 1
 Legal Description (Concession, Lot, Part, Reference Plan numbers): **LANDSDOWNE**
LANDSDOWNE AS IN LR167372; TW LR167372 EXCEPT THE EASEMENT THEREIN RE: PT 3 28R11890 & PT LT 14 CON 1 E OF PT 3 28R1 1890; LEEDSTHOUSAND ISLANDS; TOGETHER WITH AN EASEMENT OVER REGISTRY LANDS BEING PTS 7 & 9 28R13775 AS IN LR390 234
 Date subject land acquired by current owner: **2024/04/30**

5. REGISTERED OWNER(S)

All owners must be included. If company, identify principals. A separate page may be submitted, if needed.

Name(s): **Michael David Tippin and Anne Marie Tippin**

Company Name (if applicable):

Mailing Address:

Phone (home):

Phone (cell):

Email Address:

6. APPLICANT INFORMATION

*If an applicant is NOT the owner of the subject lands, written authorization from **all registered owner(s)** must be obtained stating that the agent is authorized to make the application (Section 14)*

6.1 Is the applicant the same as the owner?

☐

Yes (same information as above)

☐

No (please fill out below **and** complete Section 14 – Agreement, Authorization and Declaration)

6.2 Name(s):

Company Name (if applicable):

Mailing Address:

Phone (home):

Phone (cell):

Phone (work):

Email Address:

7. SUBJECT LAND CHARACTERISTICS

7.1 Please list and describe any existing easements, right-of-ways or restrictive covenants that apply to the subject property (required to be shown on sketch)

The subject property has no known easements, right-of-ways, or restrictive covenants that impact the proposed development.

7.2 Site Description: (briefly describe factors that may impact the proposed development, such as soil type and depth, lot configuration, steep slopes or low-lying areas, natural feature, etc.)

The property at 91 Shipman's Lane is a waterfront residential lot located along the St. Lawrence River within the Thousand Islands Special Policy Area. It measures approximately 0.6274 hectares and contains a one-story detached dwelling, a two-story detached garage, a dock, and a boat shelter. The site is partially within a Provincially Significant Wetland (PSW) and a regulated floodplain, requiring adherence to floodplain management and environmental protection policies. It features rock outcrops, stone retaining walls, and sloped terrain towards the waterfront, with the highest elevation at approximately 81m GSC and floodplain elevation at 76.1m GSC. The Ivy Lea Complex PSW requires a 30-metre setback for new development, which has been incorporated into the proposal. Despite these constraints, the proposed garage expansion and gatehouse have been designed to minimize environmental impact and comply with municipal zoning and conservation authority regulations.

| | | | |
|--|-------------------------------------|--------------------------|--------------------------|
| 7.3 Dimensions of Subject Land | | | |
| Total Lot Area: | 0.6274 hectares | 1.55 acres | |
| Lot Depth: 77.2 | metres | 253.3 | feet |
| Lot Width (frontage): 298 | metres | 977.69 | feet |
| 7.4 Road Access (include name) | | | |
| <input type="checkbox"/> Provincial Highway: _____ | | | |
| <input type="checkbox"/> County Road: _____ | | | |
| <input type="checkbox"/> Municipal Road: _____ | | | |
| <input checked="" type="checkbox"/> Private Right-of-Way: Shipman's Lane | | | |
| <input type="checkbox"/> Water Only: _____ | | | |
| 7.5 If access to the subject land is by water only, provide details of parking and docking facilities to be used and the approximate distance of these from the subject land and the nearest public road: | | | |
| | | | |
| | | | |
| 7.6 Servicing – Water | Existing | Proposed | Not Applicable |
| Municipal Piped Water System | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Privately Owned and Operated Well | | | |
| <input type="checkbox"/> Dug | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> Drilled | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Communal | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Lake or Other Water Body: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Other: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 7.7 Servicing – Sewage | Existing | Proposed | Not Applicable |
| Municipal | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Privately-Owned | | | |
| <input checked="" type="checkbox"/> Individual Sanitary Sewage System | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Communal Sanitary Sewage System | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Composting/Self-Contained Toilet | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Privy | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Outhouse | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Other: (Specify) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 7.8 Servicing – Storm Drainage | Existing | Proposed | Not Applicable |
| Sewers | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Ditches | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Swales | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Other (Specify): _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

| 8. OFFICIAL PLAN, ZONING BY-LAW AND LAND USE INFORMATION | | |
|--|---|--|
| 8.1 | Official Plan Designation: Rural Lands & Environmental Protection Area (as per the Township of Leeds and the Thousand Islands Official Plan) | |
| 8.2 | Special Policy Area: <input checked="" type="checkbox"/> 1000 Islands <input type="checkbox"/> Highly Sensitive Lake Trout Lake <input checked="" type="checkbox"/> No | |
| 8.3 | Zoning: Shoreline Residential (RS) – Site-Specific Amendment Requested | |
| 8.4 | Is this a designated heritage property: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | |
| 8.5 | Existing Use(s): (indicate uses and length of time uses have continued) | |
| | The property has been used as a residential waterfront lot for over 20 years, featuring a single detached dwelling, a detached garage, a dock, and a boat shelter. | |
| 8.6 | Proposed Use(s):
The proposed use remains residential with modifications to existing structures, including: Expansion of the detached garage to include habitable space (home office, gym, and washroom). Increase in maximum garage height from 7.0 metres to 9.9 metres. Recognition of a gatehouse for waste and parcel storage. | |
| 8.7 | Existing Use on Adjacent Lands: | |
| | North: Low-density residential waterfront properties & Ivy Lea Complex PSW | South: Lawrence River & privately owned Island 69D (owned by the applicant) |
| | East: Additional low-density residential properties and natural shoreline | West: Shipman's Point marina & The Ivy Lea Club (recreational waterfront area) |
| 8.8 | Previous Use(s): (indicate all previous land uses on the subject land or adjacent lands including any industrial or commercial use, or if there is suspected contamination. Note: When a property is being proposed for a more sensitive land than its current or most recent use, then a Record of Site Condition (RSC) per the Environmental Protection Act (EPA) is required prior to land use change. Please refer to Ontario Regulation 153/04 for list of uses that may require RSC.) | |
| | The property has historically been used for residential purposes with no known industrial or commercial use. There is no suspected contamination requiring a Record of Site Condition (RSC). | |
| 8.9 | Indicate any current or previous application under the <i>Planning Act</i> affecting the subject land: | |
| | Application Type | File Number File Status |
| | Minor Variance | |
| | Site Plan Agreement | |
| | Zoning By-Law Amendment | |
| | Official Plan Amendment | |
| | Consent | |
| | Subdivision | |
| | Other: | |
| | <input type="checkbox"/> There have been no previous Planning Act applications affecting the subject lands | |

| 8.10 Potential Land Use Constraints: | On Subject
Lands | On Adjacent
Lands Within | No |
|---|-------------------------------------|-----------------------------------|-------------------------------------|
| Agricultural Operation including Livestock Facility or Stockyard (If Yes, MDS info must be submitted) | <input type="checkbox"/> | <input type="checkbox"/> 1000m | <input checked="" type="checkbox"/> |
| Waste Management Site or Landfill | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Sewage Treatment Plant or Waste Stabilization | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Provincially Significant Wetland (PSW) | <input checked="" type="checkbox"/> | <input type="checkbox"/> 120m | <input type="checkbox"/> |
| Locally Significant Wetland (LSW) | <input type="checkbox"/> | <input type="checkbox"/> 50m | <input checked="" type="checkbox"/> |
| Area of Natural and Scientific Interest (ANSI) | <input type="checkbox"/> | <input type="checkbox"/> 50m | <input checked="" type="checkbox"/> |
| Flood Plain | <input type="checkbox"/> | N/A | <input type="checkbox"/> |
| Wellhead Protection (Village of Lansdowne) | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| James W. King Intake Protection Zone - St. Lawrence River - South of Gananoque (OP Schedule A6) | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| Licensed Mine, Pit or Quarry or an area designated for Aggregate Extraction | <input type="checkbox"/> | <input type="checkbox"/> 1000m | <input checked="" type="checkbox"/> |
| Rehabilitated Mine/Pit/Quarry Site? | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Industrial or Commercial Use, or Wrecking Yard
Specify Use: _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Active Railway Line | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Municipal or Federal Airport | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Provincial Highway 401 | <input type="checkbox"/> | <input type="checkbox"/> 250m | <input checked="" type="checkbox"/> |
| Utility Corridor(s) i.e. Power Lines, Hydro Easement | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| i.e. Natural Gas or Oil Pipeline, etc. | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Gas Station – Currently or at Any Time | <input type="checkbox"/> | <input type="checkbox"/> Adjacent | <input checked="" type="checkbox"/> |
| Lands suspected to be contaminated | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Has grading of the subject land been changed by adding earth or other material(s)? | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| Designated Heritage Building/Site | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| 8.11 Additional information that may be relevant to the review of the application: | | | |
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| <input type="checkbox"/> Provided on a Separate Sheet | | | |

9. REQUIRED PLANS

9.1 A detailed sketch in metric has been attached with the required information as noted in Section 9.2. ☐Yes ☐No

All required site plan drawings, elevations, cross-sections, grading, drainage, etc. along with the required information as noted in Section 9.3. ☐Yes ☐No

9.2 Sketch Requirements

For zoning and official plan amendment applications, a detailed sketch **is required**. The sketch must include:

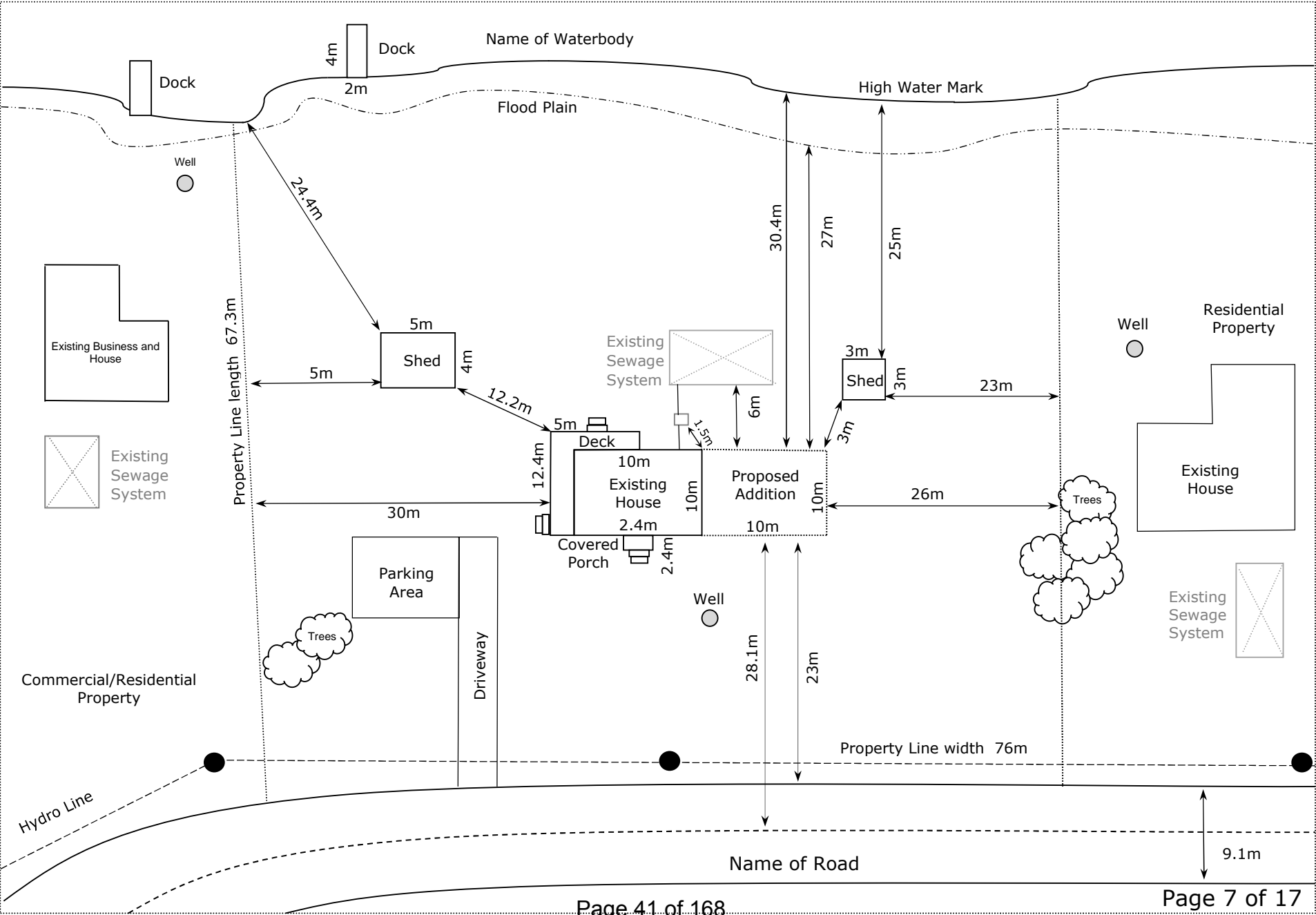
- (a) The boundaries and dimensions of the subject land.
- (b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating their distance from the front lot line, rear lot line and side lot line.
- (c) The approximate location of all natural and artificial features (for example, buildings, railways, roads, watercourses, flood plains drainage, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that:
 - (i) Are located on the subject land and on land that is adjacent to it, and
 - (ii) In the applicant's opinion, may affect the application.
- (d) The current uses of land that is adjacent to the subject land.
- (e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.
- (f) If access to the subject land will be by water only, the location of the parking and docking facilities to be used; and
- (g) The location and nature of any easement affecting the subject land.

9.3 Site Plan Requirements

In addition to Section 9.2, for site plan applications, drawings showing plan, elevation and cross-section views for each building to be erected, except a building to be used for residential purposes containing fewer than 25 dwelling units which drawings are sufficient to display,

- (a) The massing and conceptual design of the proposed building;
- (b) The relationship of the proposed building to adjacent buildings, streets and exterior areas to which members of the public have access;
- (c) The provision of interior walkways, stairs, elevators and escalators to which members of the public have access from streets, open spaces and interior walkways in adjacent buildings;
- (d) Matters relating to exterior design, including without limitation the character, scale, appearance and design features of buildings, and their sustainable design, but only to the extent that it is a matter of exterior design
- (d.1) Matters relating to exterior access to each building that will contain affordable housing units or to any part of such building, but only to the extent that it is a matter of exterior design;
- (e) the sustainable design elements on any adjoining highway under a municipality's jurisdiction, including without limitation trees, shrubs, hedges, plantings or other ground cover, permeable paving materials, street furniture, curb ramps, waste and recycling containers and bicycle parking facilities; and
- (f) facilities designed to have regard for accessibility for persons with disabilities.

9.3 SAMPLE SKETCH – Measurements, setbacks for all structures must be transcribed onto Sections 10 and 11.



10. EXISTING STRUCTURES & SETBACKS ON SUBJECT LAND (Indicate any to be demolished)**10.1 Existing Structures in metres. Include all structures on subject land, including marine facilities and structures under 10 square metres.**

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Stories | Dimensions | | | Year Built |
|-------------------|-------------------|------------------|-------------------|--------------|--------------|------------------|-------------|
| | | | | Length | Width | Height | |
| Exist. dwelling | 289 +/- | 289 +/- | 1 | 38.9m | 10.1m | 8.0m +/- | 2015 |
| Exist. garage | 94.6 +/- | 132.8 +/- | 2 | 15.1m | 8.07m | 9.17m +/- | 2015 |
| Exist. open decks | 66.65 +/- | 66.65 +/- | 1 | | | | |
| Exist. cov. decks | 32.41 +/- | 32.41 +/- | 1 | | | | |
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10.2 Setbacks of Existing Structures to property boundaries, shoreline, etc. in metres

| Type of Structure | Front | Side | Side | Rear | Water | Flood Plain | Public Road (center) | Right of Way (edge) | Other |
|-------------------|--------|--------|--------|--------|--------|-------------|----------------------|---------------------|-------|
| Exist. dwelling | 9.6m | 19.85m | 19.46m | 44.78m | 8.4m | 8.12m | 64.5m | 59.4m | |
| Exist. garage | 43.74m | 21.26m | 41.6m | 27.2m | 21.26m | 1.8m | 61.3m | 61.3m | |
| Exist. open decks | 8.4m | 16.5m | 17.3m | 54.5m | 8.4m | 5.4m | 68.2m | 63.1m | |
| Exist. cov. decks | 10.6m | 16.8m | 19.6m | 49.5m | 10.6m | 8.8m | 61.6m | 56.5m | |
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10.3 Existing Parking & Loading Spaces

Existing Number of Standard Parking Spaces:

Existing Number of Barrier Free Parking Spaces:

Existing Number of Loading Spaces:

11. PROPOSED STRUCTURES & SETBACKS ON SUBJECT LAND (Indicate any to be demolished)**11.1** Proposed Development (**if any**) in square metres, metres

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Stories | Dimensions | | | Year Built |
|-----------------------|-------------------|------------------|-------------------|------------|-------|--------|------------|
| | | | | Length | Width | Height | |
| Prop. garage. add. | 71.29 | 71.29 | 1 | 13.65m | 8.05m | 9.9m | 2025 |
| Prop. cov. ext. stair | 14.72 | 14.72 | | 8.05m | 1.83m | 7.4m | 2025 |
| Prop. gate house | 4.46 | 4.46 | 1 | 2.44m | 1.83m | 2.43m | 2025 |
| | | | | | | | |
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11.2 Setbacks of Proposed Structures to property boundaries, shoreline, etc. in metres

| Type of Structure | Front | Side | Side | Rear | Water | Flood Plain | Public Road (center) | Right of Way (edge) | Other |
|-----------------------|--------|--------|-------|-------|--------|-------------|----------------------|---------------------|-------|
| Prop. garage. add. | 43.74m | 21.26m | 41.6m | 27.2m | 21.26m | 1.8m | 61.3m | 61.3m | |
| Prop. cov. ext. stair | 58.2m | 22.1m | 40.5m | 27.5m | 22.1m | 2.0m | 73.6m | 70.4m | |
| Prop. gate house | 11.4m | 4.7m | 12.6m | 1.2m | 12.6m | 0.0m | 4.7m | 4.7m | |
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11.3 Proposed Parking & Loading Spaces

Proposed Number of Standard Parking Spaces:

Proposed Number of Barrier Free Parking Spaces:

Proposed Number of Loading Spaces:

| |
|--|
| 12. ZONING BY-LAW INFORMATION |
| 12.1 Proposed Zoning: Shoreline Residential (RS) – Site-Specific Amendment |
| 12.2 Description of Proposal: (describe nature and extent of the rezoning request, reasons for rezoning)
The requested Zoning By-law Amendment (ZBLA) seeks site-specific relief to permit modifications to the property, including: Expansion of the detached garage to include habitable space (home office, gym, and washroom). Increase in the maximum permitted height of the garage from 7.0 metres to 9.9 metres. Formal recognition of a gatehouse as an accessory structure for refuse and parcel storage. The amendment ensures compliance with zoning regulations while enhancing the property's functionality and environmental compatibility. |
| 12.3 Is the requested amendment consistent with the Provincial Policy <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Statement (PPS)?
Explain how the requested amendment is consistent with the PPS.
The amendment is consistent with the PPS, 2024, as it: Protects natural heritage by maintaining a 30-metre setback from the Provincially Significant Wetland (PSW) and ensuring no negative ecological impact. Mitigates flood risks in accordance with PPS Section 5.2 (Natural Hazards) by ensuring development does not encroach upon the regulatory floodplain and complies with CRCA regulations. Supports efficient land use by utilizing existing private water and septic services, reducing infrastructure demands (PPS Section 3.1). Maintains land-use compatibility by preserving the residential character while introducing functional improvements that align with surrounding properties. The proposal adheres to PPS policies on natural heritage, hazard mitigation, and sustainable development, ensuring responsible property enhancement. |
| 12.4 Is the requested amendment consistent with the County Official <input type="checkbox"/> Yes <input type="checkbox"/> No
Plan?
Explain how the requested amendment conforms with the County Official Plan.
The property is designated Rural Lands and partially within a Provincially Significant Wetland (PSW) under the United Counties of Leeds and Grenville Official Plan (UCLG OP). The amendment conforms to the County Official Plan by: Supporting low-density residential use while preserving natural features. Ensuring no encroachment into the PSW and adhering to floodplain and erosion hazard mitigation policies. Complying with setback and conservation requirements to protect water quality and wetland function. The amendment maintains the rural and environmental integrity of the County's planning vision. |
| 12.5 Is the requested amendment consistent with the Township <input type="checkbox"/> Yes <input type="checkbox"/> No
Official Plan?
Explain how the requested amendment conforms with the Township Official Plan.
The property is designated Rural and partially within an Environmental Protection Area in the Township of Leeds and the Thousand Islands Official Plan (TLTI OP). The proposal conforms to the Township Official Plan by: Respecting natural heritage protection policies through a 30-metre setback from the PSW. Aligning with floodplain and erosion hazard regulations under the Cataraqui Region Conservation Authority (CRCA). Maintaining compatibility with surrounding residential and recreational waterfront uses. The amendment ensures that the proposed modifications adhere to municipal planning goals while enhancing the property's functionality. |
| 12.6 Does the proposal require an amendment to the Township Official <input type="checkbox"/> Yes <input type="checkbox"/> No
Plan?
If yes, list the application number: |

| | | |
|--|--|---|
| 12.7 | Is the application within an area where the Municipality has pre-determined the minimum and maximum density requirements, or the minimum and maximum height requirements | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |
| If yes, provide a statement of these requirements: | | |
| The Shoreline Residential (RS) Zone under Zoning By-law No. 07-79 sets a maximum height of 7.0 metres for accessory structures. The requested amendment seeks relief to increase the garage height to 9.9 metres to accommodate habitable space for a home office, gym, and washroom while maintaining compatibility with the surrounding built form. | | |
| 12.8 | Does the zoning amendment alter the boundaries of an existing area of settlement or require a new area of settlement to be implemented? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If the answer to 12.8 is yes, provide the current Official Plan policies if any dealing with the alteration or establishment of an area of settlement: | | |
| (The amendment does not affect settlement area boundaries; it applies only to site-specific zoning relief.) | | |
| 12.9 | Does the zoning amendment remove land from an area of employment? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If the answer to section 12.9 is yes, provide the current Official Plan policies, if any, dealing with the removal of land from an area of employment: | | |
| (The property is designated for residential use, and the amendment does not involve removing land from an employment area.) | | |
| 12.10 | Are the lands subject to zoning with conditions? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If the answer to Section 12.10 is yes, provide an explanation of how the proposed amendment complies with the Official Plan policy relating to the zoning with conditions: | | |
| (There are no existing zoning conditions that impact the proposed amendment.) | | |

| | | |
|--|---|---|
| 12.11 | Would this request permit development on a privately owned and operated individual or communal septic system more than 4500 litres of effluent per day? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If yes to Section 12.11 The following studies are required: | | |
| (a) | A servicing options report | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| (b) | a hydrogeological report | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| 12.12 | Name(s) and address(es) of the holders of any mortgages, charges, and other encumbrances of the property. | |
| | | |
| 12.13 | What is your proposed strategy for consulting with the public? | |
| <p>The public consultation strategy will follow the Township's statutory requirements to ensure transparency and compliance. The Township will provide public notice of the application and schedule a formal public meeting where residents and stakeholders can submit comments. The applicant has pre-consulted with the Township of Leeds and the Thousand Islands and the Cataraqui Region Conservation Authority (CRCA) to ensure that the proposal aligns with municipal and environmental regulations. If needed, residents and stakeholders will have the opportunity to provide input during the public meeting, and any concerns raised will be addressed in accordance with municipal policies.</p> | | |

| | |
|---------------------------------------|---|
| 13.0 OFFICIAL PLAN INFORMATION | |
| 13.1 | Is the Application: |
| | <input checked="" type="checkbox"/> Site Specific <input type="checkbox"/> Applicable to a larger area or the entire Municipality |
| 13.2 | Does the application propose to change, replace, or a policy in the Official Plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| | Is yes, what is the policy to be changed, replaced or deleted? |
| | N/A |
| 13.3 | Does the application propose to add a policy to the Official Plan <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| 13.4 | What is the purpose of the requested amendment? |
| | The proposed Zoning By-law Amendment (ZBLA) seeks site-specific relief to permit modifications to existing structures and introduce new site elements, including: Expansion of the detached garage to include habitable space for a home office, gym, and washroom. Increase in the maximum permitted height of the garage from 7.0 metres to 9.9 metres. Formal recognition of a gatehouse (refuse storage shed) as an accessory structure. The amendment ensures compliance with zoning and conservation authority regulations while enhancing the property's functionality. |
| 13.5 | What is the designation of the subject lands according to the Official Plan of the United Counties of Leeds and Grenville and explain how the proposed amendment conforms with it: |
| | The property is designated Rural Lands and partially within a Provincially Significant Wetland (PSW) under the United Counties of Leeds and Grenville Official Plan. The proposed amendment conforms with the Official Plan by: Respecting natural heritage protection policies through maintaining a 30-metre buffer from the PSW. Complying with hazard mitigation guidelines by modifying development to align with floodplain and erosion hazard regulations. Ensuring land use compatibility with existing residential and recreational waterfront uses. |
| 13.6 | What is the current designation of the subject land in the Township Official Plan and what land uses does the designation authorize? |
| | The property is designated Rural and partially within an Environmental Protection Area in the Township of Leeds and the Thousand Islands Official Plan. The Rural designation permits: Residential uses, Home-based businesses, Resource-based recreational uses. The Environmental Protection Area applies to the Ivy Lea Complex PSW, requiring a 30-metre setback for new development. The proposed ZBLA ensures compliance with these environmental policies. |
| 13.7 | Does the requested amendment propose to change or replace a designation of a parcel of land in the Official Plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| | If yes, what is the proposed designation? |
| | N/A |

13.8 What are the land uses that the requested official plan amendment would authorize?

N/A

13.9 Would this request permit development on a privately owned and operated individual or communal septic system more than 4500 litres of effluent per day? ☐ Yes ☒ No

If yes to Section 13.9 The following studies are required: Submitted

(a) A servicing options report ☐ Yes ☐ No

(b) a hydrogeological report ☐ Yes ☐ No

13.10 Please indicate whether this land, or land within 120 metres of it, is the subject of an application by the applicant under the act for:

| | Subject Lands | | | Adjacent Lands | | |
|----------------------------|-------------------------------------|-------------------------------------|----------|--------------------------|-------------------------------------|----------|
| | Yes | No | File No. | Yes | No | File No. |
| Other Applications | | | | | | |
| Minor Variance | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| Consent | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| Amendment to Official Plan | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| Amendment to Zoning By-Law | <input checked="" type="checkbox"/> | <input type="checkbox"/> | | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| Minster's Zoning Order | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| Plan of Subdivision | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| Site Plan | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| Other Applications: | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |

If yes has been answered one or more times, please specify the following on a separate page:

- 1) the lands affected
- 2) the name of the approval authority considering it
- 3) The purpose of the application
- 4) the status of the application
- 5) effect of the application

Is the separate page attached? ☒ Yes ☐ No ☐ Not Applicable

13.11 If a policy in the official plan is being changed, replaced or deleted or if a policy is being added, indicate the proposed text of the requested amendment or attach a draft of the amendment.

The requested Zoning By-law Amendment (ZBLA) does not propose any changes to the Official Plan but instead seeks site-specific relief to accommodate modifications to the property. The amendment includes the expansion of the detached garage to incorporate habitable space for a home office, gym, and washroom, as well as an increase in the maximum accessory building height from 7.0 metres to 9.9 metres. Additionally, it aims to formally recognize a gatehouse as an accessory structure for refuse and parcel storage. A draft of the requested amendment is attached for review.

| | |
|--------------|---|
| 13.12 | If the requested amendment changes or replaces a schedule in the official plan, indicate the requested schedule and text that accompanies it: |
| | The requested amendment does not propose to change or replace any schedule in the Official Plan. The application seeks site-specific relief under the existing land use designation to allow modifications to the detached garage and formal recognition of a gatehouse. |
| | |
| | |
| 13.13 | If the requested amendment alters all or any part of the boundary of an area of settlement or establishes a new area of settlement, indicate the current official plan policies, dealing with the alteration or establishment of an area of settlement: |
| | The requested amendment does not alter the boundary of an existing settlement area, nor does it propose to establish a new area of settlement. The property remains designated as Rural Lands and Environmental Protection Area, with site-specific zoning relief requested for residential improvements. |
| | |
| 13.14 | If the requested amendment removes the subject land from an area of employment, indicate the current official plan policies dealing with the removal of land from an area of employment: |
| | The proposed amendment does not remove land from an area of employment. The subject property is designated for residential and recreational uses, and the requested site-specific amendment maintains compatibility with existing land use policies. |
| 13.15 | Is the requested amendment consistent with the Provincial Policy Statement (PPS)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |
| | If yes, explain how the requested amendment is consistent with the PPS: |
| | The requested amendment is consistent with the Provincial Policy Statement (PPS), 2024, as it protects natural heritage by maintaining a 30-metre setback from the Provincially Significant Wetland (PSW) and ensuring no negative ecological impact. It mitigates flood risks in accordance with PPS Section 5.2 (Natural Hazards) by ensuring development does not encroach upon the regulatory floodplain and complies with CRCA regulations. The amendment promotes efficient land use by utilizing existing private water and septic services, reducing infrastructure demands (PPS Section 3.1), while maintaining land use compatibility by preserving the residential character and ensuring improvements align with surrounding properties. |
| 13.16 | What is the proposed strategy for consulting with the public? |
| | The public consultation strategy will follow the Township of Leeds and the Thousand Islands' requirements, including public notice and a formal public meeting. The Township will notify residents and stakeholders, providing an opportunity for feedback. The applicant has engaged in pre-consultation with the Township and the Cataraqui Region Conservation Authority (CRCA) to ensure compliance with planning and environmental regulations. Any concerns raised during the public consultation process will be addressed in alignment with municipal policies. |

14. AUTHORIZATION & PERMISSION TO ENTER

All Registered Owner(s) must complete the following to authorize the applicant/agent to make the application on their behalf (if Owner NOT the applicant) and/or to permit Council, Committees of Council, Township Staff or authorized agents to enter the subject property to conduct site inspections related to this application. If multiple owners, an authorization letter from each owner is required.

I/We Michael Tippin and Anne Tippin,
(name(s) of owner(s) or company)

being the registered owner(s) of the subject property of this application:

- ☒ Hereby authorize the following person(s) to act as our agent to prepare, submit the application and pay any associated fees on my/our behalf (if applicable):

Nijo Mathew EFI Engineering
(Name of Applicant(s)/Authorized Agent(s))

- ☒ Hereby authorize Council, Committees of Council, and Township Staff or authorized agents to enter the subject property without notice to conduct site inspections related to this application.
- ☒ Agree to ensure that any driveway/lanes are accessible during the circulation period of the application so that Committee members, Township staff and other agencies do not have any barriers blocking access to the subject land. Island properties will require a boat ride, which is to be provided by the owner/agent. If applicable, Township Staff will make arrangements for the most suitable date and time.
- ☒ Agree to post any required signage on site, which is prepared by Township Staff, with respect to this application in the requested timeframe of the Planning Act and upon notification by Township Staff. I/We also agree to provide photographic evidence of the posted sign at the request of Township Staff.
- ☒ Agree to stake the area of any proposed construction a minimum of 15 days prior to the meeting date of your application.
- ☒ Have included the written approval of all surveyors, designers, etc. that designed any documents, plot plans etc. to allow the Township to use their plan(s) in the notice or hearing and other documents which are viewable by the public.
- ☒ Hereby acknowledge and provide my consent, in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, that the information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Signature(s): [Signature]

Date: March 07, 2025

15. AGREEMENT TO INDEMNIFY & STATUTORY DECLARATIONI/We, Nigel Mathew
(name of owner, applicant or authorized agent)Of the Township of Leeds and the Thousand Islands
(name of Municipality)In the County of Leeds and Grenville
(name of County)

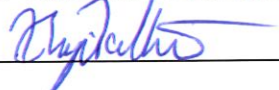
Hereby agree to indemnify and save harmless The Corporation of the Township of Leeds and Thousand Islands (the "Municipality") from all costs and expenses that the Municipality may incur in connection with the processing of the applicant's application for approval under the Planning Act.

Without limiting the foregoing, such costs and expenses will include all legal, engineering, planning, advertising and consulting fees and charges incurred or payable by the Municipality to process the application together with all costs and expenses arising from or incurred in connection with the Municipality being required, or requested by the applicant, to appear at the hearing of any appeal to the Local Planning Appeal Tribunal from any decision of the Council approving the applicant's application.

I/We acknowledge and agree that if any amount owing to the Municipality in respect of the application is not paid when due, the Municipality will not be required to process or to continue processing the application, or to appear before the Local Planning Appeal Tribunal in support of a decision approving the application until the amount has been paid in full.

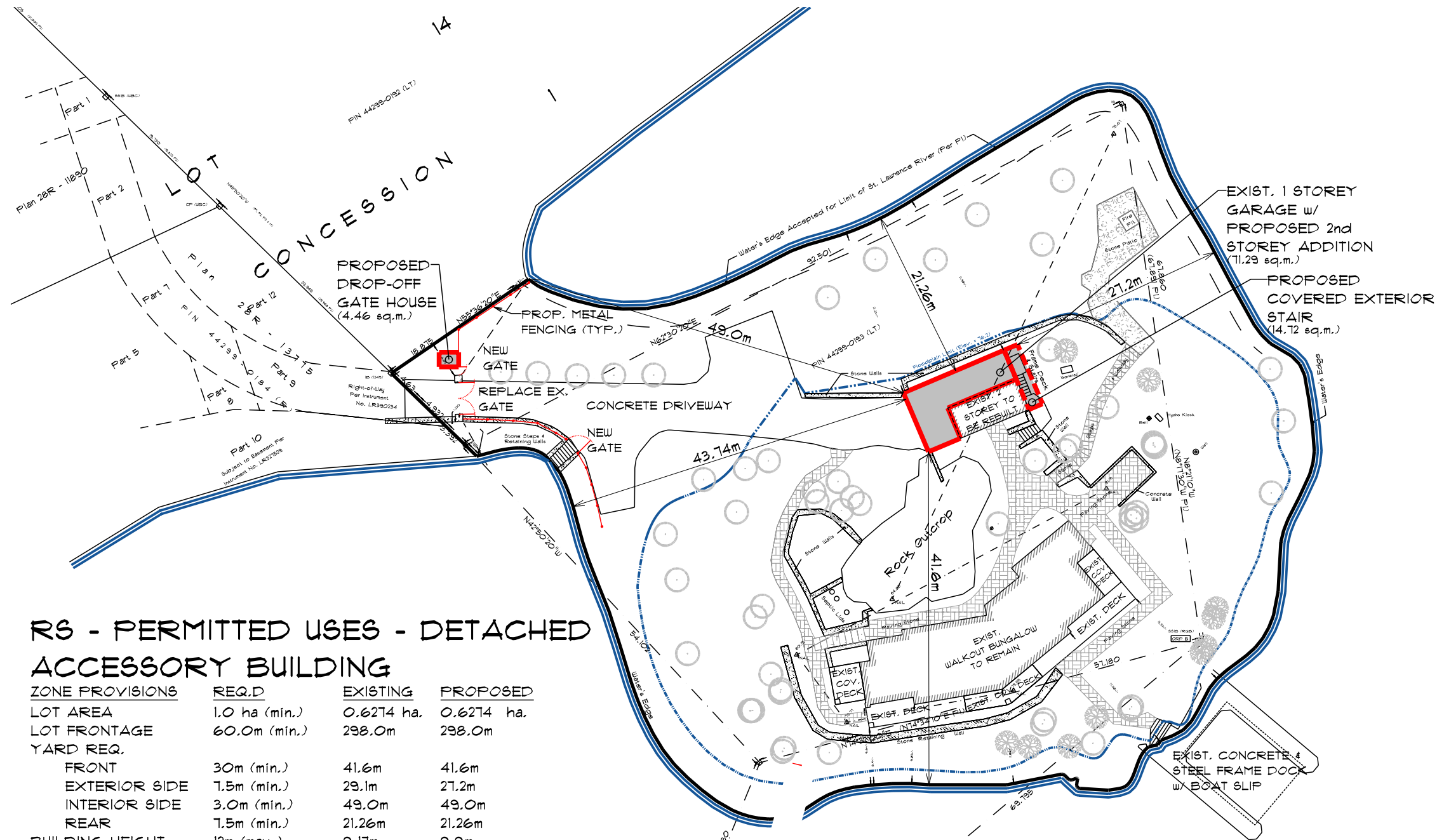
I/We further acknowledge and agree that any amount owing by the applicant to the Municipality is, when due, a debt of the applicant and the Municipality may, in addition to any other remedies available to it at law, recover the amount owing together with interest from the applicant by action.

I/We solemnly declare that all of the above statements contained herein and all exhibits transmitted herewith including this application and any required document attached hereto are true, and I/We make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Signature(s): Declared before me at the: Township of Leeds & the 1000 Islands
(name of municipality)in the United Counties of Leeds & Grenville
(name of County)This 7th day of March, 2025.
Signature of Commissioner of Oaths, etc.

Michelle K. Hannah,
a Commissioner for Taking Oaths,
Clerk, The Corporation of the Township
of Leeds and the Thousand Islands,
Section 1 (2) (1). R.S.O. 1990 c.C17.

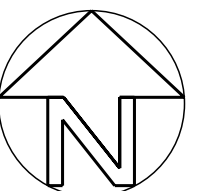
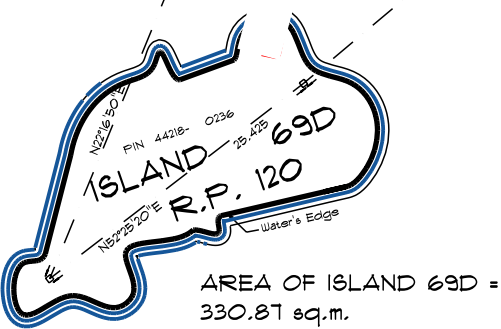
(Official Stamp of Commissioner of Oaths)



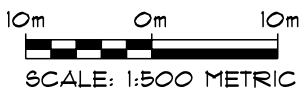
RS - PERMITTED USES - DETACHED ACCESSORY BUILDING

| ZONE PROVISIONS | REQ.D | EXISTING | PROPOSED |
|----------------------------|---------------|--------------|-------------|
| LOT AREA | 1.0 ha (min.) | 0.6274 ha. | 0.6274 ha. |
| LOT FRONTAGE | 60.0m (min.) | 298.0m | 298.0m |
| YARD REQ. | | | |
| FRONT | 30m (min.) | 41.6m | 41.6m |
| EXTERIOR SIDE | 7.5m (min.) | 29.1m | 27.2m |
| INTERIOR SIDE | 3.0m (min.) | 49.0m | 49.0m |
| REAR | 7.5m (min.) | 21.26m | 21.26m |
| BUILDING HEIGHT | 12m (max.) | 9.17m | 9.9m |
| LOT COVERAGE | 10% (max.) | 7.13% | 7.43% |
| DWELLINGS PER LOT | 1 (max.) | 1 | 1 |
| EXIST. DWELLING | | 337.88 sq.m. | |
| EXIST. GARAGE | | 109.53 sq.m. | |
| PROP. GARAGE 2nd FLOOR | | | 71.29 sq.m. |
| PROP. GARAGE COVERED STAIR | | | 14.72 sq.m. |
| PROP. GATE HOUSE | | | 4.46 sq.m. |

- DENOTES = PROPOSED STRUCTURE
- DENOTES = WATERS EDGE
- DENOTES = FLOOD PLAIN ELEV. LINE



NOTE:
THIS SITE PLAN IS NOT A LEGAL SURVEY
ALL BOUNDARY INFORMATION TAKEN
FROM HOPKINS CHITTY LAND
SURVEYORS INC FILE NO. 2024-0547
DATED DEC. 18, 2024



SKETCH SITE PLAN
SCALE: 1:600

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These plans form the basis for permit issuance and any deviations from these plans and details, including the ventilation system, heating system, woodstove, fireplaces, decks, balconies and finished basements, will require a revised drawing and clearance by the Building Department.
Engineered floor system and engineered truss system designed by others and not by designer. These systems are exempt as permitted in the OBC 3.2.5.1 (3)(h)
The undersigned has reviewed this design, has qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
REGISTRATION INFORMATION:
Anthony Wielemaker:
Individual BCIN# 28341
Seaway Design Group:
Firm BCIN# 116151

REVISIONS:

| | |
|----|---------------------------|
| 1. | 25/01/09 FOR FINAL REVIEW |
| 2. | 25/02/07 REMOVED CARPORT |
| | |
| | |
| | |

RESIDENCE FOR
TIPPIN
RESIDENCE
91 SHIPMAN LANE
PROJECT TITLE
PROPOSED WALKOUT BUNGALOW
DRAWING TITLE
SKETCH SITE PLAN

| | |
|-------------------------------------|---------------------|
| DATE:
JAN. 2025 | SCALE:
AS SHOWN |
| DRAWN BY:
W.D. | APPROVED:
A.M.W. |
| PROJECT No.:
24-Tippin Residence | |

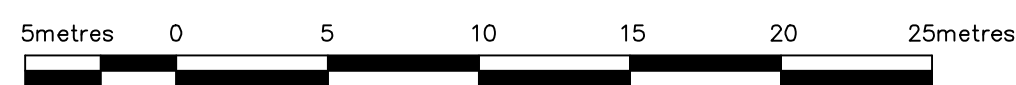
SEAWAY DESIGN GROUP

S1

March 3, 2025

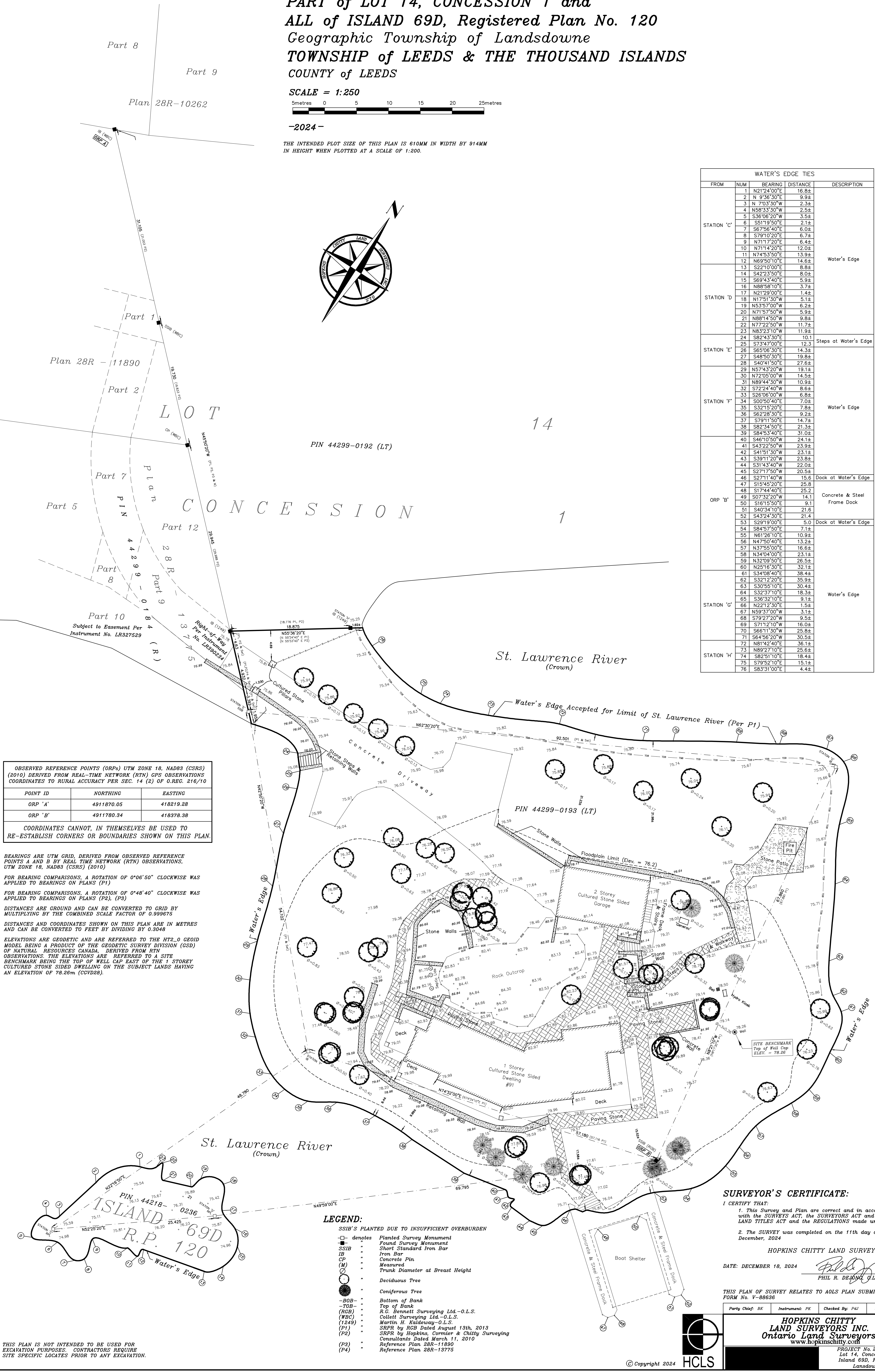
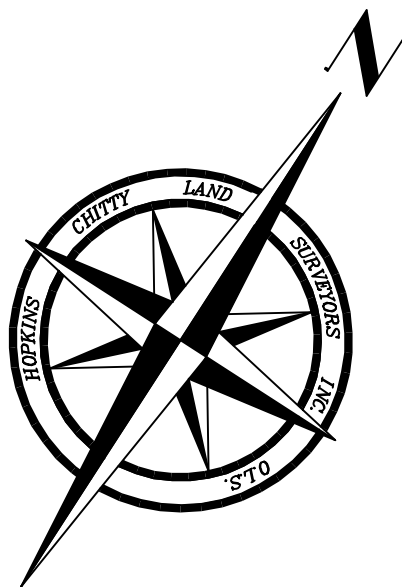
PLAN of SURVEY (Illustrating Topographic Data)
PART of LOT 14, CONCESSION 1 and
ALL of ISLAND 69D, Registered Plan No. 120
Geographic Township of Landsdowne
TOWNSHIP of LEEDS & THE THOUSAND ISLANDS
COUNTY of LEEDS

SCALE = 1:250



-2024-

THE INTENDED PLOT SIZE OF THIS PLAN IS 610MM IN WIDTH BY 914MM
IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:200.



| WATER'S EDGE TIES | | | |
|-------------------|-----|-------------|----------|
| FROM | NUM | BEARING | DISTANCE |
| STATION 'C' | 1 | N21°24'00"E | 16.8± |
| | 2 | N 9°36'30"E | 9.9± |
| | 3 | N 7°03'30"W | 2.3± |
| | 4 | N58°33'30"W | 2.5± |
| | 5 | S36°06'20"W | 3.5± |
| | 6 | S51°19'50"E | 2.1± |
| | 7 | S67°56'40"E | 6.0± |
| | 8 | S79°10'20"E | 6.7± |
| | 9 | N71°17'20"E | 6.4± |
| | 10 | N71°14'20"E | 12.0± |
| | 11 | N74°53'50"E | 13.9± |
| | 12 | N69°50'10"E | 14.6± |
| STATION 'D' | 13 | S22°10'00"E | 8.8± |
| | 14 | S42°23'50"E | 8.0± |
| | 15 | S69°43'40"E | 5.9± |
| | 16 | N88°58'10"E | 3.7± |
| | 17 | N21°29'00"E | 1.4± |
| | 18 | N17°51'30"W | 5.1± |
| | 19 | N53°57'00"W | 6.2± |
| | 20 | N71°57'50"W | 5.9± |
| | 21 | N88°14'50"W | 9.8± |
| | 22 | N77°22'50"W | 11.7± |
| | 23 | N83°23'10"W | 11.9± |
| | 24 | S82°43'30"E | 10.1 |
| STATION 'E' | 25 | S73°47'00"E | 12.3 |
| | 26 | S65°06'30"E | 14.3± |
| | 27 | S48°50'30"E | 19.8± |
| | 28 | S40°41'50"E | 27.6± |
| | 29 | N57°43'20"W | 19.1± |
| | 30 | N72°05'00"W | 14.5± |
| | 31 | N89°44'30"W | 10.9± |
| | 32 | S72°24'40"W | 8.6± |
| | 33 | S26°06'00"W | 6.8± |
| | 34 | S00°50'40"E | 7.0± |
| | 35 | S32°15'20"E | 7.8± |
| | 36 | S62°28'30"E | 9.2± |
| STATION 'F' | 37 | S79°11'50"E | 14.7± |
| | 38 | S82°34'50"E | 21.3± |
| | 39 | S84°53'40"E | 31.0± |
| | 40 | S46°10'50"W | 24.1± |
| | 41 | S43°22'50"W | 23.9± |
| | 42 | S41°51'30"W | 23.1± |
| | 43 | S39°11'20"W | 23.8± |
| | 44 | S31°43'40"W | 22.0± |
| | 45 | S27°17'50"W | 20.5± |
| | 46 | S27°11'40"W | 15.6 |
| | 47 | S15°45'20"E | 25.8 |
| | 48 | S17°44'40"E | 25.2 |
| ORP 'B' | 49 | S07°32'20"W | 14.1 |
| | 50 | S16°15'50"E | 9.1 |
| | 51 | S40°34'10"E | 21.6 |
| | 52 | S43°24'30"E | 21.4 |
| | 53 | S29°19'00"E | 5.0 |
| | 54 | S84°57'50"E | 7.1± |
| | 55 | N61°26'10"E | 10.9± |
| | 56 | N47°50'40"E | 13.2± |
| | 57 | N37°55'00"E | 16.6± |
| | 58 | N34°04'00"E | 23.1± |
| | 59 | N32°09'50"E | 26.5± |
| | 60 | N25°16'30"E | 32.1± |
| STATION 'G' | 61 | S34°08'40"E | 38.4± |
| | 62 | S32°12'20"E | 35.9± |
| | 63 | S30°55'10"E | 30.4± |
| | 64 | S32°37'10"E | 18.3± |
| | 65 | S36°32'10"E | 9.1± |
| | 66 | N22°12'30"E | 1.5± |
| | 67 | N59°37'00"W | 3.1± |
| | 68 | S79°27'20"W | 9.5± |
| | 69 | S71°12'10"W | 16.0± |
| | 70 | S66°11'30"W | 25.8± |
| | 71 | S64°56'20"W | 30.5± |
| | 72 | N81°42'40"E | 36.1± |
| STATION 'H' | 73 | N89°27'10"E | 25.6± |
| | 74 | S82°51'10"E | 18.4± |
| | 75 | S79°52'10"E | 15.1± |
| | 76 | S83°31'00"E | 4.4± |

| OBSERVED REFERENCE POINTS (ORPs) UTM ZONE 18, NAD83 (CSRS)
(2010) DERIVED FROM REAL-TIME NETWORK (RTN) GPS OBSERVATIONS
COORDINATES TO RURAL ACCURACY PER SEC. 14 (2) OF O.REG. 216/10 | | |
|--|------------|-----------|
| POINT ID | NORTHING | EASTING |
| ORP 'A' | 4911870.05 | 418219.28 |
| ORP 'B' | 4911780.34 | 418378.38 |
| COORDINATES CANNOT, IN THEMSELVES BE USED TO
RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN. | | |

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE
POINTS A AND B BY REAL TIME NETWORK (RTN) OBSERVATIONS,
UTM ZONE 18, NAD83 (CSRS) (2010)

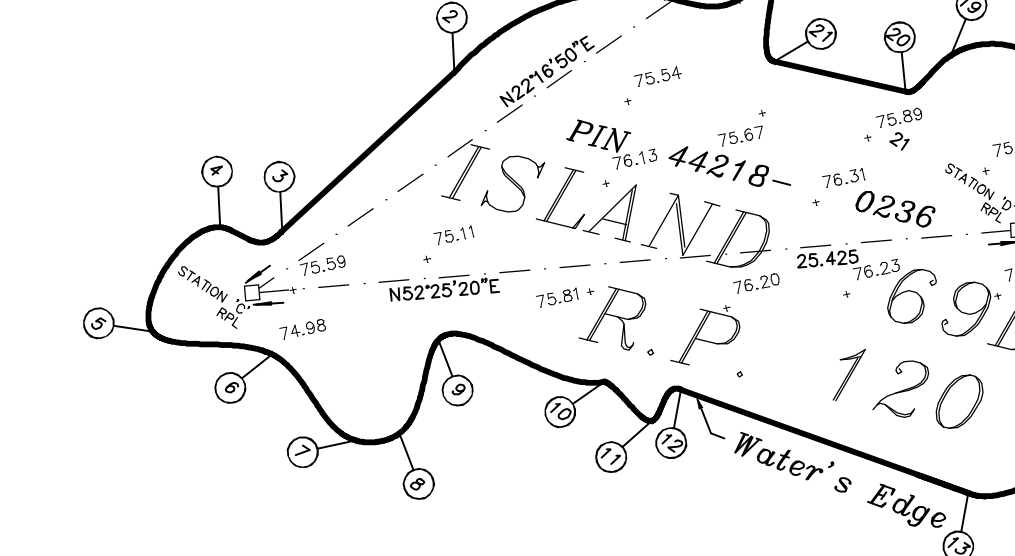
FOR BEARING COMPARISONS, A ROTATION OF 0°06'50" CLOCKWISE WAS
APPLIED TO BEARINGS ON PLANS (P1)

FOR BEARING COMPARISONS, A ROTATION OF 0°48'40" CLOCKWISE WAS
APPLIED TO BEARINGS ON PLANS (P2), (P3)

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY
MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999675

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE HT2.0 GROUND
MODEL BEING A PRODUCT OF THE GEODETIC SURVEY DIVISION (GSD)
OF NATURAL RESOURCES CANADA, DERIVED FROM RTN
OBSERVATIONS. THE ELEVATIONS ARE REFERRED TO A SITE
BENCHMARK BEING THE TOP OF WELL CAP EAST OF THE 1 STOREY
CULTURED STONE SIDED DWELLING ON THE SUBJECT LANDS HAVING
AN ELEVATION OF 76.26m (CCVD28).



THIS PLAN IS NOT INTENDED TO BE USED FOR
EXCAVATION PURPOSES. CONTRACTORS REQUIRE
SITE SPECIFIC LOCATES PRIOR TO ANY EXCAVATION.

- LEGEND:**
- SSIB'S PLANTED DUE TO INSUFFICIENT OVERBURDEN
 - denotes Planted Survey Monument
 - SSIB Found Survey Monument
 - IB Short Standard Iron Bar
 - CP Concrete Pin
 - (M) Measured
 - Trunk Diameter at Breast Height
 - Deciduous Tree
 - Coniferous Tree
 - BOB- Bottom of Bank
 - TOB- Top of Bank
 - (RGB) R.G. Bennett Surveying Ltd.-O.L.S.
 - (WBC) Collett Surveying Ltd.-O.L.S.
 - (1249) Martin H. Kaldeyway-O.L.S.
 - (P1) SRPR by RGB Dated August 13th, 2013
 - (P2) SRPR by Hopkins, Cormier & Chitty Surveying Consultants Dated March 17, 2010
 - (P3) Reference Plan 28R-11890
 - (P4) Reference Plan 28R-13775

SURVEYOR'S CERTIFICATE:

I CERTIFY THAT:

1. This Survey and Plan are correct and in accordance with the SURVEYS ACT, the SURVEYORS ACT and the LAND TITLES ACT and the REGULATIONS made under them.

2. The SURVEY was completed on the 11th day of December, 2024

HOPKINS CHITTY LAND SURVEYORS INC.

DATE: DECEMBER 18, 2024

PHIL R. DEJONG, O.L.S.

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM No. V-88636

Party Chief: BK Instrument: PK Checked By: PdJ Plan By: BV

HOPKINS CHITTY LAND SURVEYORS INC.
Ontario Land Surveyors
www.hopkinschitty.com

PROJECT No. 2024-0547
Lot 14, Concession 1
Island 69D, R.P. 120
Landsdowne



TIPPIN RESIDENCE

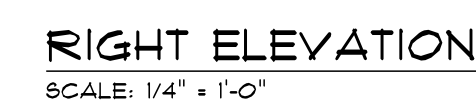
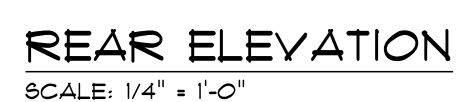
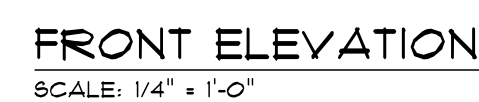
91 SHIPMANS LANE
LANDSDOWNE, ON
K0E 1L0

LIST OF DRAWINGS:

- A0 - TITLE PAGE & 3D VIEWS
- A1 - ELEVATIONS
- A2 - FLOOR PLANS, NOTES
- A3 - TYP. CROSS SECTION, DETAILS



TIPPIN RESIDENCE



DRIVEWAY

GARAGE FLOOR PLAN
SCALE: 1/4" = 1'-0"

GARAGE SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

6B-12 ENERGY EFFICIENCY
COMPLIANCE PACKAGE - ADDITIONS ZONE 1

| Component | Compliance Packages Additions Zone 1 (min) | Values Spec'd | Material Spec |
|---|--|------------------------|-------------------|
| Ceiling with Attic Space Minimum RSI (R)-Value | 10.56 (R60) | 10.56 (R60) | See Typ. Sections |
| Ceiling Without Attic Space Minimum RSI (R)-Value | 5.46 (R31) | 5.46 (R31) | See Typ. Sections |
| Exposed Floor Minimum RSI (R)-Value | 5.46 (R31) | 5.46 (R31) | N/A |
| Walls Above Grade Minimum RSI (R)-Value | 3.34+0.88ci (R19+5ci) | 3.52+0.88ci (R20+5ci) | See Typ. Sections |
| Basement Walls Minimum RSI (R)-Value | 3.52ci (R20ci) | 2.11+1.76ci (R12+10ci) | N/A |
| Below Grade Slab Entire Surface | N/A | N/A | N/A |
| 600 mm below grade Minimum RSI (R)-Value | N/A | N/A | N/A |
| Edge of Below Grade Slab | N/A | N/A | N/A |
| 600 mm Below Grade Minimum RSI (R)-Value | 1.76 (R10) | 1.76 (R10) | See Typ. Sections |
| Heated Slab or Slab | N/A | N/A | N/A |
| 600 mm below grade Minimum RSI (R)-Value | N/A | N/A | N/A |
| Windows and Sliding Glass Doors Maximum U-Value | 1.6 (U28) | 1.6 (U28) | T.B.D. |
| Skylights Maximum U-Value | N/A | N/A | N/A |
| Space Heating Equipment Minimum AFUE | N/A | N/A | N/A |
| HRV Minimum Efficiency | N/A | N/A | N/A |
| Domestic Hot Water Heater Minimum EF | N/A | N/A | N/A |

NOTE: (1) BUILDING INSPECTOR TO BE SUPPLIED WITH DOCUMENTATION OF EFFICIENCY EQUIVALENCY IF MANUFACTURER 4 OR MODELS ARE SUBSTITUTED, MUNICIPALITY MAY REQUIRE REVISED DRAWINGS.

GENERAL NOTES:

FRAMING NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.
2. ALL WORK TO BE DONE IN ACCORDANCE w/ THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
3. WHERE NOT NOTED ON DRAWINGS, SPACING OF FRAMING MEMBERS TO BE TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
4. ALL WOOD FRAMING TO BE MIN. No. 2 SPRUCE.
5. ANY POINT LOADS ON BEAMS OR LINTELS INDICATED ON PLAN TO BE CONFIRMED BY ENGINEER.
6. FLOOR JOIST MANUFACTURER TO PROVIDE FLOOR JOIST FRAMING PLAN 4 ALL SPECIFICATIONS FOR REVIEW BY BUILDING OFFICIAL.
7. FLOOR JOIST MANUFACTURER TO PROVIDE ALL RATED HANGERS AS REQUIRED.
8. ROOF TRUSS MANUFACTURER TO PROVIDE ROOF TRUSS LAYOUT PLAN 4 SHOP DRAWINGS w/ STAMP OF STRUCTURAL ENGINEER LICENSED IN ONTARIO.
9. ROOF TRUSS MANUFACTURER TO PROVIDE ALL REQUIRED RATED HANGERS.
10. ALL EXTERIOR WALL LINTELS TO BE 2"x10" UNLESS OTHERWISE NOTED ON PLAN.
11. WINDOW MANUFACTURER TO PROVIDE ALL ROUGH FRAME OPENING SIZES.
12. ALL BEAMS TO BE UNDER FLOOR CONSTRUCTION UNLESS NOTED OTHERWISE.
13. PRIME 4 PAINT ALL EXPOSED STEEL BEAMS LINTELS 4 COLUMNS.
14. STEEL TIMBER 4 BUILT UP TIMBER COLUMNS FROM ALL LEVELS TO BE CARRIED DOWN TO THE FOUNDATION or TO SUPPORTING BEAMS, SOLID BLOCKING TO BE PROVIDED WHERE REQUIRED.
15. NAILING OF BUILT UP WOOD COLUMNS TO BE AS PER O.B.C. 9.17.4.2.
16. ALL INTERIOR PARTITIONS TO BE 2"x4" OR 2"x6" STUDS 4 16"o.c. w/ 1/2" GYPSUM BOARD BOTH SIDES UNLESS OTHERWISE NOTED.
17. ALL RAILINGS SHOWN SHALL INCLUDE GUARDS CONFORMING TO O.B.C. 9.8.8. 4 9B-7.
18. SUBFLOOR TO BE 3/4" T&G OSB GLUED 4 NAILED MIN.

MECHANICAL NOTES:

1. CONTRACTOR TO PROVIDE HEATING 4 MECHANICAL VENTILATION SPECIFICATIONS.
2. MECHANICAL VENTILATION REQUIRED TO CONFORM TO O.B.C. 9.32. w/ ALL MECHANICAL VENTS TO EXHAUST OUTSIDE.
3. ALL ATTIC SPACES TO BE PROVIDED WITH UNOBSTRUCTED VENT AREA NOT LESS 1/300 of the INSULATED CEILING AREA w/ NOT LESS THEN 25% OF THIS AREA 4 THE BOTTOM of the SPACE.
4. ALL POLY VAPOUR/MOISTURE BARRIER TO CONFORM TO O.B.C. 9.25.3 OR O.B.C. 9.25.4. 4 SUPPLEMENTARY STANDARD 9B-12. CAULK 4 SEAL ALL JOINTS w/ 4" MIN. LAP 4 JOINTS.
5. AN AIR BARRIER SYSTEM CONFORMING TO O.B.C. 9.25.3 TO BE INSTALLED IN BETWEEN GARAGE 4 THE REMAINDER OF THE BUILDING PROVIDING AN EFFECTIVE BARRIER TO GAS 4 EXHAUST FUMES.
6. CAULK ALL PERIMETERS, INSIDE 4 OUTSIDE OF ALL EXTERIOR DOORS 4 WINDOWS.
7. FLASHING TO BE INSTALLED AT EVERY HORIZONTAL JUNCTION OF CLADDING. EVERY HORIZONTAL OFFSET IN THE CLADDING 4 EVERY HORIZONTAL LINE WHERE THE CLADDING SUBSTRATE CHANGES 4 CONCENTRATED CAN OCCUR or THE SUBSTRATE MAY COMPROMISE THE DRAINAGE OF MOISTURE.
8. PROVIDE VALLEY FLASHING 4 ROOF PITCH INTERSECTIONS AS PER O.B.C. 9.26.4.3
9. PROVIDE FLASHING 4 ALL INTERSECTIONS OF ROOF 4 WALLS AS PER O.B.C. 9.26.4

FOUNDATION NOTES:

1. ALL FOOTINGS TO HAVE MIN. 5'-0" OF COVER 4 BEAR ON UNDISTURBED SOIL or SOUND BEDROCK.
2. CONCRETE FOR FOOTINGS TO BE 20 MPa 4 28 DAYS w/ MAX. SLUMP of 3 1/2".
3. CONCRETE FOR FOUNDATION WALLS TO BE 20 MPa 4 28 DAYS w/ MAX. SLUMP of 3 1/2".
4. CONCRETE FOR BASEMENT FLOOR SLAB TO BE 25 MPa 4 28 DAYS w/ MAX. SLUMP of 3 1/2".
5. CONCRETE FOR GARAGE FLOOR 4 PORCHES TO BE 32 MPa 4 28 DAYS w/ AIR CONTENT of 6-8% 4 MAX. SLUMP of 3 1/2".
6. FOUNDATION DRAINAGE AS PER O.B.C. 9.14
7. MAINTAIN EXISTING SITE DRAINAGE AWAY FROM NEW FOUNDATIONS.
8. ASSUMED BEARING PRESSURE of 15kPa TO BE VERIFIED BY GEOTECHNICAL ENGINEER.

AREA STATISTICS:

| | |
|-----------------|-------------|
| BUILDING AREAS: | AREA |
| GARAGE | 1200 sq.ft. |

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Engineered floor system and engineered truss system designed by others and not by designer. These systems are exempt as permitted in the OBC 3.2.5.1 (3)(h).

The undersigned has reviewed this design, has qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

REGISTRATION INFORMATION
Anthony Walewoken Individual ECNR 28341
Seaway Design Group Firm ECNR 116121

REVISIONS:

| I. | 24/10/21 | FOR FINAL REVIEW |
|----|----------|------------------|
| | | |
| | | |
| | | |
| | | |

P. ENG. STAMP:

CONTRACTOR:

REFERENCE FOR:

TIPPIN
RESIDENCE
91 SHIPMANS LANE

PROJECT TITLE:

PROPOSED
GARAGE
RENOVATION

DRAWING TITLE:

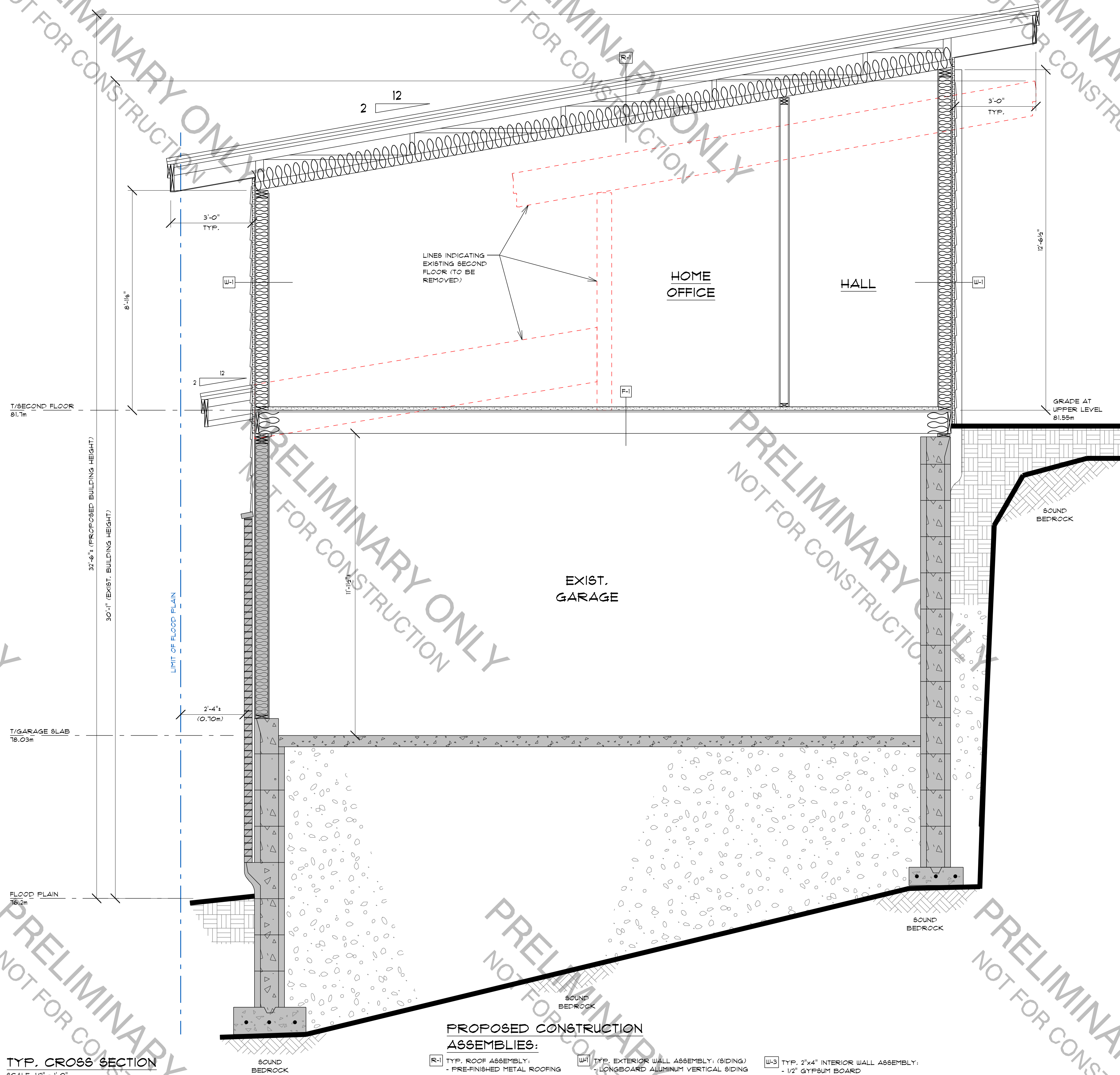
FLOOR PLANS,
NOTES

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| DATE:
OCT. 2024 | SCALE:
AS SHOWN |
| DESIGNED BY:
G.H. | PROJECT NO:
24-Tippin Garage Reno |
| DRAWN BY:
W.D. | APPROVED BY:
A.M.W. |



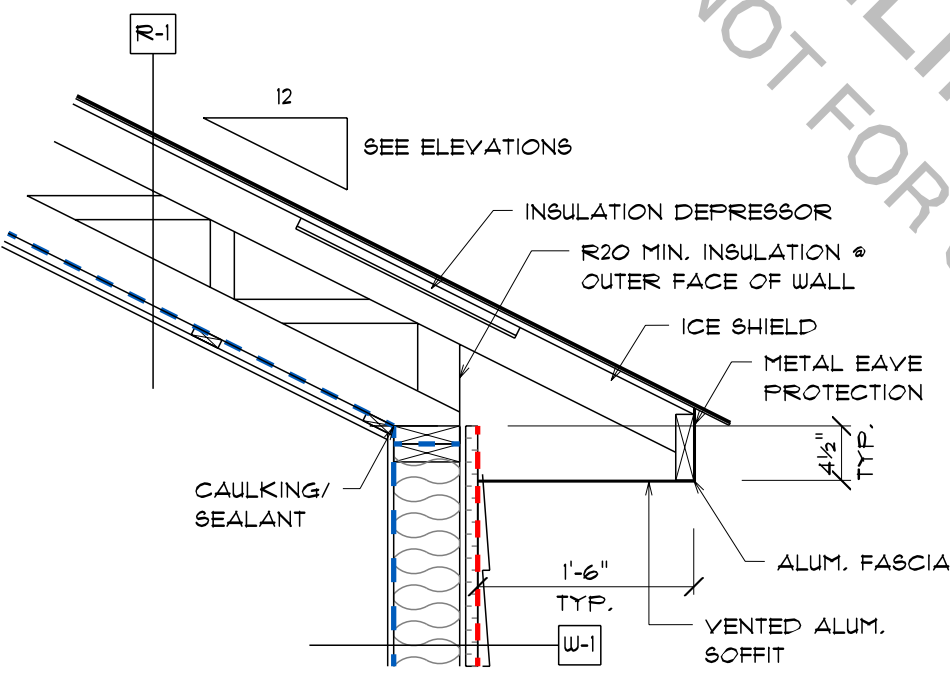


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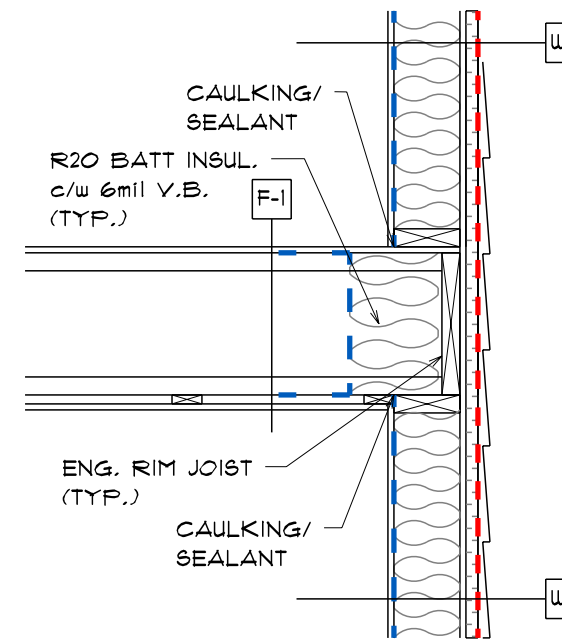


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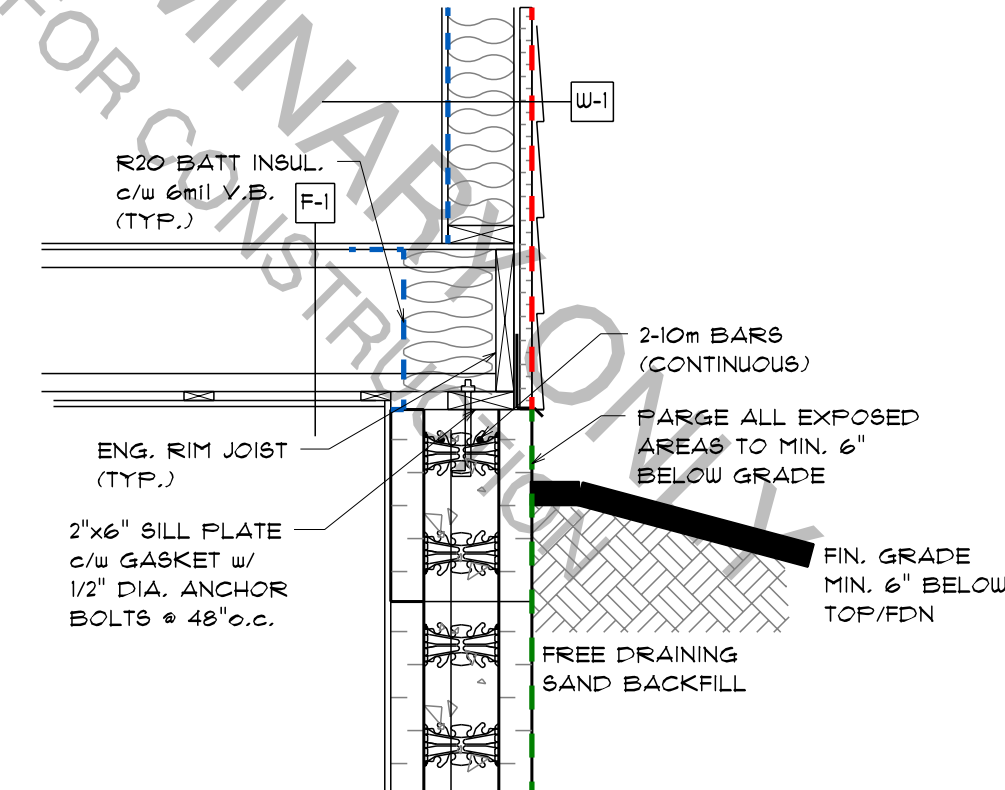
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| <p>[R-1] TYP. ROOF ASSEMBLY:</p> <ul style="list-style-type: none">- PRE-FINISHED METAL ROOFING- STRAPPING AS PER MANU.- ROOFING MEMBRANE- 1/16" OSB SHEATHING c/w H-CLIPS- ENG. SLOPING FLAT ROOF TRUSSES @ 24" o.c. (BY MANU.)- 1"x4" STRAPPING @ 16" o.c.- 1/2" GYPSUM BOARD | <p>[W-1] TYP. EXTERIOR WALL ASSEMBLY: (SIDING)</p> <ul style="list-style-type: none">- LONGBOARD ALUMINUM VERTICAL SIDING- STRAPPING AS PER MANU.- 1" (R5ci) RIGID INSULATION c/w JOINTS TAPED- 1/16" OSB SHEATHING- 2"x6" STUDS @ 16" o.c.- 1/2" GYPSUM BOARD | <p>[W-3] TYP. 2"x4" INTERIOR WALL ASSEMBLY:</p> <ul style="list-style-type: none">- 1/2" GYPSUM BOARD- 2"x4" STUDS @ 16" o.c.- 1/2" GYPSUM BOARD |
| <p>[F-1] TYP. SECOND FLOOR ASSEMBLY:</p> <ul style="list-style-type: none">- FINISHED FLOORING- 1.5" SELF-LEVELLING GYPCRETE- 3/4" OSB SHEATHING- 11 7/8" ENG. FLOOR JOISTS @ 16" o.c.- 1"x4" STRAPPING @ 16" o.c.- 1/2" GYPSUM BOARD | <p>[W-2] TYP. EXTERIOR WALL ASSEMBLY: (MASONRY)</p> <ul style="list-style-type: none">- FULL BED MASONRY- 1" AIR SPACE- 1" (R5ci) RIGID INSULATION c/w JOINTS TAPED- 1/16" OSB SHEATHING- 2"x6" STUDS @ 16" o.c.- 1/2" GYPSUM BOARD | <p>[W-4] TYP. 2"x6" INTERIOR WALL ASSEMBLY:</p> <ul style="list-style-type: none">- 1/2" GYPSUM BOARD- 2"x6" STUDS @ 16" o.c.- 1/2" GYPSUM BOARD |



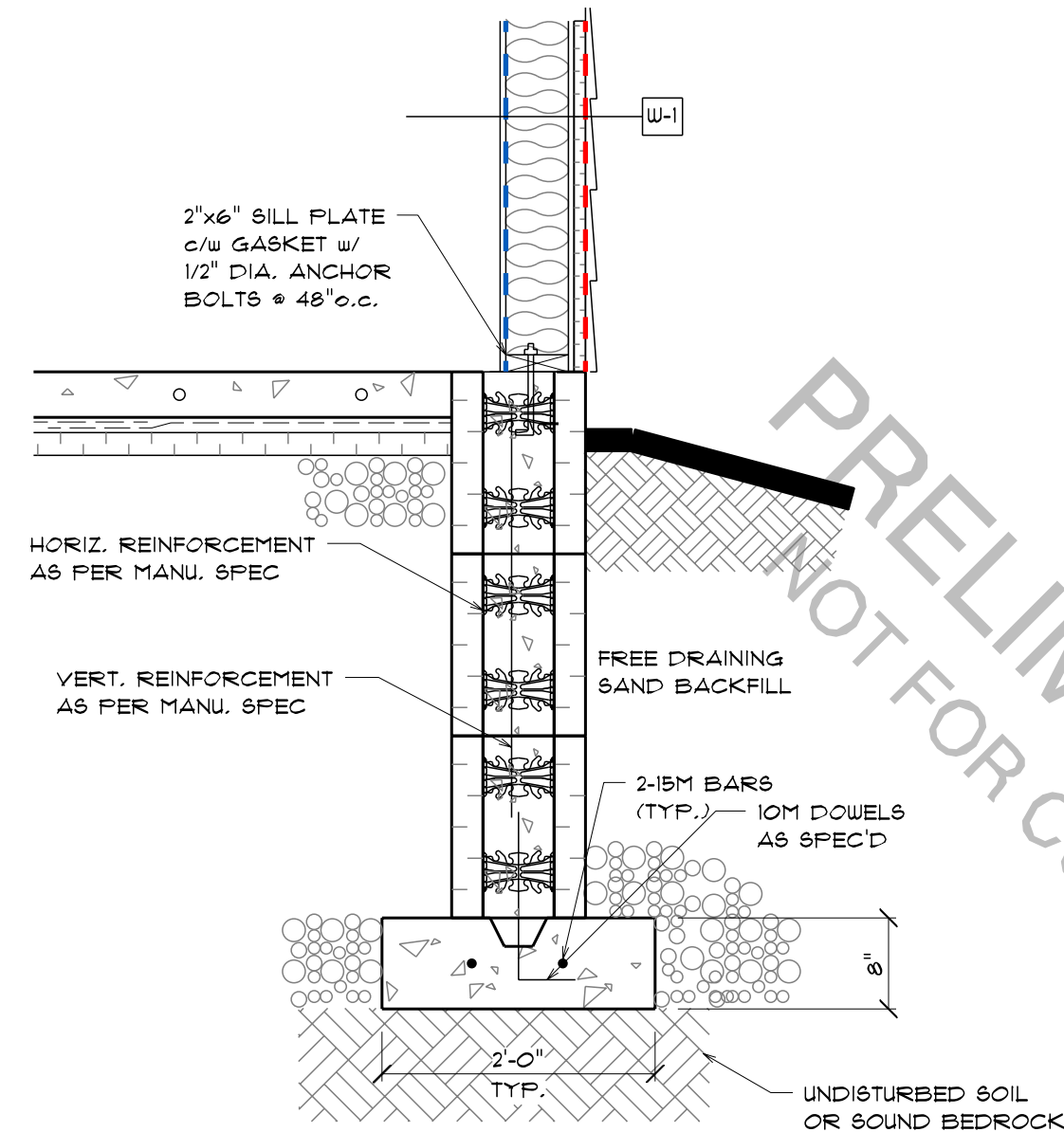
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TYP. WALKOUT FRAMED WALL @
INSULATED FLOOR SECTION: (SIDING)
SCALE: 3/4" = 1'-0"



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TYP. INSULATED WALL @ SLAB FLOOR
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Engineered floor system and engineered truss system designed by others and not by designer. These systems are exempt as permitted in the OBC 3.2.2.1 (3)(h).

The undersigned has reviewed this design, has qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

REGISTRATION INFORMATION
Anthony Wisniewski Individual ECNR 28341
Seaway Design Group Firm ECNR 116121

REVISIONS:

| I. | DATE | FOR |
|----|----------|------------------|
| 1. | 24/10/21 | FOR FINAL REVIEW |
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P. ENG. STAMP:

CONTRACTOR:

REFERENCE FOR:
**TIPPIN
RESIDENCE**
31 SHIPMANS LANE
[Redacted Address]

PROJECT TITLE:
**PROPOSED
GARAGE
RENOVATION**

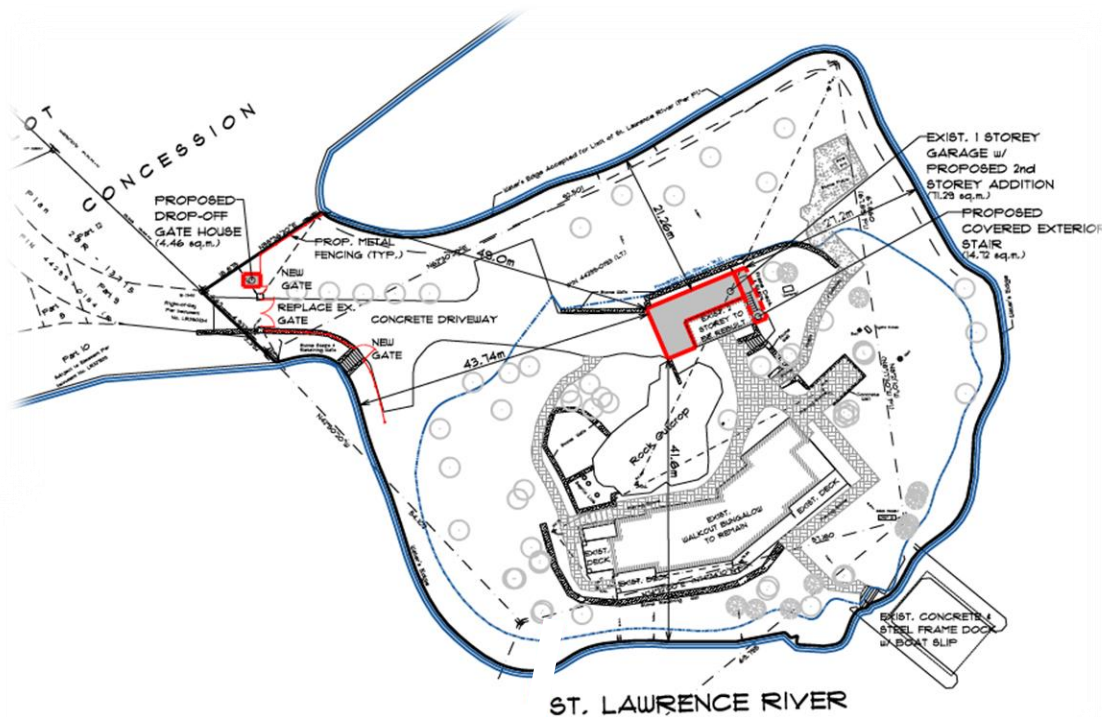
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G.H. | PROJECT NO:
24-Tippin Garage Reno |
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A.M.W. |



91 Shipman's Lane

PLANNING JUSTIFICATION REPORT



EXECUTIVE SUMMARY

EFI Engineering, on behalf of Michael and Anne Tippin, the property owners of 91 Shipman's Lane, has prepared this Planning Justification Report to support a Zoning By-law Amendment (ZBLA) application within the Township of Leeds and the Thousand Islands. The intent of the amendment is to facilitate improvements to the property, enhancing its functionality, usability, and compliance with modern residential needs while ensuring environmental protection and regulatory alignment.

The subject property is a waterfront residential lot along the St. Lawrence River, partially located within a Provincially Significant Wetland (PSW) and a regulated floodplain. Due to these natural heritage constraints, the proposal underwent municipal and conservation authority review and was modified to address environmental concerns and hazard mitigation measures.

The original application proposed a carport addition adjacent to the existing garage. However, during the pre-consultation process, the Cataraqui Region Conservation Authority (CRCA) determined that the proposed carport was not supportable as it was located within the regulatory floodplain, erosion hazard area, and within 30 metres of the Ivy Lea Complex PSW. The proponent has removed the carport from the proposal to align with floodplain regulations and environmental policies, ensuring compliance with zoning and conservation authority requirements.

The ZBLA seeks site-specific amendments to Zoning By-law No. 07-79 to allow:

- Expansion of the detached garage to include habitable space (home office, gym, washroom), requiring zoning relief for the use of an accessory structure for habitation.
- An increase in the maximum permitted height of the garage from 7.0 metres to 9.9 metres.
- Formal recognition of a gatehouse as an accessory structure for waste and parcel storage.

The property owners have engaged in pre-consultation discussions with the Township of Leeds and the Thousand Islands and the Cataraqui Region Conservation Authority (CRCA). Feedback from these agencies has shaped the final proposal, leading to key design adjustments to comply with floodplain regulations, environmental setback requirements, and municipal zoning policies.

The Planning Act, R.S.O. 1990, serves as a guide to navigating land use planning in Ontario, specifically how land uses may be controlled and who may control them. Under this Act, the Ministry of Municipal Affairs and Housing has issued a Provincial Policy Statement that provides policy direction related to growth and development, the use and management of resources, protection of the environment, and public health and safety. This report will analyze how the

proposed ZBLA aligns with provincial, upper-tier, and lower-tier municipal policies as they relate to protecting ecological systems, mitigating environmental risks, and ensuring the orderly development of safe and healthy communities.

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1.0 INTRODUCTION

This Planning Justification Report evaluates the Zoning By-law Amendment (ZBLA) application for the property at 91 Shipman's Lane, within the Township of Leeds and the Thousand Islands. The proposed ZBLA is required to permit modifications to existing structures and introduce new site elements that enhance the property's functionality and usability, while ensuring compliance with applicable provincial, municipal, and conservation authority policies and regulations.

Specifically, the ZBLA seeks the following site-specific amendments to Zoning By-law No. 07-79 (Consolidated 2023):

- Expansion of the existing detached garage to include habitable space for a home office, gym, and washroom, requiring relief from zoning provisions restricting accessory structures from containing habitable space.
- Increase in the maximum permitted height of the accessory garage structure from 7.0 metres to 9.9 metres to accommodate the proposed expansion.
- Formal recognition of a gatehouse (refuse shed) as an accessory structure, providing regulatory clarity for its function as a waste and parcel storage facility.

The subject property is a waterfront residential lot located along the St. Lawrence River within the Thousand Islands Special Policy Area. The site is partially within a Provincially Significant Wetland (PSW) and a regulated floodplain, necessitating careful design considerations to ensure compliance with municipal, regional, and provincial planning policies. Any future development must carefully navigate natural hazard constraints, wetland conservation policies, and floodplain regulations. Consequently, the proposed amendments are designed to balance property improvements with environmental protection, ensuring all modifications align with sound land use planning principles and regulatory requirements.

2.0 SITE CONTEXT AND SURROUNDING AREA

2.1 Site Location and Characteristics

The subject property, 91 Shipman's Lane, is a waterfront residential lot measuring approximately 0.62 ha. It is legally non-conforming regarding the minimum lot area requirement of 1.0 hectares and lies within the Thousand Islands Special Policy Area, a region recognized for its unique environmental and scenic attributes. The property is integrated with key natural heritage features, including the Ivy Lea Complex Provincially Significant Wetland (PSW), and is located within a regulated floodplain, making it subject to specific environmental and hazard

protection policies (see Figure 1). These characteristics not only define the site's development potential but also shape the regulatory framework guiding its use.

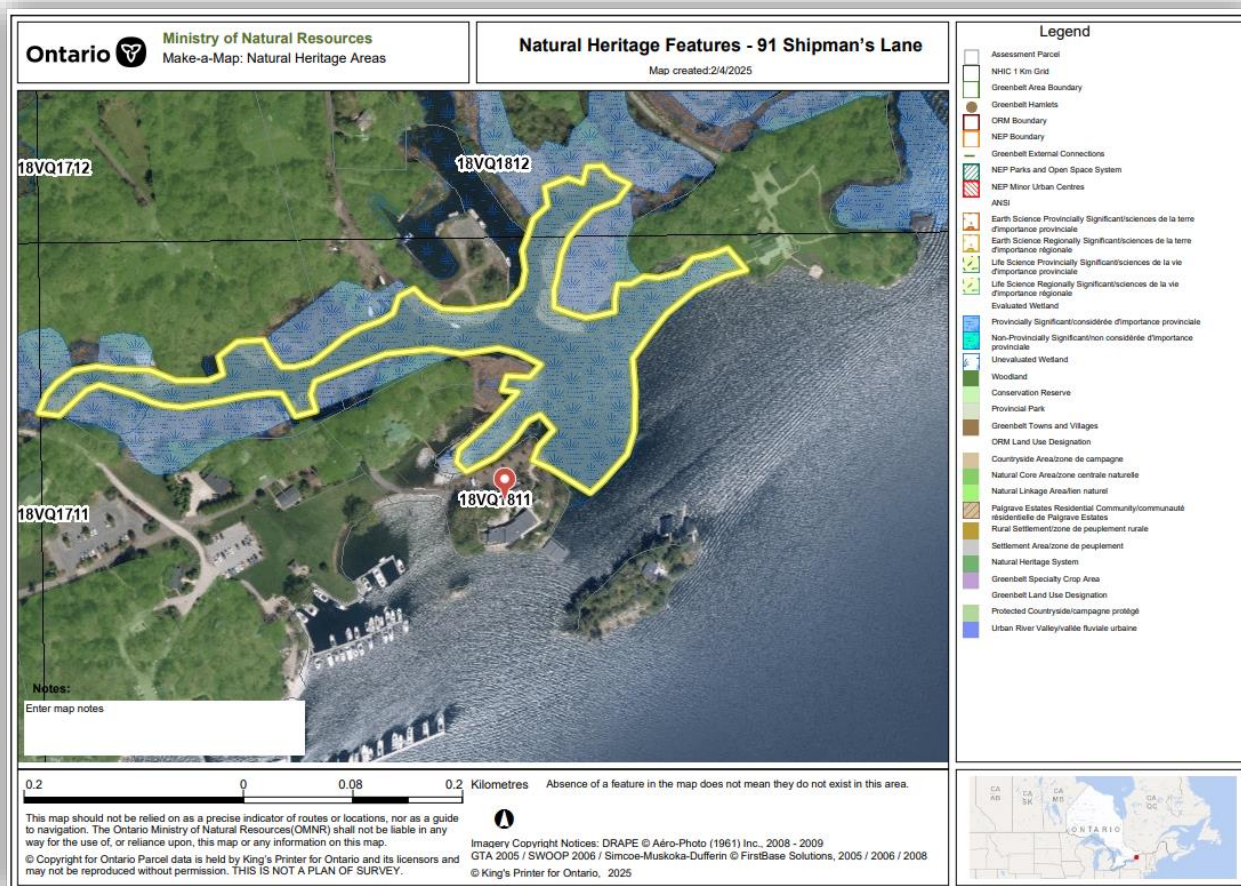


Figure 1: The highlighted areas indicate the extent of the Ivy Lea Complex Provincially Significant Wetland (PSW), demonstrating its ecological sensitivity.

2.2 Existing Conditions and Development Constraints

The property features a one-story detached dwelling built in 2015, a two-story detached garage, and multiple open and covered decks. The garage measures approximately 132.8 square metres in gross floor area and has a height of 9.17 metres. The dwelling measures approximately 289 square metres in floor area, with a height of 8.0 metres. Additional site features include multiple decks, retaining walls, and natural rock outcrops.

The subject property has a total lot area of 0.6274 hectares (1.55 acres), with a lot depth of 77.2 metres (253.3 feet) and a frontage of 298 metres (977.69 feet) along Shipman's Lane. The

property is accessed via Shipman's Lane, a private right-of-way, rather than a municipal or provincial road.

The property is serviced by a privately owned and operated drilled well, with no municipal water service available. Sewage servicing is provided by a privately owned individual sanitary sewage system (septic), with no municipal sewage connection. Stormwater is managed through swales, with no municipal storm sewer or ditch system.

The site is predominantly flat, with areas sloping towards the waterfront. The highest recorded elevation appears to be around 81 metres GSC, with some areas sloping downward towards the regulated floodplain (see Figure 2). The flood elevation is recorded at 76.1 metres GSC, and the erosion hazard setback extends 13 metres from the toe of the slope (Appendices 5). Portions of the property fall within the regulatory floodplain, requiring floodproofing measures and adherence to Cataraqui Region Conservation Authority (CRCA) guidelines.

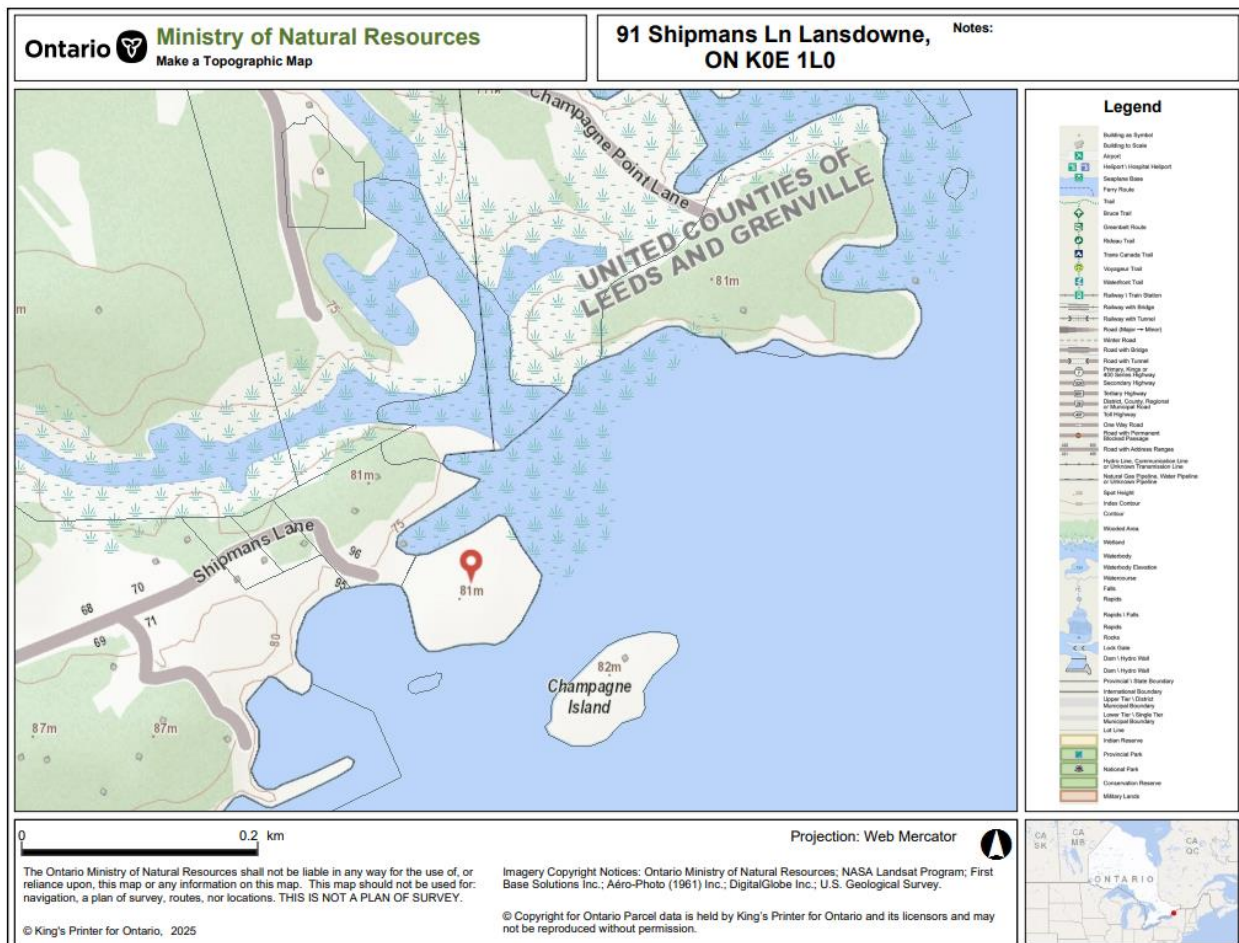


Figure 2: The image is a topographic map from the Ontario Ministry of Natural Resources, showing the location of 91 Shipman's Lane, Lansdowne, ON (K0E 1L0)

The Ivy Lea Complex PSW, a provincially significant wetland, partially covers the site, necessitating a 30-metre development setback. The existing structures, including the garage, decks, and dwelling, are positioned with setbacks from property boundaries and natural features, as detailed in the Development Application Table 10.2. The existing garage is set back 1.8 metres from the floodplain and 21.26 metres from the water, with a rear setback of 27.2 metres. The dwelling is set back 8.4 metres from the water and 8.12 metres from the floodplain, while decks extend within 10.6 metres of the shoreline.

Given the site's location within a floodplain, erosion hazard area, and PSW, all proposed modifications will be subject to regulatory review, ensuring compliance with setback requirements and environmental protection policies.

2.3 Surrounding Land Uses and Context

The subject property is located within a predominantly residential and recreational waterfront community along the St. Lawrence River and shares similar distinctive shoreline features with adjacent properties. The surrounding land uses include low-density residential development, natural heritage features, and marina-related activities, all of which define the area's unique blend of environmental sensitivity and recreational appeal.

The land use context surrounding the property is as follows:

- **North:** The area to the north consists of low-density residential waterfront properties interspersed with significant natural heritage features associated with the Ivy Lea Complex Provincially Significant Wetland (PSW).
- **South:** The St. Lawrence River forms the property's southern boundary, providing direct waterfront access. Island 69D, which is privately owned by the applicant, is located southeast, offshore from the main residence. Champagne Island, a notable natural feature within the river, lies further south.
- **East:** The eastern boundary is defined by a continuation of low-density residential properties and natural shoreline, maintaining the area's established character. Development in this direction remains consistent with the Township's vision for sustainable shoreline communities.
- **West:** Shipman's Point, located to the west of the property, features a small marina and The Ivy Lea Club, which together provide various waterfront recreational facilities.

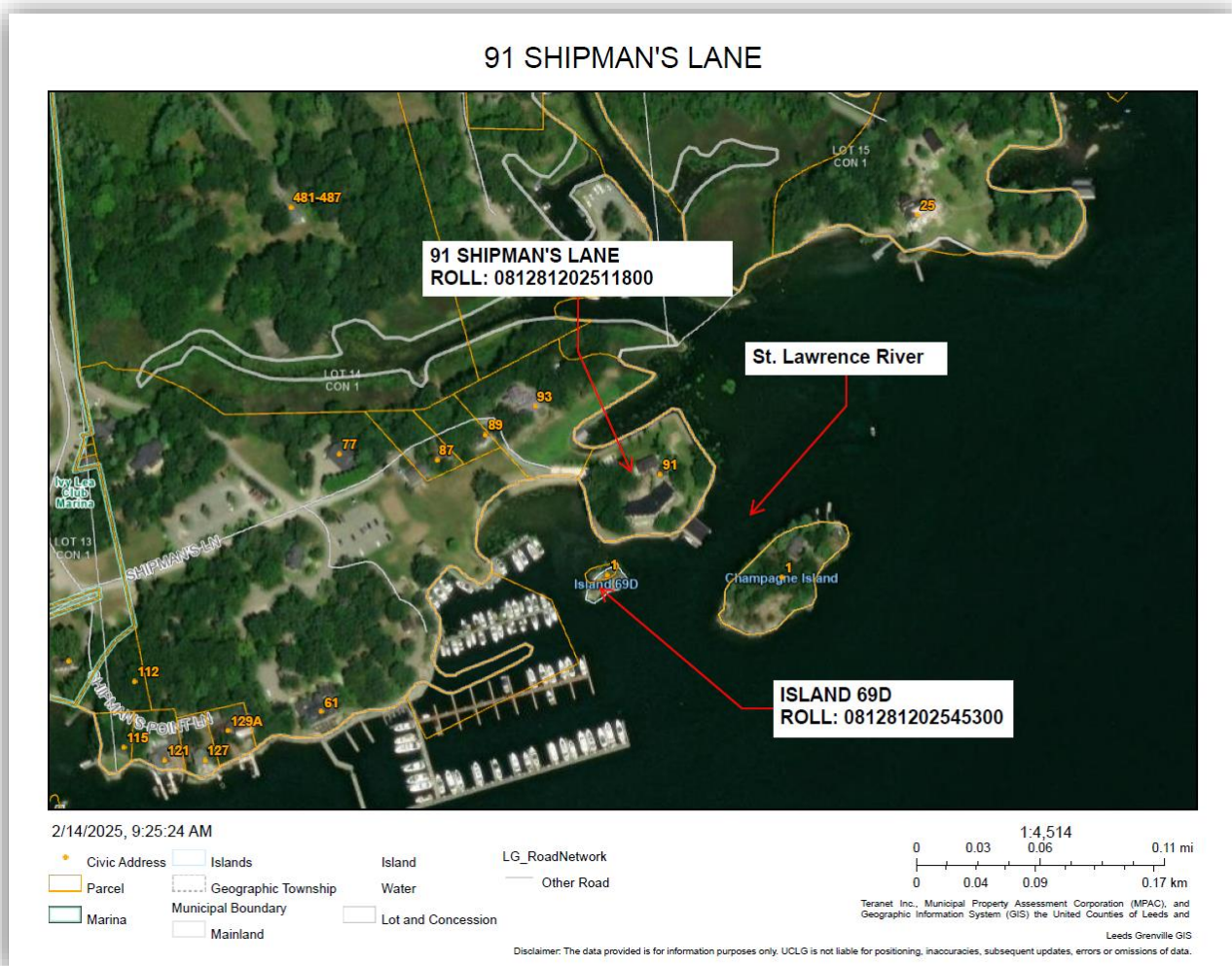


Figure 3: Aerial Context Map of 91 Shipman's Lane and Island 69D

2.4 Proposed Development

The site plan below identifies the location of the main building structure, the garage expansion area, and other proposed site modifications (see Figure 4 below). The detailed changes are as follows:

- Expansion of the existing detached garage by 71.29 square metres to accommodate a home office, gym, and washroom, requiring relief from zoning provisions that restrict habitable space within accessory structures.
- Increase in the maximum permitted height of the garage from 7.0 metres to 9.9 metres, necessitating a Zoning By-law Amendment to allow the additional height.

- Addition of a covered exterior stair (14.72 square metres), 6 feet wide, located on the east side of the garage, improving accessibility while maintaining compliance with setback regulations.
- Formal recognition of a gatehouse (refuse shed) measuring 4.46 square metres, positioned at the existing gates. The structure is open-bottomed and open-topped to comply with floodplain regulations, ensuring no obstruction to drainage patterns.

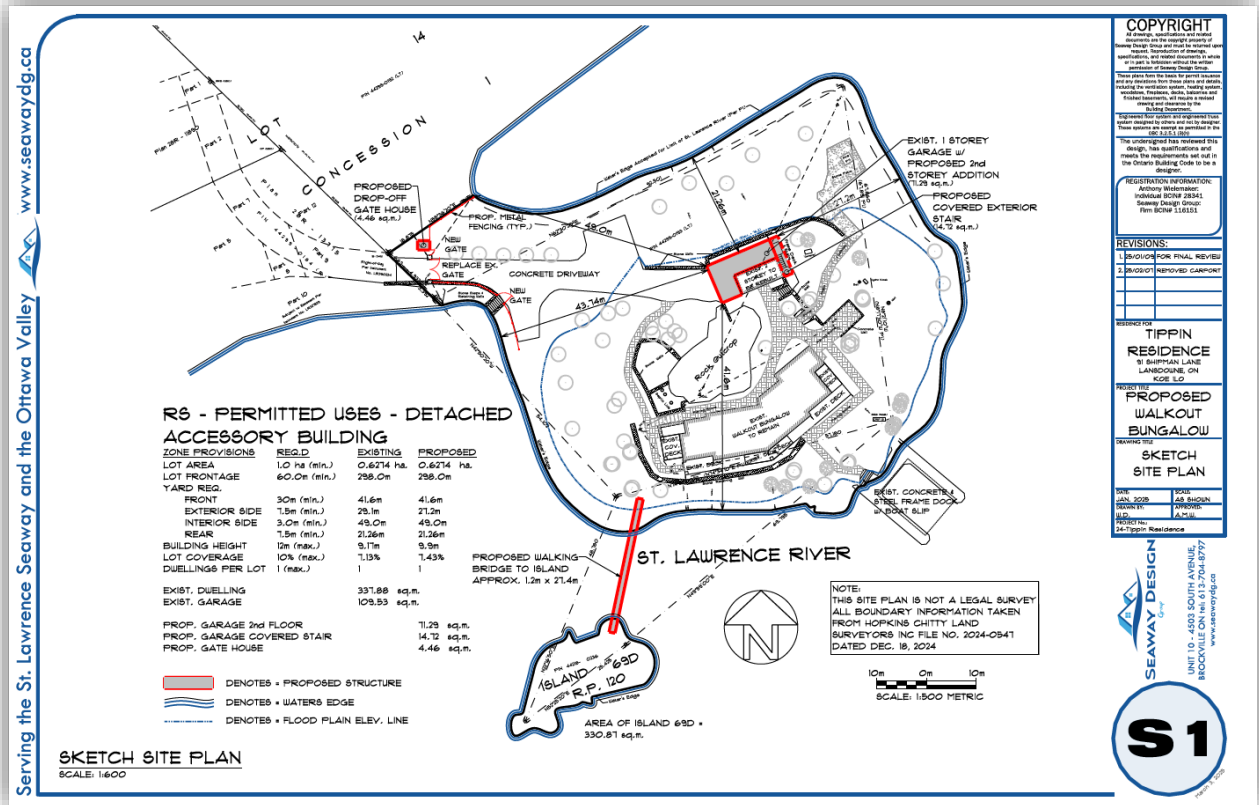


Figure 4: Site Plan and Proposed Development Layout for 91 Shipman's Lane

3.0 REGULATORY POLICY FRAMEWORK

3.1 Provincial Policy Statement (PPS) 2024

The Provincial Policy Statement (PPS), 2024, issued under the *Planning Act*, provides policy direction on matters of provincial interest related to land use planning and development. It establishes the policy framework to ensure that growth and development across Ontario support long-term sustainability, environmental protection, economic prosperity, and public

health and safety. Section 3 of the *Planning Act* requires that all land use planning decisions must be consistent with the PPS.

The proposed Zoning By-law Amendment (ZBLA) for 91 Shipman's Lane has been evaluated against the PPS 2024 and is found to be in alignment with key policy objectives, particularly concerning:

- The wise use and management of resources (natural heritage, water, and agriculture);
- Infrastructure and public service facilities;
- Land use compatibility; and
- Public health and safety.

The proposal has been designed to minimize environmental impacts, ensure efficient use of infrastructure, and mitigate risks associated with natural hazards, conforming with the PPS's policy objectives outlined below.

3.1.1 Natural Heritage (Section 4.1)

Section 4.1.1 of the PPS prioritizes the long-term protection of natural features and areas, including significant wetlands, woodlands, valley lands, wildlife habitats, and areas of natural and scientific interest. The subject property is partially covered by a Provincially Significant Wetland (PSW) and is within a regulated floodplain. Accordingly, the proposal has been designed to ensure that all modifications align with PPS environmental protection objectives by maintaining a 30-metre buffer from the PSW, ensuring building setbacks adhere to conservation authority requirements, and implementing erosion control measures to protect adjacent natural heritage features. No development or site alteration is proposed within the wetland boundary, and all structures are designed to minimize impact on the floodplain and surrounding ecological functions.

Section 4.1.4 strictly prohibits development and site alteration within significant wetlands in Ecoregions 5E, 6E, and 7E, which includes the subject property. The proposed expansion of the garage and the formal recognition of the gatehouse as an accessory structure are situated outside the Provincially Significant Wetland, ensuring no direct impacts occur.

Section 4.1.8 requires that development on lands adjacent to significant natural heritage features demonstrate no negative impacts on their ecological function. The proposed structures have been strategically positioned to maintain natural buffers, ensuring minimal disturbance to sensitive ecological areas.

3.1.2 Water Resources (Section 4.2)

Protecting water quality and quantity is a priority in the PPS, particularly in waterfront and wetland-adjacent developments. Section 4.2.1 states that “planning authorities shall protect, improve or restore the quality and quantity of water by using the watershed as the ecologically meaningful scale for integrated and long-term planning.”

The subject property is serviced by a privately owned and operated drilled well, with no connection to a municipal water supply. Stormwater on-site is managed through swales, as there are no municipal storm sewer connections or engineered stormwater infrastructure. While a Stormwater Management Report and Erosion and Sediment Control Plan were not required for this proposal, any future development or site alterations that increase impervious surfaces or modify drainage patterns may require additional stormwater management measures. All such changes will be subject to Cataraqui Conservation’s permit requirements under Ontario Regulation 41/24. The mapping provided by Cataraqui Conservation (Figure 5) outlines the regulated extent of Ontario Regulation 41/24, demonstrating the areas subject to permitting and environmental protection considerations.

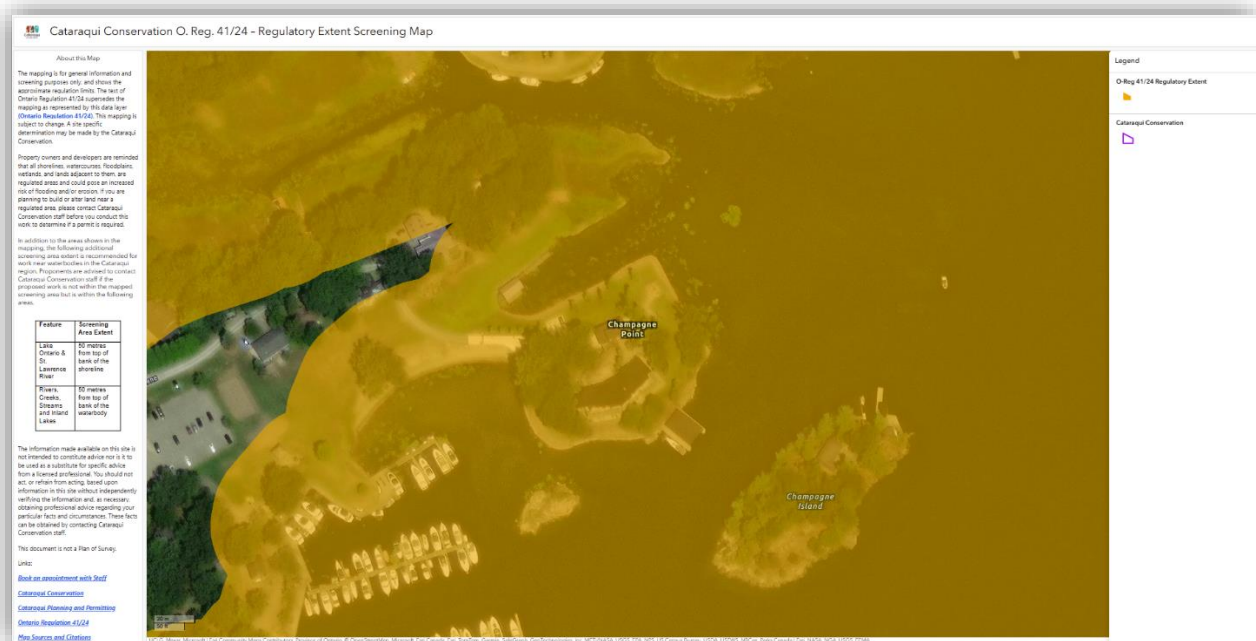


Figure 5: The map shows the screening extent of Ontario Regulation 41/24– Regulatory Extent Screening Map, as provided by Cataraqui Conservation.

Section 4.2.2 restricts development in or near sensitive surface water and groundwater features and requires mitigative measures to prevent contamination and disruption of hydrologic

systems. The proposed modifications will be reviewed to ensure they do not contribute to surface water contamination, erosion, or hydrologic disruption.

3.1.3 Efficient Use of Infrastructure and Services (Section 3.1)

The Provincial Policy Statement (PPS) 2024 promotes the efficient use of existing infrastructure to support growth while minimizing costs to municipalities and environmental impacts. The following section highlights policies that specifically apply to the proposed modifications of the subject property.

Section 3.1.1 states that:

"Infrastructure and public service facilities shall be provided in an efficient manner while accommodating projected needs. Planning for infrastructure and public service facilities shall be coordinated and integrated with land use planning and growth management so that they: (a) are financially viable over their life cycle, which may be demonstrated through asset management planning; (b) leverage the capacity of development proponents, where appropriate; and (c) are available to meet current and projected needs."

The proposed modifications align with this policy by utilizing the existing private servicing infrastructure on-site, without requiring municipal water or sewer extensions. The property is serviced by a privately owned and operated drilled well for potable water and an individual sanitary sewage system (septic) for wastewater disposal. Stormwater is managed through swales, as there is no connection to a municipal storm sewer system.

Section 3.1.2 further states that:

"Planning for infrastructure and public service facilities shall ensure that these facilities are financially viable over their life cycle."

The garage expansion introduces habitable space for a home office, gym, and washroom, enhancing the property's functionality without necessitating additional municipal services. The existing private servicing infrastructure can accommodate these modifications, ensuring no additional strain on public utilities.

Formally recognizing the gatehouse as an accessory structure provides regulatory clarity and brings the site's existing legal non-conforming status into conformity with current zoning regulations while maintaining its intended function for waste and parcel storage. This ensures the site remains compliant with municipal zoning policies and continues efficiently serving its functional purpose while minimizing infrastructure demands.

3.1.4 Land Use Compatibility (Section 3.5)

Section 3.5.1 mandates that new development be compatible with surrounding land uses to minimize conflicts. The Shoreline Residential (RS) Zone supports low-density residential development, and the proposed modifications are in keeping with the area's existing built form.

The increase in accessory structure height (garage) remains compatible with the architectural character of the property and surrounding area, ensuring visual and spatial continuity. The gatehouse is designed to integrate seamlessly into the natural landscape, ensuring no adverse impacts on surrounding properties or public viewsheds.

3.1.5 Natural Hazards (Section 5.2)

The PPS requires that development be directed away from natural hazard areas, including floodplains and erosion-prone lands. The subject property is within a regulated floodplain, requiring careful design considerations to mitigate flood risk.

Section 5.2.3 prohibits development within areas subject to flooding hazards unless safe access and flood mitigation measures are demonstrated. The proposed modifications adhere to CRCA floodplain regulations, ensuring all structures are elevated or designed to withstand flood conditions.

Section 5.2.8 requires that development within hazardous areas ensure safe evacuation routes and flood protection measures. The proposal maintains existing emergency access and ensures all habitable spaces are above potential flood levels, complying with provincial floodproofing standards.

Based on the above policies from the PPS, the proposed zoning by-law amendment aligns with the PPS by:

- Protecting natural heritage and water resources by ensuring no negative ecological impacts on the Provincially Significant Wetland and adjacent shoreline ecosystems.
- Promoting efficient land use and infrastructure by utilizing existing private services, reducing environmental impact, and ensuring long-term financial sustainability.
- Ensuring public health and safety by mitigating flood risks and adhering to CRCA floodplain management regulations.
- Maintaining compatibility with the surrounding area, ensuring that the proposed modifications enhance site functionality while preserving the character of the shoreline residential community.

3.2 United Counties of Leeds and Grenville Official Plan Policies

The United Counties of Leeds and Grenville (UCLG) Official Plan (OP) provides high-level policy direction for development across its ten lower-tier municipalities, including the Township of Leeds and the Thousand Islands (TLTI). As an upper-tier planning document, the UCLG OP establishes a framework for rural land use, environmental protection, natural hazard mitigation, and infrastructure development, all of which must be considered in the Zoning By-law Amendment (ZBLA) for 91 Shipman's Lane.

The UCLG OP was adopted by Counties Council on July 23, 2015, through By-Law No. 15-37, with modifications approved by the Minister of Municipal Affairs and Housing on February 19, 2016. The OP's strategic direction is to focus population and employment growth in settlement areas, while preserving the rural character, protecting prime agricultural lands, and maintaining natural heritage features. Growth in rural areas is to be limited to low-impact uses that align with existing service levels and conform with local Official Plans.

Under the UCLG OP, the subject property is designated as Rural Lands and Provincially Significant Wetland (PSW) (Figure 6). The Rural Lands designation, as per Section 3.3.1, is intended to protect the natural amenities and rural character of the area while allowing for limited residential development, home occupations, resource-based recreational uses, and tourism-related activities.

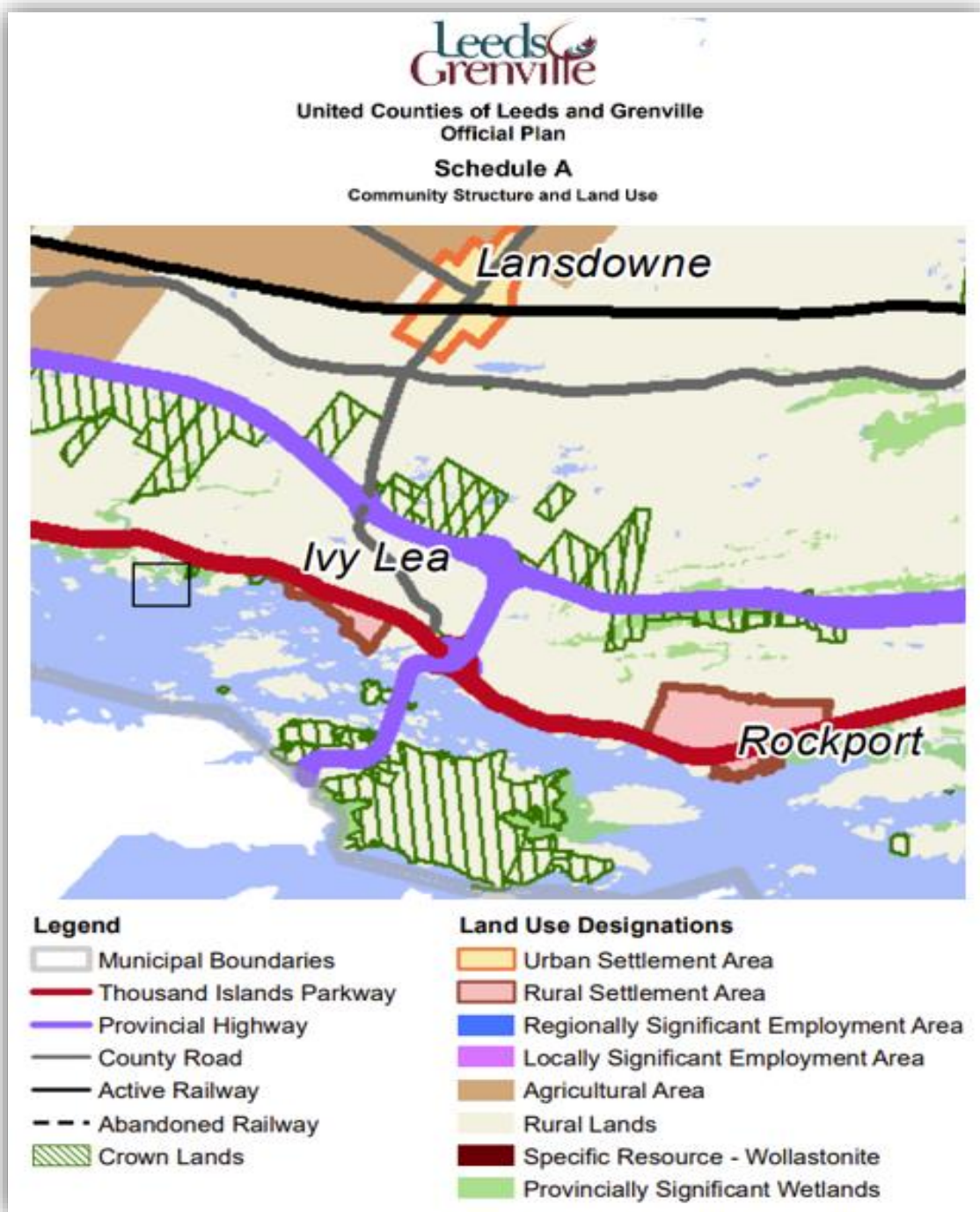


Figure 6: Schedule A - Community Structure and Land Use

The UCLG OP emphasizes that rural development must be sustained by rural service levels, including on-site sewage disposal and private well water services, as stated in *Section 3.3.1(e)*. The subject property is serviced by private well and septic systems, ensuring compliance with this policy. *Section 3.3.1(f)* supports redevelopment of existing rural housing stock, which is

relevant to the proposed demolition and reconstruction of the second floor of the garage to create habitable space. The proposal aligns with *Section 3.3.1(i)*, which seeks to protect natural heritage features and their ecological functions—a key consideration given the property’s proximity to the Ivy Lea Complex PSW.

The Rural Lands policies also defer to the TLTI Official Plan for detailed land use management under *Section 3.3.2(iii)*. However, the UCLG OP provides overarching guidance, stating that new or expanding uses must be compatible with the rural landscape and supported by existing rural service levels (*Section 3.3.3(d)*). The proposal respects these policies through design modifications that ensure compatibility with surrounding built form, the removal of the carport from the regulatory floodplain, and incorporation of hazard mitigation measures

The Provincially Significant Wetland (PSW) designation requires adherence to stringent environmental protection policies to maintain ecological integrity. The UCLG OP prohibits development and site alteration within PSWs unless it has been demonstrated through an Environmental Impact Study (EIS) that there will be no negative impact on wetland function. The proposal complies with this requirement by maintaining a 30-metre buffer from the PSW, ensuring that no direct encroachment occurs.

Policy 4.2.11 requires that development adjacent to waterbodies must incorporate appropriate setbacks and mitigation measures to protect water quality, fish habitat, and shoreline stability. The proposed garage expansion and gatehouse structure maintain appropriate setbacks and have been reviewed to ensure they do not pose adverse effects on aquatic features or riparian vegetation.

As shown in Figure 7 - Natural Heritage Features and Areas, the subject property is within a regulated floodplain, adjacent to a PSW, and subject to erosion hazard constraints. The UCLG OP identifies these as critical factors that require compliance with *Section 5.2.2 - Natural Hazard Policies*. This section states that: “*The Counties shall regulate development in hazardous lands, including areas prone to flooding, erosion, and unstable slopes. Appropriate setbacks, floodproofing measures, and engineering studies may be required to mitigate risks.*”

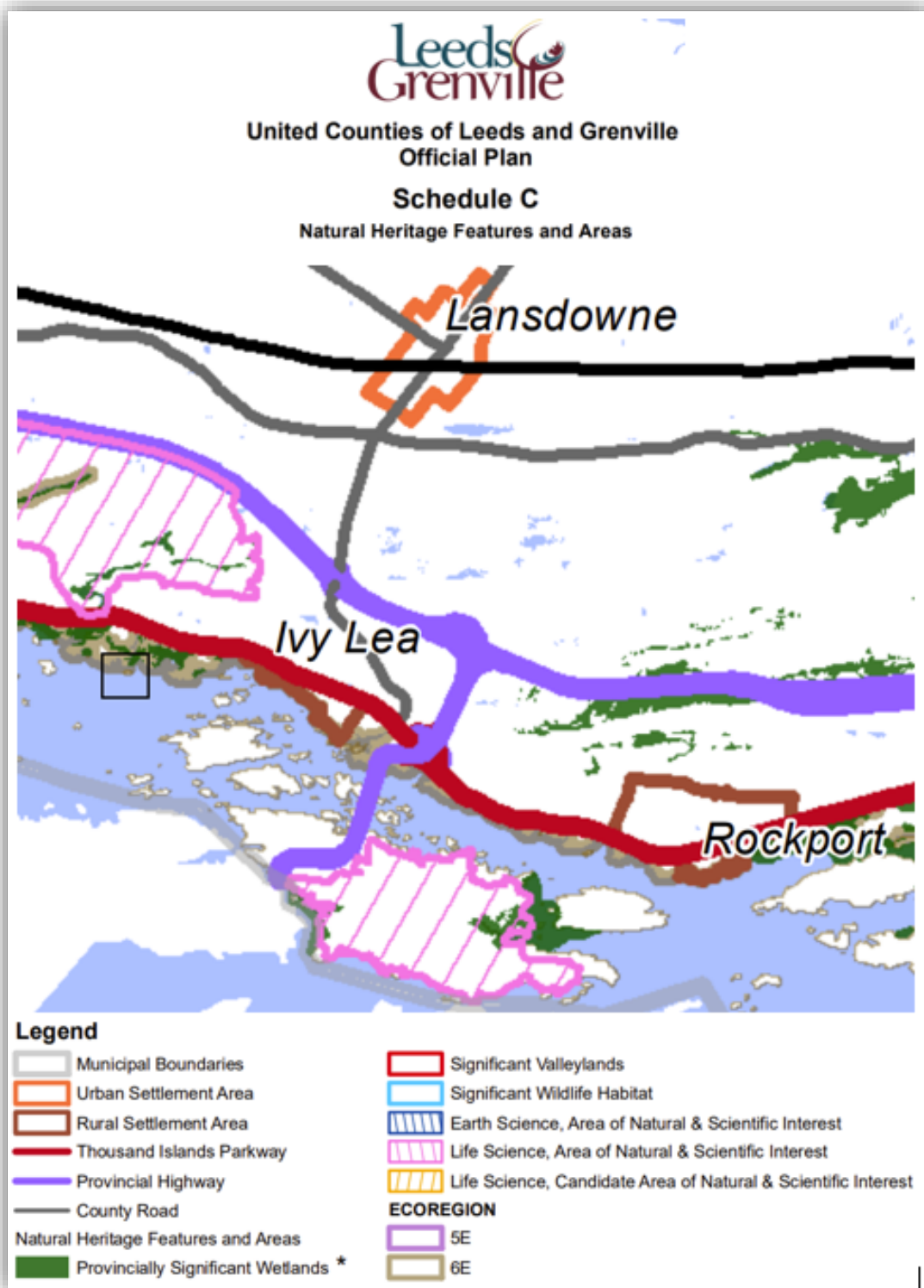


Figure 7: Schedule C - Natural Heritage Features and Areas with the subject property identified.

The St. Lawrence River floodplain elevation at this location is 76.1 metres GSC, with the erosion hazard extending 13 metres from the toe of the slope. The proposed garage expansion and associated works have been designed to avoid site alterations that could exacerbate erosion risks, aligning with CRCA's hazard mitigation recommendations.

The proposed carport was not supported by the CRCA due to its location within the regulatory floodplain, erosion hazard area, and within 30 metres of the PSW. The CRCA has requested that the carport be relocated at least 6 metres from both the floodplain and erosion hazard zones. Given that the Township and CRCA have not approved the carport, the current ZBLA does not include this structure, ensuring compliance with floodplain development restrictions.

The property is subject to a Site Plan Control Agreement, which ensures that detailed site planning and regulatory compliance measures are followed. The proposed development falls within Cataraqui Conservation's regulatory boundary, meaning that any site alterations, excavation, grading, or placement of fill require a permit under Ontario Regulation 41/24. The gatehouse, at 4.46 sq. m., is exempt from this regulation, but all other proposed modifications must be reviewed and permitted by CRCA.

3.3 Township of Leeds and the Thousand Islands Official Plan

The Township of Leeds and the Thousand Islands (TLTI) is a lower-tier municipality within the United Counties of Leeds and Grenville (UCLG). As such, the TLTI has its own Official Plan (OP), which provides policy direction for growth, land use, and environmental protection within the Township. The Official Plan was adopted by Township Council on September 10, 2018, and subsequently approved by the United Counties of Leeds and Grenville on November 22, 2018. This OP replaces the previous version approved in March 2006. The OP establishes policies for land use compatibility, environmental protection, hazard mitigation, and waterfront development.

The subject property is designated as Rural and Provincially Significant Wetland (PSW) and is affected by floodplain and erosion hazard constraints (Figure 8). The Rural designation is intended to accommodate limited residential development, and a range of land uses that support the rural economy, including agriculture, low-impact commercial and industrial activities, and recreational uses. Development is directed towards existing clusters to prevent scattered growth and preserve natural heritage features. The policies emphasize maintaining land use compatibility, protecting environmental resources, and ensuring that new development does not compromise the sustainability of the rural landscape.

The PSW designation applies to ecologically significant wetlands that require strict protection due to their role in maintaining biodiversity, water quality, and flood mitigation. Development and site alteration within a PSW are prohibited, while any development within 120 meters must demonstrate, through an Environmental Impact Study (EIS), that there will be no negative impact on wetland function. The policies prioritize the preservation of natural hydrology, wildlife habitats, and ecosystem connectivity, ensuring that wetlands continue to perform their essential environmental functions.

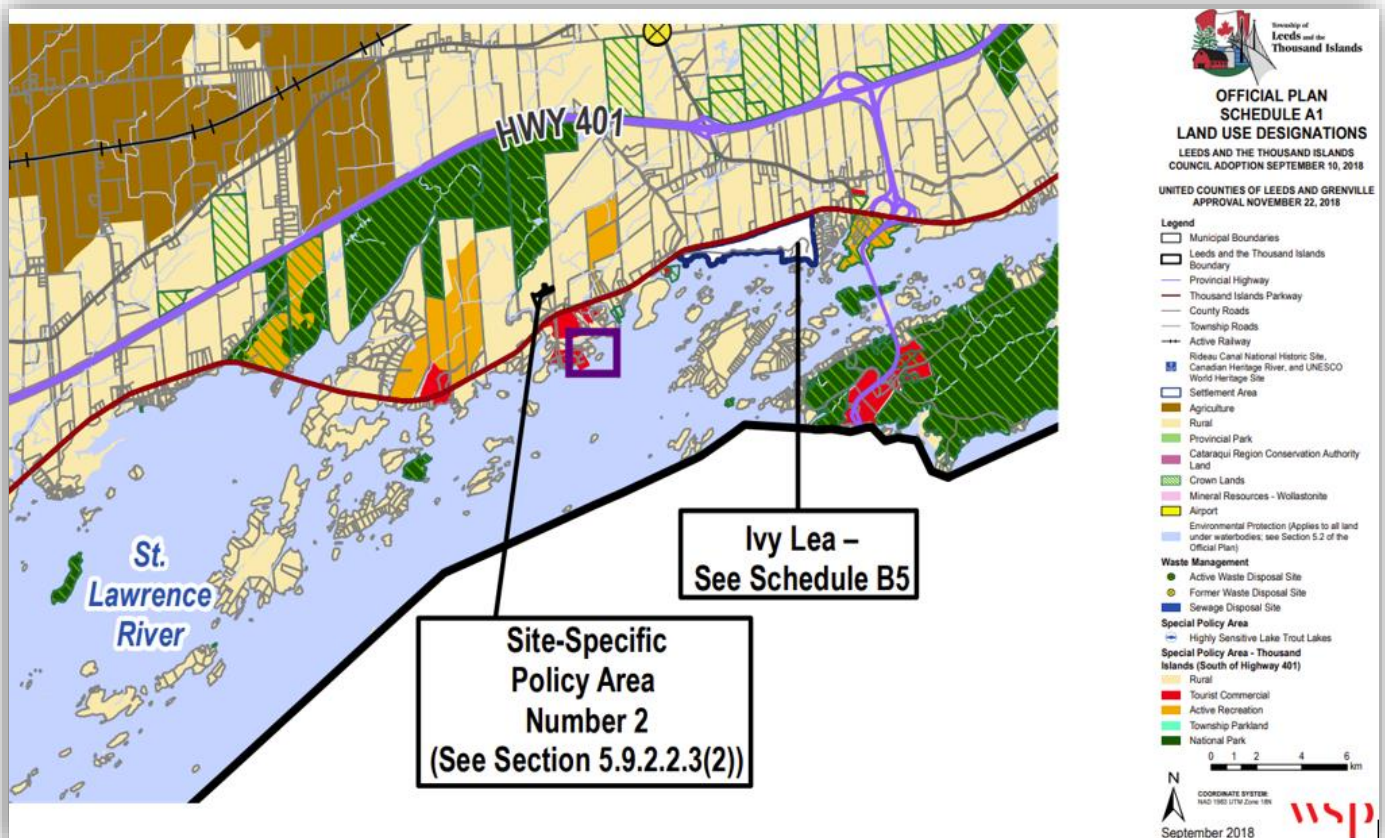


Figure 8: TLTI Schedule A1 - Land Use Designations with subject property identified

Section 4.6 provides policies to consider compatibility and built form and encourages introducing new development in existing areas, in particular through intensification, requires a sensitive approach and consideration of the area's established uses and character. The proposal includes demolition of the existing second floor of the detached garage and its replacement with an expanded second floor covering the entire footprint, accommodating a home office, an exercise room, and a bathroom. The increase in garage height from 7.0 metres to 9.9 metres has been designed to remain consistent with the built form of surrounding properties, ensuring that

setbacks, massing, and height transitions are appropriately managed to limit visual impacts on adjacent landowners.

The site contains portions of the Ivy Lea Complex PSW, and development in this area must minimize ecological impacts (see Figure 9 below).

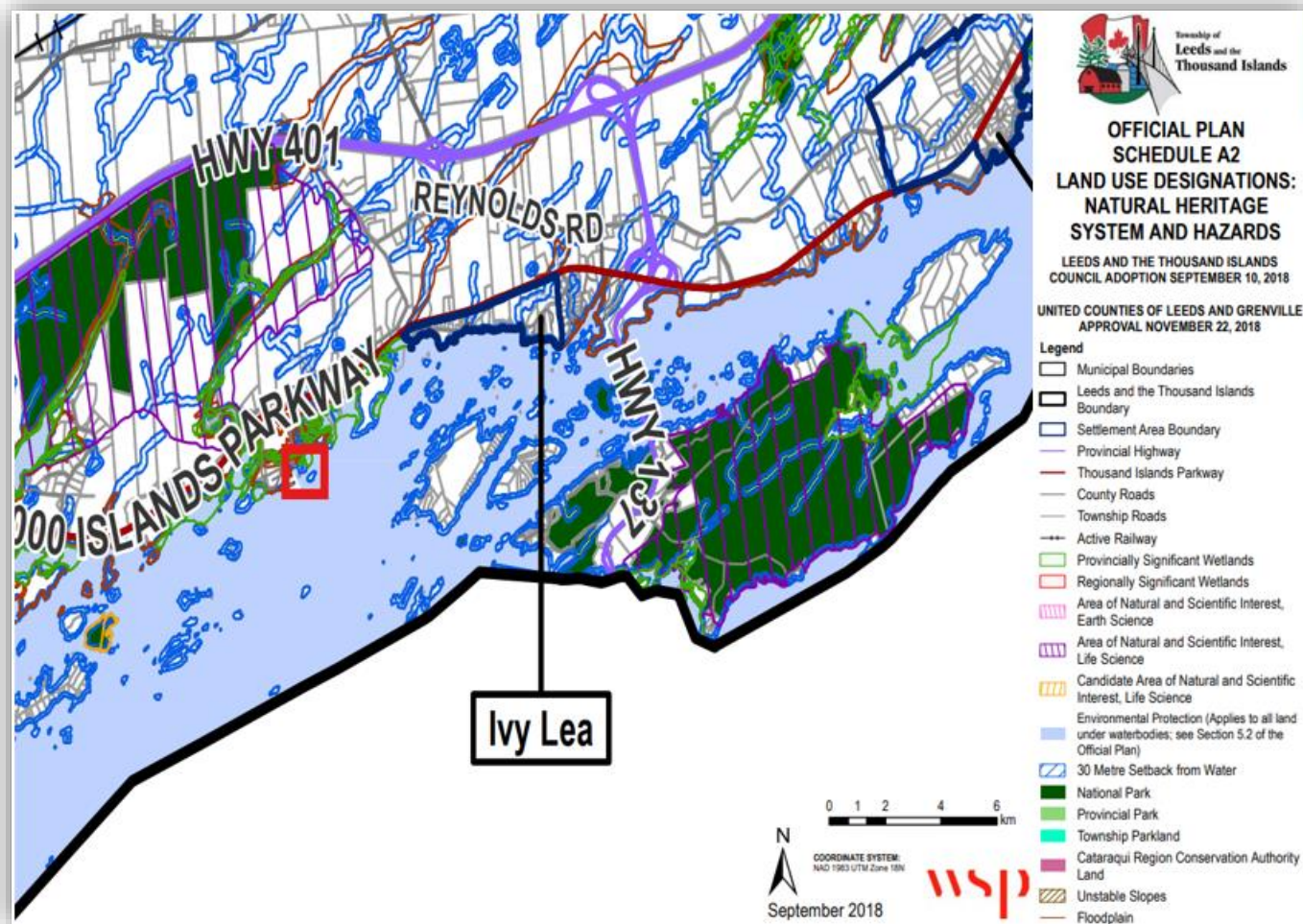


Figure 9: TLTI Schedule A2 - Natural Heritage System and Hazards with the subject property identified.

The presence of natural hazards, including flooding, steep slopes, and erosion hazards, requires adherence to *Section 5.3.1 - Natural Hazards*, which states that "environmental conditions, whether naturally occurring or human-made, can result in hazards to human life or health, and damage or loss of value to property". The floodplain elevation of the St. Lawrence River at this location is 76.1 metres GSC, and the erosion hazard extends 13 metres from the toe of the slope. The garage expansion and covered exterior stair have been designed to avoid grading or filling activities, ensuring compliance with erosion hazard and slope stability requirements.

Section 5.3.1.1 - Erosion Hazards and Steep Slopes requires that "no buildings or structures shall be constructed or enlarged, and no site alteration such as filling, grading, and excavating shall occur without the written permission of the CRCA". The CRCA has reviewed the proposed development and determined that the garage expansion and fencing are supportable, provided that site alterations remain minimal and do not exacerbate erosion risks. *Section 5.3.1.2 - Flood Plain* states that "development and site alteration in the regulatory flood plain is prohibited, except for those uses that by their nature must be located within the regulatory flood plain". The removal of the carport from the floodplain and erosion hazard area aligns with this policy, ensuring that flood risk to property and surrounding lands is mitigated.

The proximity of the development to the Ivy Lea Complex PSW requires compliance with *Section 5.5.2 - Adjacent Lands*, which states that "development or site alteration shall not be permitted on adjacent lands unless the ecological function of the adjacent lands has been evaluated and it has been demonstrated, through an Environmental Impact Study (EIS), that there will be no negative impact on the natural features or their ecological functions". The proposed development has undergone environmental review, and the adjustments made to the design, including setbacks and removal of non-compliant elements, ensure that there are no negative ecological impacts.

The wetland policies under *Section 5.5.5 - Wetlands* state that "development and site alteration shall not be permitted within Provincially Significant Wetlands". The proposal ensures no direct encroachment into the PSW to maintain natural hydrological flows and avoid disruptions to wetland function. Any site alterations will require permits under Ontario Regulation 41/24, ensuring that wetland integrity is maintained.

The residential nature of the property requires compliance with *Section 5.7 - Residential Uses in the Rural Area*, which states that "lands in the Rural designation are intended to support limited residential development that respects rural character and natural heritage features". The garage expansion remains an accessory structure to the main dwelling, does not introduce an additional residential unit, and maintains the low-density character of the area. The increase in garage height has been reviewed within the context of surrounding structures and remains in scale with the built form of the community.

The property is also located within the Thousand Islands Special Policy Area, which is subject to *Section 5.9.2 – Thousand Islands Area*. This policy states that "development within this area must be sensitive to its natural and scenic character." The proposed site modifications have been designed to ensure that the natural shoreline remains largely intact and that new structures visually integrate with the existing built form, avoiding significant alterations to the landscape.

Section 6.1.3 - Stormwater Management states that "the Township shall promote the use of low-impact development (LID) approaches and technologies, such as the use of green infrastructure to manage stormwater runoff". While a formal Stormwater Management Report was not required, the development integrates LID principles by maintaining natural drainage patterns, minimizing impervious surfaces, and incorporating erosion control measures to prevent sedimentation and protect water quality.

3.4 Township of Leeds and the Thousand Islands Zoning By-law No. 07-79

The subject property at 91 Shipman's Lane is designated Shoreline Residential (RS) under Zoning By-law No. 07-79 (Consolidated January 4, 2023) (see Figure 10 below). The Zoning By-law establishes permitted uses, lot requirements, building height limitations, and restrictions on accessory structures, all of which must be considered in evaluating the proposed Zoning By-law Amendment (ZBLA).

The subject property is zoned Shoreline Residential (RS), which permits the following uses:

- Single detached dwellings
- Sleeping cabins
- Group homes
- Marine facilities

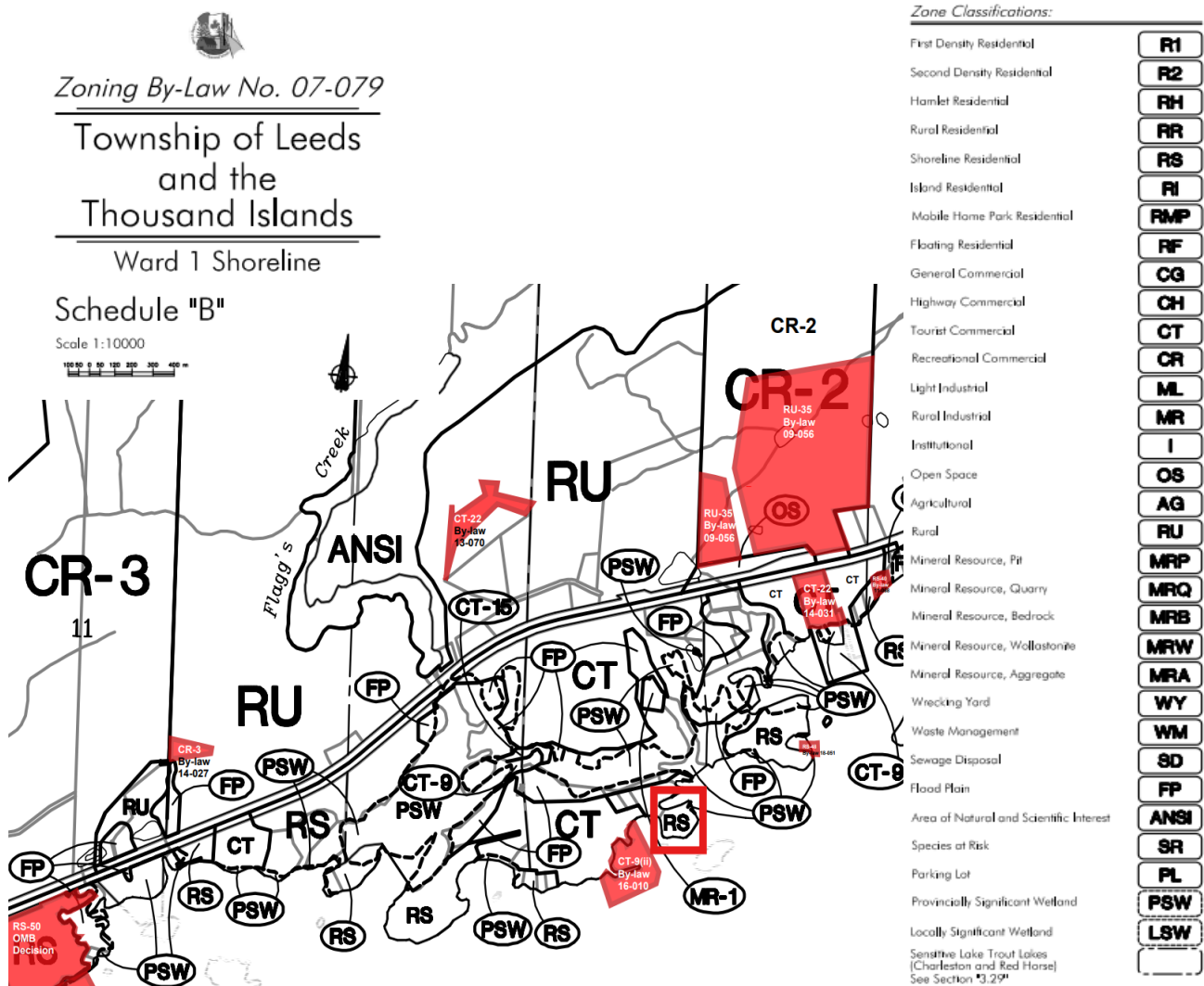


Figure 10: Zoning Schedule "B" (Ward 1 Shoreline), TLTI Zoning By-law No. 07-79, showing how the property is within the Shoreline Residential (RS) zone

The proposed modifications to the property align with these permitted uses, as the garage remains an accessory structure to the primary residence.

3.4.1 Lot and Setback Requirements

The table below summarizes key zoning provisions and the existing/proposed conditions for the subject property:

Table 1: Zoning Compliance Summary

| Zoning Provision | Required (RS Zone) | Existing | Proposed |
|-----------------------------|---------------------------|-----------------|-----------------|
| Lot Area | 1.0 ha (min.) | 0.6274 ha | 0.6274 ha |
| Lot Frontage | 60.0 m (min.) | 298.0 m | 298.0 m |
| Front Yard Setback | 30.0 m (min.) | 41.6 m | 41.6 m |
| Exterior Side Yard Setback | 15.0 m (min.) | 29.1 m | 29.1 m |
| Interior Side Yard Setback | 3.0 m (min.) | 49.0 m | 49.0 m |
| Rear Yard Setback | 1.5 m (min.) | 21.26 m | 21.26 m |
| Building Height (Principal) | 12.0 m (max.) | 8.0 m | 8.0 m |
| Building Height (Accessory) | 7.0 m (max.) | 9.17 m | 9.9 m |
| Lot Coverage | 10% (max.) | 7.13% | 7.43% |
| Dwellings per Lot | 1 (max.) | 1 | 1 |

The minimum lot area requirement in the Shoreline Residential (RS) zone is 1.0 hectares, whereas the subject property measures 0.6274 hectares, making it legally non-conforming regarding lot size. Despite this, the existing residential use remains appropriate within the RS designation.

The maximum permitted building height for accessory buildings in the RS zone is 7.0 metres, whereas the proposed garage expansion seeks an increase to 9.9 metres. The ZBLA is required to permit this additional height to accommodate a new second-floor home office, gym, and bathroom, which will replace the existing partial second floor with a full second floor over the garage footprint.

Section 3.1 of the Zoning By-law establishes provisions for accessory buildings and structures, which include garages, sleeping cabins, and other secondary structures that support the primary residential use.

- Subsection (a)(iii) states that accessory buildings shall not exceed 7.0 metres in height. The proposed garage expansion seeks relief from this provision to allow a 9.9-metre height.
- Subsection (a)(v) states that an accessory building shall not be used for human habitation. The proposed second-floor modifications will introduce habitable space, including a home office, gym, and washroom, necessitating an amendment to recognize limited habitable use within the accessory structure.
- Subsection (a)(iv) of the Zoning By-law limits accessory structures to 4% of the total lot area. Given that the subject property measures 0.67 hectares (6,700 sqm), the

maximum allowable accessory structure coverage is 268 sqm. The total proposed accessory structure coverage, including the garage addition, covered exterior stair, and gatehouse, amounts to 123.37 (1.97%) sqm, which remains well within the permitted limit. As a result, no additional zoning relief is required for accessory structure lot coverage.

The gatehouse, proposed as a 4.46 sq. m. refuse and parcel storage structure, qualifies as an accessory structure under the By-law. The ZBLA is required to formally recognize it as an accessory building, ensuring compliance with setback and lot coverage provisions.

The Zoning By-law defines a habitable room as “a room commonly used for living purposes, including a bedroom, bathroom, and a kitchen, but not including any space in a dwelling used as a lobby, hallway, closet, or any room having floor space of less than 4.65 square metres.” The proposed home office, gym, and washroom meet this definition and require recognition within the accessory structure through the proposed ZBLA.

The original application proposed a carport addition adjacent to the existing garage. However, during the pre-consultation process, the Cataraqui Region Conservation Authority (CRCA) determined that the proposed carport was not supportable as it was located within the regulatory floodplain, erosion hazard area, and within 30 metres of the Ivy Lea Complex PSW. The proponent has removed the carport from the proposal to align with floodplain regulations and environmental policies, ensuring compliance with zoning and conservation authority requirements.

4.0 POLICY ANALYSIS & JUSTIFICATION

The proposed Zoning By-law Amendment (ZBLA) for 91 Shipman’s Lane has been carefully designed to align with the applicable land use planning policies and regulatory framework, ensuring environmental protection, hazard mitigation, and compatibility with the rural and shoreline landscape. The property is designated Rural Lands and Provincially Significant Wetland (PSW) under the United Counties of Leeds and Grenville Official Plan (UCLG OP) and is designated Rural and Provincially Significant Wetland (PSW) under the Township of Leeds and the Thousand Islands (TLTI) Official Plan (OP). It is also zoned Shoreline Residential (RS) under Zoning By-law No. 07-79. Given that the property is partially within a regulated floodplain and erosion hazard area, all development must adhere to provincial, county, and municipal policies while incorporating flood mitigation measures in compliance with the Cataraqui Region Conservation Authority (CRCA) regulations.

The proposed modifications include the demolition of the existing second-floor space over the detached garage (which currently occupies approximately one-quarter of the footprint) and the

construction of a full second floor living space across the entire garage footprint for use as a home office, exercise room, and bathroom. This expansion requires an amendment to the zoning by-law to permit an increase in the height of an accessory structure from 7.0 metres to 9.9 metres and to recognize limited habitable space within the garage. Additionally, a new 6' wide covered exterior stair is proposed on the east side of the garage, enhancing accessibility without expanding the footprint or impacting adjacent lands.

A small gatehouse (4.46 sq.m.) is proposed near the property's entrance, designed as an open-bottom and open-top refuse storage structure to facilitate waste and parcel deliveries. Given its location within a regulated floodplain, the structure has been designed to allow free water movement in the event of flooding, ensuring compliance with Ontario Regulation 41/24.

The originally proposed carport has been removed from the application following feedback from the Township and Cataraqui Region Conservation Authority (CRCA) due to its location within the floodplain, erosion hazard area, and within 30 metres of the PSW.

The Rural Lands designation under the United Counties of Leeds and Grenville Official Plan (UCLG OP) supports low-density residential uses while prioritizing the protection of natural amenities and rural character. Similarly, the Rural designation under the TLTI OP ensures that new development respects the rural landscape, limits encroachment into environmentally sensitive areas, and maintains compatibility with surrounding land uses. The garage expansion remains an accessory structure, consistent with the intent of the Shoreline Residential (RS) Zone under Zoning By-law No. 07-79. The habitable space does not introduce an additional dwelling unit, and its intended use as a home office and gym aligns with modern residential trends while preserving the low-intensity character of the area. The proposed height increase from 7.0 metres to 9.9 metres, while requiring relief, remains compatible with surrounding built form and does not introduce excessive massing or obstruct views.

The following measures have been taken to ensure compliance with mitigating flood plain risk and preserving the environmental integrity of the Provincially Significant Wetland (PSW):

1. The proposed modifications ensure that no encroachment into the wetland occurs, with all structures maintaining a minimum 30-metre buffer from the PSW boundary.
2. No grading, excavation, or impervious surface expansion is proposed beyond previously disturbed areas, preventing any potential hydrological disruption.
3. The proposed garage expansion remains within the existing footprint, ensuring that flood storage capacity is not reduced, and the new covered stair is set back significantly from all hazard zones.
4. The gatehouse, located near the property's entrance, remains a minor structure and is designed to allow unrestricted floodwater movement, ensuring that it does not obstruct drainage or increase flood risk.

5. The removal of the carport from the application further demonstrates a commitment to regulatory compliance, as it eliminates development within the floodplain and erosion-prone areas, ensuring that the proposal fully aligns with the CRCA's hazard mitigation recommendations.

The following Zoning Analysis and Justification Table outlines the specific zoning provisions applicable to each proposed structure, detailing compliance and required relief where applicable:

Table 2: Zoning Compliance and Justification for Proposed Structures

| Proposed Structure | Relevant Zoning Provision | Requirement | Proposed | Relief Required? | Justification |
|--|---|---------------|----------------------------|------------------------------------|---|
| Garage Expansion (Accessory Structure with Habitable Space) | Max. Height for Accessory Structures (Sec. 3.1, (a)(iii)) | 7.0 m | 9.9 m | Yes (2.9 m relief required) | <ul style="list-style-type: none"> The increased height remains compatible with existing built form. The expansion does not introduce excessive massing and remains functionally integrated with the residence. The requested height increase is consistent with precedent and maintains neighborhood character. |
| | Use of an Accessory Structure for Habitation (Sec. 3.1 (a) (v)) | Not permitted | Home Office, Gym, Washroom | Yes | <ul style="list-style-type: none"> The habitable space is not a separate dwelling unit but is ancillary to the residence. Supports modern residential needs |

| | | | | | |
|---|---|----------------|--------------------|--------------------|--|
| | | | | | <p>(work-from-home trends).</p> <ul style="list-style-type: none"> Remains subordinate to the principal dwelling. |
| | Max. Sleeping Cabin Size (Sec. 3.34(a)) | 30.0 sq.m. | Exceeds 30.0 sq.m. | Yes | <ul style="list-style-type: none"> While habitable space exceeds the sleeping cabin threshold, it is not a separate sleeping unit but an extension of existing living space. The use remains secondary to the primary residence. |
| Covered Exterior Stair | Min. Interior Side Yard Setback (Sec. 5.5) | 3.0 m | 22.1 m | No Relief Required | <ul style="list-style-type: none"> Significant setback provided exceeds zoning minimums. Enhances accessibility and safety while maintaining compliance. |
| Gatehouse (Refuse Shed) – Formal Recognition as an Accessory Structure | Max. Height for Accessory Structures (Sec. 3.1, (a)(iii)) | 7.0 m | 2.43 m | No Relief Required | <ul style="list-style-type: none"> Structure is open-bottomed and open-topped, ensuring compliance with floodplain regulations. The gatehouse remains within allowable lot coverage, ensuring no overdevelopment. |
| | Max. Lot Coverage for Accessory Structures | 4% of lot area | Below limit | No Relief Required | <ul style="list-style-type: none"> Total accessory structure coverage: 123.37 sqm (1.97%), below the 4% limit. |

| | | | | | |
|--|---|------------|--|--|---|
| | (Sec. 3.1,
(a)(iv)) | | | | <ul style="list-style-type: none"> Remains subordinate to the primary use and serves a functional purpose for waste and parcel storage. Ensures regulatory clarity by bringing an existing structure into compliance. |
| | Setback from Lot Line (Sec. 3.1, (a)(ii)) | Min. 1.0 m | 4.7 m | No Relief Required | <ul style="list-style-type: none"> The gatehouse does not encroach on adjacent properties or impact site functionality. |
| | Formal Recognition as an Accessory Structure | | Refuse & Parcel Storage Gatehouse | Yes (ZBLA required for recognition) | <ul style="list-style-type: none"> Requires formal acknowledgment under zoning for regulatory clarity. |

The proposed Zoning By-law Amendment (ZBLA) ensures that the development at 91 Shipman's Lane aligns with land use planning principles, avoids encroachment into sensitive environmental features, and mitigates natural hazard risks.

5.0 CONCLUSION

The proposed Zoning By-law Amendment (ZBLA) for 91 Shipman's Lane represents a balanced approach to property enhancement while ensuring alignment with municipal, regional, and provincial planning policies. The application supports responsible development by integrating functional improvements, environmental protection, and land-use compatibility within the Township of Leeds and the Thousand Islands.

The ZBLA is consistent with the Provincial Policy Statement (PPS), 2024, particularly in relation to natural heritage protection, water resource management, efficient land use, and public health and safety. The proposed modifications maintain appropriate setbacks from the Provincially Significant Wetland (PSW), incorporate best practices for shoreline resilience and stormwater mitigation, and ensure that the development leverages existing private services without additional strain on municipal infrastructure. Furthermore, the proposal adheres to

floodplain and erosion hazard policies set by the Cataraqui Region Conservation Authority (CRCA) to minimize risk and maintain environmental stability.

At the upper-tier municipal level, the proposal aligns with the United Counties of Leeds and Grenville Official Plan (UCLG OP) by supporting low-intensity residential development while ensuring environmental protection and hazard mitigation. The development respects the character of the waterfront community through appropriate siting and design and responds to site-specific constraints by complying with floodplain and wetland policies through adherence to Ontario Regulation 41/24.

The proposal also conforms to the Township of Leeds and the Thousand Islands Official Plan (TLTI OP), including policies related to environmental protection, natural hazards, and shoreline development. The garage expansion and formal recognition of the gatehouse remain compatible with surrounding land uses, supporting accessory structures that complement the primary residential function of the property.

Given the property's location within a regulated floodplain and wetland area, the proposed design clearly demonstrates that environmental risk, protection, and mitigation have been central to the proposal. The development ensures no direct encroachment into PSW areas while maintaining the required 30-metre buffer to protect ecological function. All structures comply with floodplain management guidelines and have been reviewed in consultation with the CRCA.

The requested Zoning By-law Amendment (ZBLA) is appropriate and represents good planning as it aligns with the Township's vision for sustainable shoreline development while upholding key land-use principles. The modifications enhance site functionality while preserving the environmental character of the waterfront community. The garage expansion meets modern residential needs without introducing additional density or land-use conflicts. The formal recognition of the gatehouse eliminates non-conforming ambiguities and ensures regulatory compliance.



Farah Ibrahim MES (Pl.), MCIP, RPP
Senior Planner



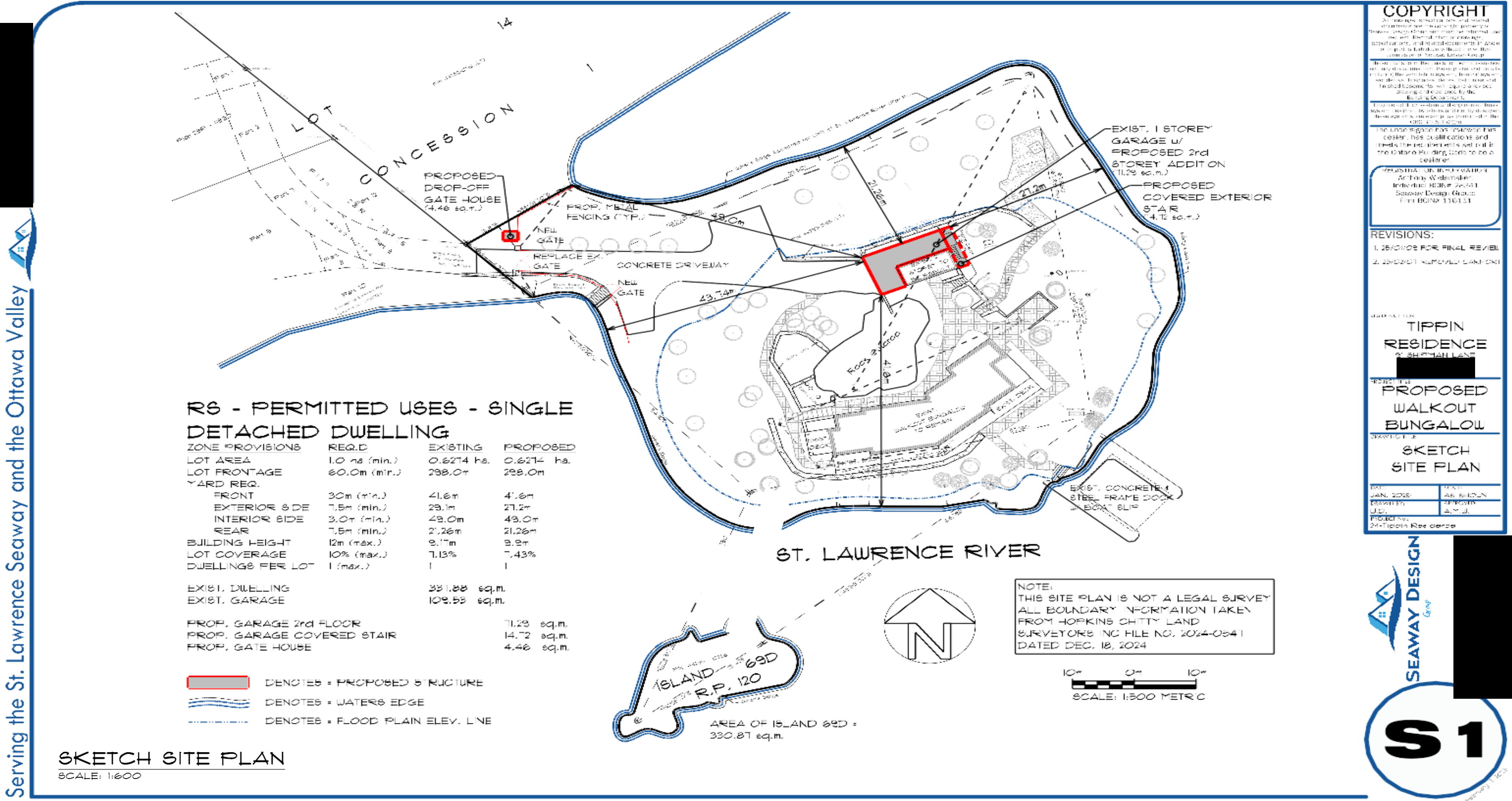
Christine Stinson
Project Manager - Planning & Environment



Niju Mathew, MSc (Planning), RPP Candidate
Junior Planner

6.0 APPENDICES LIST

6.1 Appendix 1: Site Plan and Proposed Development Layout for 91 Shipman's Lane



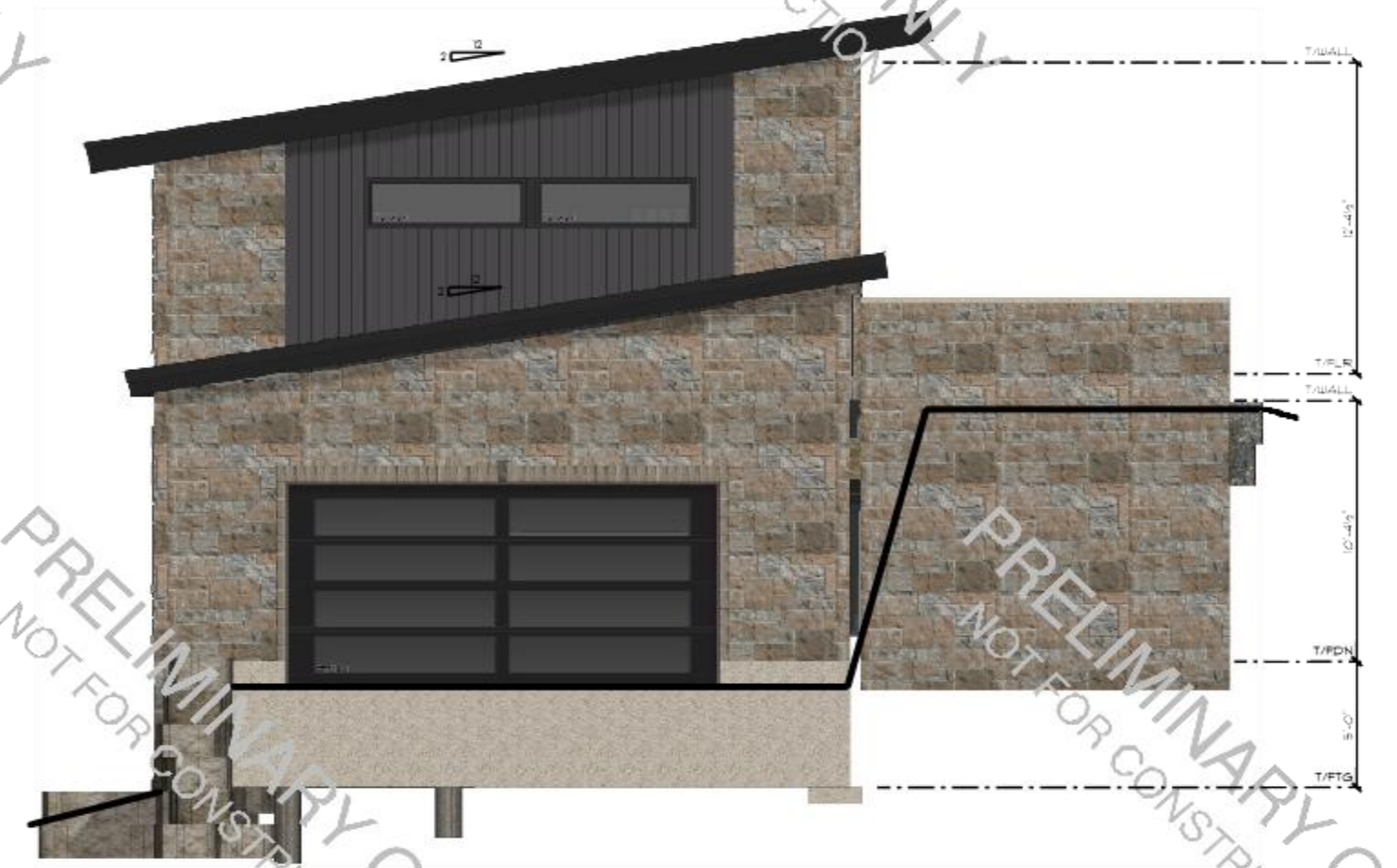
TIPPIN RESIDENCE

91 SHIPMANS LANE
LANSDOWNE, ON
K0E 1L0

LIST OF DRAWINGS:

- A0 - TITLE PAGE & 3D VIEWS
- A1 - ELEVATIONS
- A2 - FLOOR PLANS, NOTES
- A3 - TYP. CROSS SECTION, DETAILS





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REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------------|------------------------|
| 1 | 04/10/2024 | FOR PRELIMINARY REVIEW |

PROJECT TITLE
 PROPOSED GARAGE RENOVATION

ELEVATION

DATE
 04/10/2024

DESIGNER
 G.D.

CHECKED
 L.C.



| |
|----------------|
| GENERAL NOTES: |
|----------------|

- [illegible]

- [illegible]

- INSTALLATION NOTES**
1. ALL FOOTINGS TO HAVE MIN. 6" OF COVER & BEAR ON UNDISTURBED SOIL OR FOUNDATION BEDROCK.
 2. ALL CONCRETE FRESH FOOTINGS TO BE 10 TO 15% DRY OF MAX. CUMUL. OF 28'.
 3. ALL CONCRETE FRESH FOUNDATIONS SHALL TO BE 10 TO 15% DRY OF MAX. CUMUL. OF 28'.
 4. CONCRETE FOR EXISTING FOUNDATION TO BE 10 TO 15% DRY OF MAX. CUMUL. OF 28'.
 5. EXISTING NON-DAMAGE FLOOR & FLOOR JOIST TO BE 10 TO 15% DRY OF MAX. CUMUL. OF 28'.
 6. FOUNDATION LIME USE AS PER UOCC 912.
 7. ALL FOUNDATIONS WITH DRAINAGE SHALL BE PROTECTED BY PROPER FOUNDATIONS.
 8. ALL EXIST. BEARING PRESSURE OF "SAFE" TO BE VERIFIED BY GEOTECHNICAL ENGINEER.

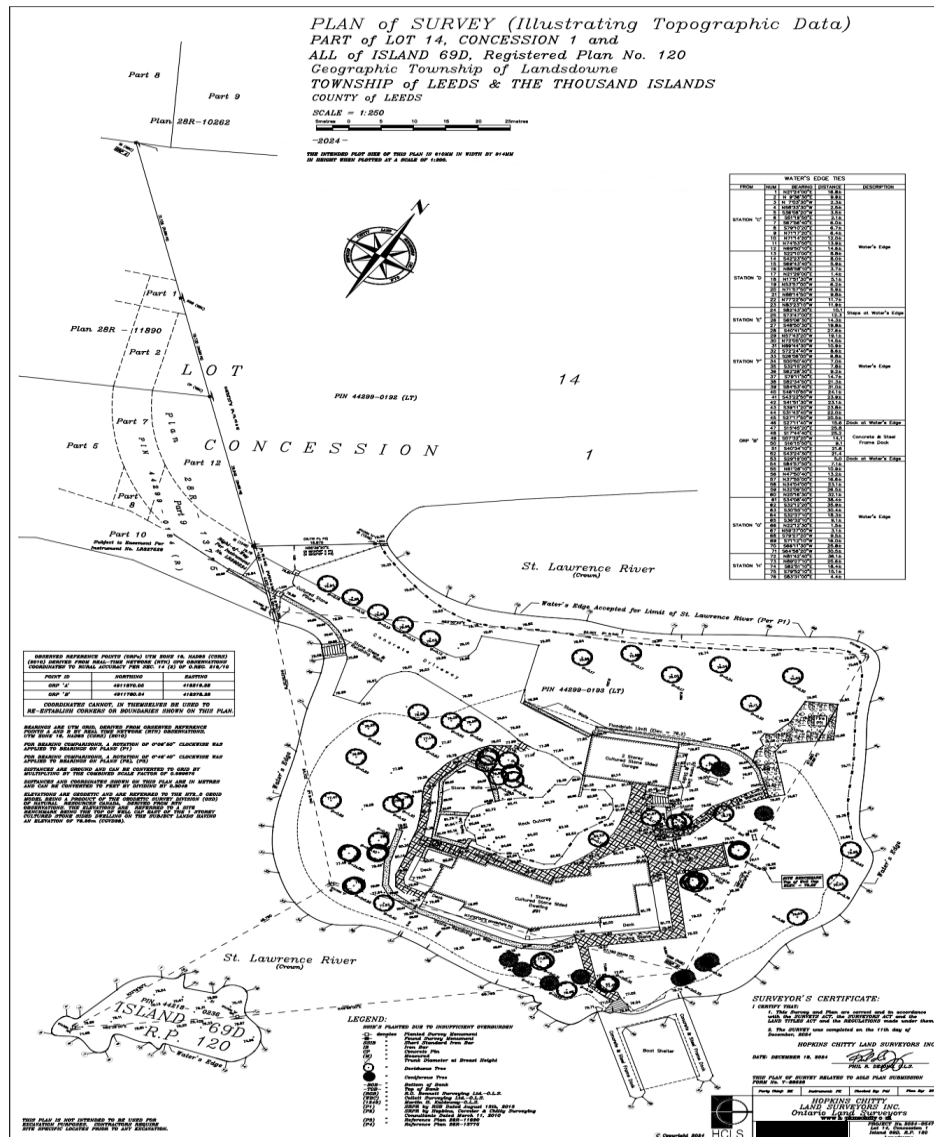
AREA STATISTICS:

| | |
|----------------|---------------|
| BUILDING AREA: | 4,114 |
| GARAGE | 1,200 sq. ft. |

Serving the St. Lawrence Seaway and the Ottawa Valley



6.5 Appendix 5: Plan of Survey

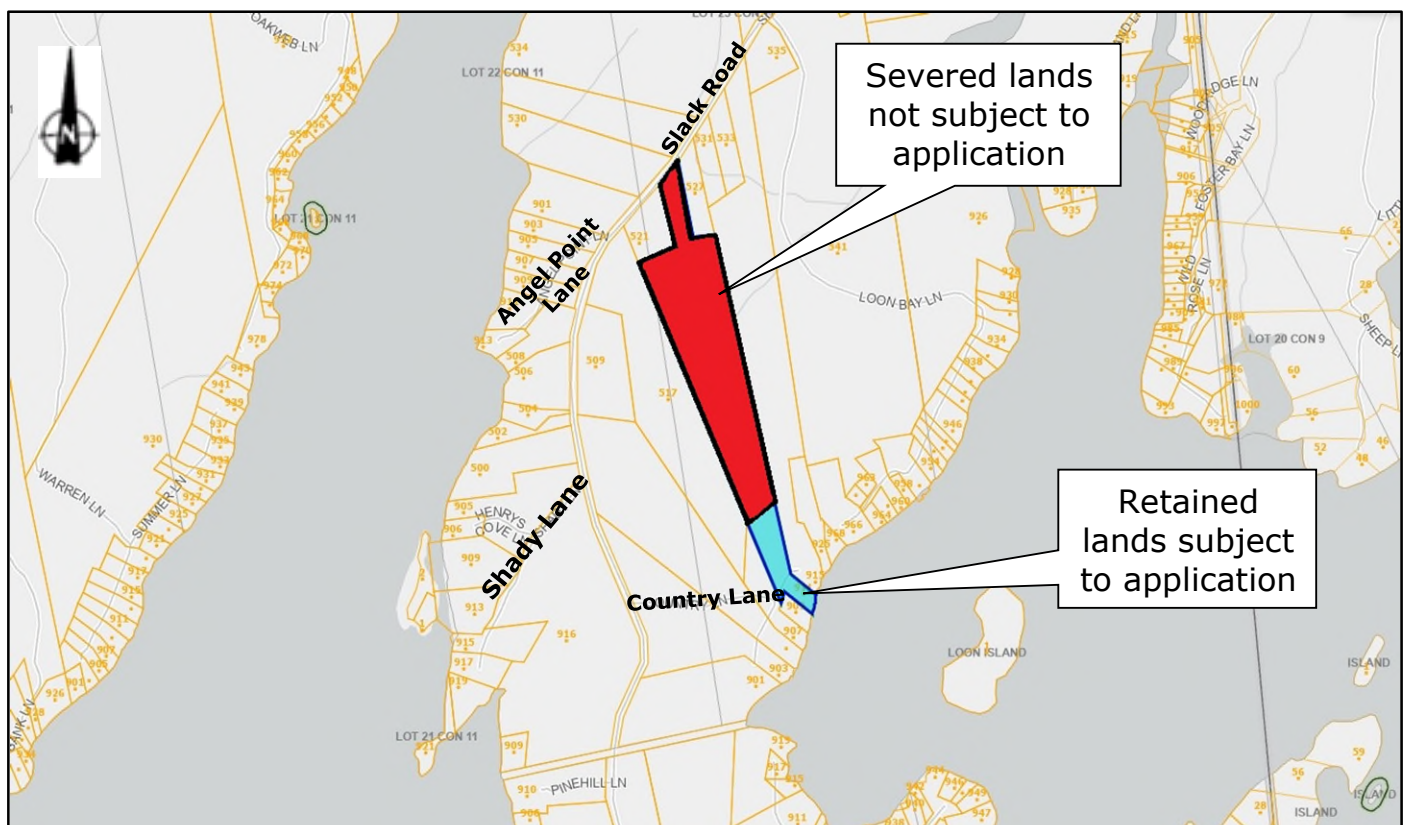




Notice of a Complete Application and Public Meeting **Zoning By-Law Amendment** **(Section 34 of the *Planning Act*)**

Meeting Date: Monday, May 5, 2025
Meeting Time: 6:00 pm
Meeting Location: 1233 Prince Street, Lansdowne, ON.
Options for attending the meeting will be in person in the Council Chambers and virtually online/by phone through Zoom. Details on how to participate are included below.

File Number: D14-2024-012
Location: 911 Country Lane
Owner: George Tackaberry Inc.
Agent: Mark Snider
Roll Number: 08-12-816-025-20800-0000
Related Application(s): Consent Application B-139-24 (Lot Addition)



Key Map: Portion of property subject to application for Zoning By-Law Amendment shown in blue outline and blue fill. Portion of property in black outline and red fill is severed land which is not the subject of the application.

Purpose and Effect of Proposed Zoning By-Law Amendment

This application is related to a provisionally approved consent application (File Number B-139-24). Through the consent application, a 3.6-hectare (8.9 acre) parcel is being severed from the subject property at 911 Country Lane and added to an adjacent property at 517 Slack Road. Condition number 4 of the provisional consent approval states, "That the retained lands are rezoned to recognize the non-compliant minimum lot area and minimum lot frontage." The purpose of the subject application is to satisfy this condition by amending the existing zoning of the retained lands to recognize the resulting non-complying minimum lot area and minimum lot frontage. The existing zoning of the retained lands in Township Zoning By-Law Number 07-079 is Shoreline Residential (RS)

zone and the proposed zone is Shoreline Residential Special Exception (RS-X) zone. The minimum lot area and minimum lot frontage of the RS zone are 1 hectare and 60 metres respectively and the proposed minimum lot area and frontage for the proposed RS-X zone are 0.63 hectares and 32 metres, respectively. Existing development on the retained lands consists of a single detached dwelling, a sleep cabin, an accessory structure (storage shed) and marine facilities (floating boat port).

To view the supporting documents with respect to this application, please visit:
<https://www.leeds1000islands.ca/en/growing/active-applications.aspx>

How to Participate:

All comments received will become part of the public record. Comments can be provided in writing, email or verbally in person/virtually. Staff are unable to accept verbal comments over the phone or in person outside of the meeting.

Anyone attending in person in the Council Chambers or virtually online/by phone through Zoom will be provided the opportunity to comment on an application. The ways to comment on an application are:

1. Written Comments – By Email: planningtechnician@townshipleeds.on.ca
By Mail: Township of Leeds and the Thousand Islands
Attn: Amanda Werner-Mackeler, Planning Technician
1233 Prince Street P.O. Box 280
Lansdowne, ON K0E 1L0
2. In Person Attendance – In person attendance will be in the Council Chambers at the Township Office at 1233 Prince Street, Lansdowne, ON.
3. Virtual/Phone Attendance – If you wish to attend virtually/by phone, you are required to register to be an attendee prior to the meeting. Once registered, you will receive a follow up email from the Clerk with the details to attend the meeting by computer or by phone. To register to participate for this meeting option, please visit the Township's website at <https://www.leeds1000islands.ca/en/governing/council-and-committee-calendar.aspx>. Under Upcoming Meetings, select the meeting you are interested in attending. On the meeting agenda, there is a link to register in advance to attend the meeting online or by phone.

If you have any issues registering online, please call 613-659-2415 x 203 before May 2, 2025 and indicate your name, phone number, email address and application you wish to speak to. Staff will register you for the meeting using your email address and you will receive a follow up email from the Clerk with the details on how to attend the meeting by computer or by phone.

Make Your Views Known

The purpose of the Public Meeting is to present planning applications in a public forum as required by the *Planning Act* and to inform the public of the purpose of the application and the effect of the proposed amending Zoning By-Law. At the public meeting, members of the public are provided the opportunity to provide comments and questions regarding the application. No decisions are made at public meetings concerning applications; the public meeting is held to gather public opinion.

This notice has been mailed to you, as required by the *Planning Act*, to ensure that as an interested party you may make your views known on the above application. You may express your support or opposition to the proposed amendment by either attending the above public hearing or sending a letter by mail, email, fax or hand-delivery prior to the hearing date. Any correspondence received will become part of the public record. Please note that written comments may be submitted anytime between the municipality's receipt of a complete application from the applicant and the decision of Council.

No specified person, public body or registered owner to which the by-law would apply shall be added as a party to the hearing of the appeal unless, before the by-law was passed,

the specified person, public body or registered owner of any land to which the by-law applies made oral submissions at a statutory public meeting or written submissions to the Committee of Adjustment prior to the decision or, in the opinion of the Tribunal, there are reasonable grounds to add the specified person or public body as a party.

"Public body" and "specified person" are defined under Section 1(1) of the Planning Act.

Collection of Personal Information:

Personal information is collected in order to gather feedback and communicate with interested parties regarding this development proposal. This information is collected under the authority of the *Planning Act* and in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*. With the exception of e-mail addresses and telephone numbers, all information and comments will become part of the public record and will appear on the Township's website. Council and committee meetings are broadcast live over the internet on Facebook. If you speak at the meeting your voice will be heard in the broadcast. Broadcasts are archived and continue to be publicly available.

Potential Appeal Limitations

If a person or public body would otherwise have an ability to appeal the decision of the Council for the Township of Leeds and the Thousand Islands to the Ontario Land Tribunal (OLT) but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Leeds and the Thousand Islands before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting, or make written submissions to the Township of Leeds and the Thousand Islands before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

Further Information

Additional information regarding the proposal may be obtained by contacting the Planning and Development Department at 613-659-2415 x 205 or by e-mail at planner@townshipleeds.on.ca.

Office Location:

1233 Prince Street, Lansdowne, ON

Mailing Address:

Township of Leeds and the Thousand Islands
1233 Prince Street, P.O. Box 280
Lansdowne, ON K0E 1L0

Township Active Application Website:

<https://www.leeds1000islands.ca/en/growing/active-applications.aspx>

Township Council Public Meeting Website:

<https://www.leeds1000islands.ca/en/governing/council-and-committee-calendar.aspx>

Additional information and materials will be available to the public for electronic viewing at the Township Office. Additional information and materials will be available by email and on the Township website.

Receive a Copy of the Council's Decision

If you wish to be notified of the decision of the Council of the Township of Leeds and the Thousand Islands on the proposed zoning by-law amendment, you must make a written request to Amanda Werner-Mackeler, Planning Technician at:

Township of Leeds and the Thousand Islands
Attn: Amanda Werner-Mackeler, Planning Technician

1233 Prince St, PO Box 280
Lansdowne, ON K0E 1L0
Email: planningtechnician@townshipleeds.on.ca

Accessibility Information

If you are a person with a disability and need Township of Leeds and the Thousand Islands information provided in another format, please contact our Clerk’s office at 613-659-2415 x 231 or clerk@townshipleeds.on.ca.

Multi-Residential Unit Notification

If you have received this notice and you are the owner of land that contains seven or more residential units, please post this notice in a location that is visible to all of the residents.

DATED at the Township of Leeds and the Thousand Islands on **April 10, 2025**.

Marnie Venditti
Director of Planning and Development



Township of
**Leeds and the
Thousand Islands**

DEVELOPMENT APPLICATION

Section 22 (Official Plan Amendment), Section 34
(Zoning Amendment), Section 36 (Holding Zone
Removal), Section 41 (Site Plan Approval) of the
Planning Act

OFFICE USE ONLY

| | | | |
|-----------------------------|---|--|---|
| Application: | D14-2024-012 | Date Received: | October 18, 2024 |
| Roll Number: | 816-025-20800 | Deemed Complete: | April 10, 2025 |
| Application Fee: | \$1500 | <input checked="" type="checkbox"/> Cheque | <input type="checkbox"/> Cash <input type="checkbox"/> Interac <input type="checkbox"/> N/A |
| Posting of Sign By: | <input checked="" type="checkbox"/> Owner | <input checked="" type="checkbox"/> Agent | <input type="checkbox"/> Staff (\$50 Fee) <input type="checkbox"/> Other |
| Posting of Sign Fee: | <input type="checkbox"/> Cheque | <input type="checkbox"/> Cash | <input type="checkbox"/> Interac <input checked="" type="checkbox"/> N/A |

1. APPLICATION TYPE (Check all that apply)

- ☒ Zoning By-Law Amendment ☐ Official Plan Amendment
☐ Site Plan Agreement

2. PRE-CONSULTATION (Attach supporting documentation)

- ☒ TLTI – Staff ☐ Leeds, Grenville & Lanark Health Unit
☒ CRCA ☐ St. Lawrence Parks Commission
☐ Other:

3. COMPLETE APPLICATION REQUIREMENTS

- ☒ Complete Application Form
☒ Authorization of Applicant (if applicable)
☒ Affidavit signed by a Commissioner of Oaths, Notary, etc. (Available at Office)
☒ Township and other Agency (if applicable) Applications and Fees
☒ Cover Letter and/or report
☒ Survey Plan (if available)
☒ Deed
☒ Scaled Sketch with setbacks identified (1 hard copy (11x17 paper or less) and 1 digital copy)
☐ Minimum Distance Separation Calculation Form (if applicable)
☐ All Supporting Information identified through Pre-Consultation including DRT

4. SUBJECT LAND

Assessment Roll Number: 08-12 - 816 - 025 20800
Civic Address: _____
Legal Description (Concession, Lot, Part, Reference Plan numbers): CONCESSION 11, PT. LOTS 22 & 23 (LANSDOWNE), 28R4929, PARTS 11 & PT of PART 10
Date subject land acquired by current owner: JULY 19, 2024

5. REGISTERED OWNER(S)

All owners must be included. If company, identify principals. A separate page may be submitted, if needed.

Name(s): GEORGE TACKABERRY INC. c/o KEVIN TACKABERRY

Company Name (if applicable): GEORGE TACKABERRY INC.

Mailing Address: _____

Phone (home): _____

Phone (cell): _____

Email Address: _____

6. APPLICANT INFORMATION

If an applicant is NOT the owner of the subject lands, written authorization from **all registered owner(s)** must be obtained stating that the agent is authorized to make the application (Section 14)

6.1 Is the applicant the same as the owner?

☐

Yes (same information as above)

☒

No (please fill out below **and** complete Section 14 – Agreement, Authorization and Declaration)

6.2 Name(s): MARK SNIDER

Company Name (if applicable): _____

Mailing Address: _____

Phone (home): _____

Phone (cell): _____

Phone (work): _____

Email Address: _____

7. SUBJECT LAND CHARACTERISTICS

7.1 Please list and describe any existing easements, right-of-ways or restrictive covenants that apply to the subject property (required to be shown on sketch)

COUNTRY LANE (A PRIVATE RIGHT-OF-WAY) CROSSES THE PROPERTY.

7.2 Site Description: (briefly describe factors that may impact the proposed development, such as soil type and depth, lot configuration, steep slopes or low-lying areas, natural feature, etc.)

NO PHYSICAL CHANGES TO THE PROPERTY ARE PROPOSED.

7.3 Dimensions of Subject Land

(SUBJECT TO CONCURRENT CONSENT APP)

| | | | | |
|-----------------------|-----------------|----------|------|-------|
| Total Lot Area: | 0.63 | hectares | 1.56 | acres |
| Lot Depth: | ± 165 | metres | 541 | feet |
| Lot Width (frontage): | ± 32 (ON WATER) | metres | 105 | feet |

7.4 Road Access (include name)

- ☐ Provincial Highway: _____
- ☐ County Road: _____
- ☐ Municipal Road: _____
- ☒ Private Right-of-Way: COUNTRY LANE
- ☐ Water Only: _____

7.5 If access to the subject land is by water only, provide details of parking and docking facilities to be used and the approximate distance of these from the subject land and the nearest public road:

| 7.6 Servicing – Water | Existing | Proposed | Not Applicable |
|-----------------------------------|-------------------------------------|--------------------------|--------------------------|
| Municipal Piped Water System | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Privately Owned and Operated Well | | | |
| <input type="checkbox"/> Dug | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Drilled | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Communal | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Lake or Other Water Body: | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Other: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

| 7.7 Servicing – Sewage | Existing | Proposed | Not Applicable |
|---|-------------------------------------|--------------------------|--------------------------|
| Municipal | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Privately-Owned | | | |
| <input checked="" type="checkbox"/> Individual Sanitary Sewage System | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Communal Sanitary Sewage System | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Composting/Self-Contained Toilet | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Privy | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Outhouse | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Other: (Specify) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

| 7.8 Servicing – Storm Drainage | Existing | Proposed | Not Applicable |
|---------------------------------------|--------------------------|--------------------------|-------------------------------------|
| Sewers | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Ditches | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Swales | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Other (Specify): _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

8. OFFICIAL PLAN, ZONING BY-LAW AND LAND USE INFORMATION

8.1 Official Plan Designation: RURAL (A1), FLOOD PLAIN (A2), WOODLAND (A3), HIGHLY VULNERABLE AQUIFER (A6), AND LOW + MODERATE WILDLAND FIRE HAZARD (A5)

8.2 Special Policy Area: ☐ 1000 Islands ☒ Highly Sensitive Lake Trout Lake ☐ No

8.3 Zoning: RURAL AND FLOOD PLAIN

8.4 Is this a designated heritage property: ☐ Yes ☒ No

8.5 Existing Use(s): (indicate uses and length of time uses have continued)
COTTAGE AND ACCESSORY STRUCTURES (AGE UNKNOWN)

8.6 Proposed Use(s):
UNCHANGED

8.7 Existing Use on Adjacent Lands:

North: RURAL - WOODLANDS/WETLAND

South: LAKE

East: WATERFRONT RESIDENTIAL

West: WATERFRONT RESIDENTIAL

8.8 Previous Use(s): (indicate all previous land uses on the subject land or adjacent lands including any industrial or commercial use, or if there is suspected contamination. Note: When a property is being proposed for a more sensitive land than its current or most recent use, then a Record of Site Condition (RSC) per the Environmental Protection Act (EPA) is required prior to land use change. Please refer to Ontario Regulation 153/04 for list of uses that may require RSC.)

NO PRIOR LAND USE

8.9 Indicate any current or previous application under the *Planning Act* affecting the subject land:

Application Type

File Number

File Status

Minor Variance

Site Plan Agreement

Zoning By-Law Amendment

Official Plan Amendment

Consent CONCURRENT CONSENT APPLICATION - LOT ADDITION TO NORTH

Subdivision

Other:

☐ There have been no previous Planning Act applications affecting the subject lands

| 8.10 Potential Land Use Constraints: | On Subject
Lands | On Adjacent
Lands Within | No |
|--|-------------------------------------|-----------------------------------|-------------------------------------|
| Agricultural Operation including Livestock Facility or Stockyard (If Yes, MDS info must be submitted) | <input type="checkbox"/> | <input type="checkbox"/> 1000m | <input checked="" type="checkbox"/> |
| Waste Management Site or Landfill | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Sewage Treatment Plant or Waste Stabilization | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Provincially Significant Wetland (PSW) | <input type="checkbox"/> | <input type="checkbox"/> 120m | <input checked="" type="checkbox"/> |
| Locally Significant Wetland (LSW) | <input type="checkbox"/> | <input type="checkbox"/> 50m | <input checked="" type="checkbox"/> |
| Area of Natural and Scientific Interest (ANSI) | <input type="checkbox"/> | <input type="checkbox"/> 50m | <input checked="" type="checkbox"/> |
| Flood Plain | <input checked="" type="checkbox"/> | N/A | <input type="checkbox"/> |
| Wellhead Protection (Village of Lansdowne) | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| James W. King Intake Protection Zone - St. Lawrence River - South of Gananoque (OP Schedule A6) | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| Licensed Mine, Pit or Quarry or an area designated for Aggregate Extraction | <input type="checkbox"/> | <input type="checkbox"/> 1000m | <input checked="" type="checkbox"/> |
| Rehabilitated Mine/Pit/Quarry Site? | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Industrial or Commercial Use, or Wrecking Yard
Specify Use: _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Active Railway Line | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Municipal or Federal Airport | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Provincial Highway 401 | <input type="checkbox"/> | <input type="checkbox"/> 250m | <input checked="" type="checkbox"/> |
| Utility Corridor(s) i.e. Power Lines, Hydro Easement | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| i.e. Natural Gas or Oil Pipeline, etc. | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Gas Station - Currently or at Any Time | <input type="checkbox"/> | <input type="checkbox"/> Adjacent | <input checked="" type="checkbox"/> |
| Lands suspected to be contaminated | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Has grading of the subject land been changed by adding earth or other material(s)? | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| Designated Heritage Building/Site | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| 8.11 Additional information that may be relevant to the review of the application: | | | |
| <p>THE CONCURRENT CONSENT (LOT ADDITION) APPLICATION WOULD CREATE THE SUBJECT LANDS AS A 0.63ha RETAINED PARCEL, WHICH WOULD NOT SATISFY THE MINIMUM REQUIRED LOT AREA OF ONE HECTARE. THIS WAS DISCUSSED THROUGH PRECONSULTATION AND DEEMED ACCEPTABLE AS ADDING MORE LAND WOULD FRAGMENT THE WETLAND TO THE NORTH.</p> | | | |
| <input type="checkbox"/> Provided on a Separate Sheet | | | |

9. REQUIRED PLANS

9.1 A detailed sketch in metric has been attached with the required ☒ Yes ☐ No
information as noted in Section 9.2.

All required site plan drawings, elevations, cross-sections, ☒ Yes ☐ No
grading, drainage, etc. along with the required information as
noted in Section 9.3.

9.2 Sketch Requirements

For zoning and official plan amendment applications, a detailed sketch **is required**.
The sketch must include:

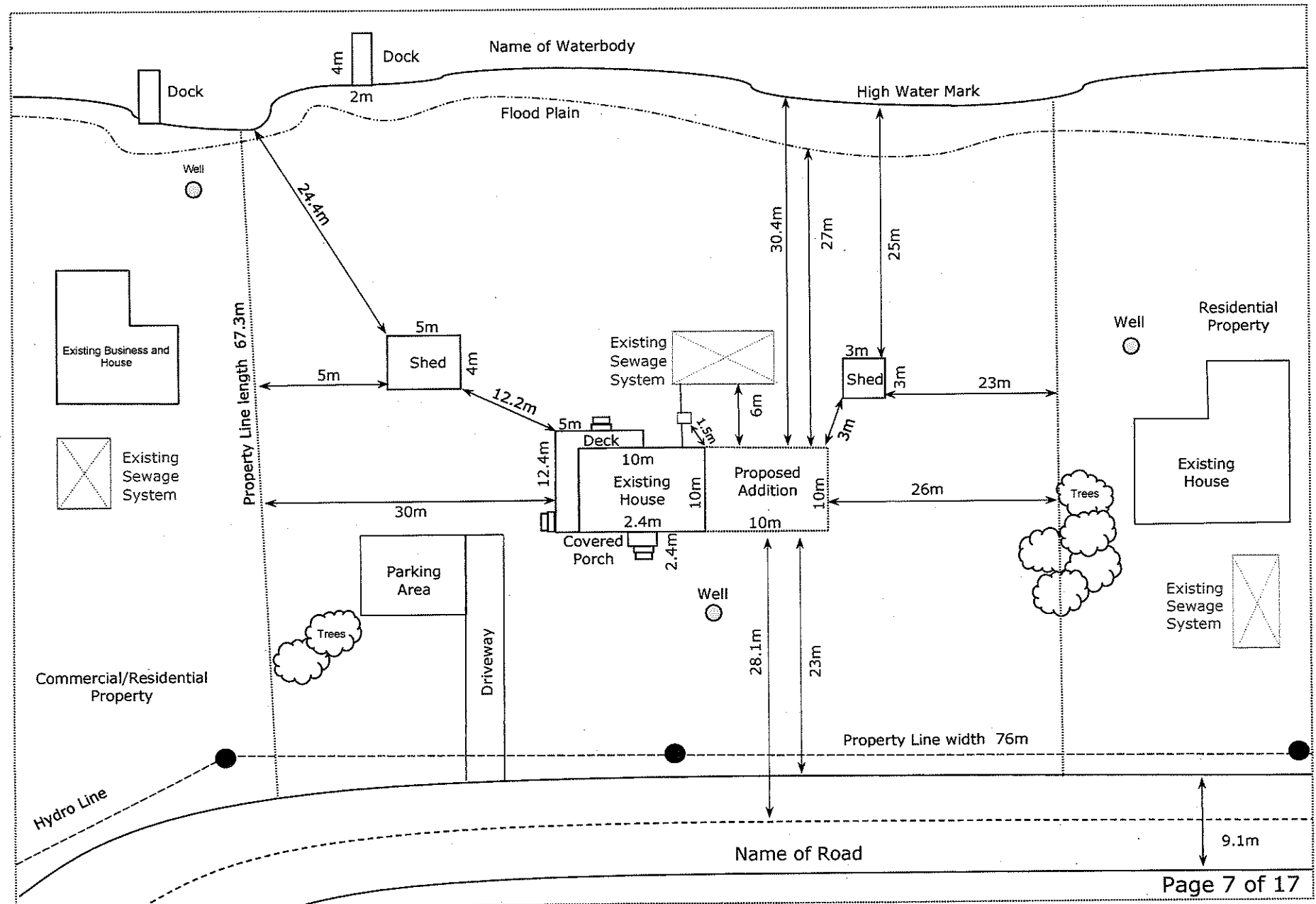
- (a) The boundaries and dimensions of the subject land.
- (b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating their distance from the front lot line, rear lot line and side lot line.
- (c) The approximate location of all natural and artificial features (for example, buildings, railways, roads, watercourses, flood plains drainage, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that:
 - (i) Are located on the subject land and on land that is adjacent to it, and
 - (ii) In the applicant's opinion, may affect the application.
- (d) The current uses of land that is adjacent to the subject land.
- (e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.
- (f) If access to the subject land will be by water only, the location of the parking and docking facilities to be used; and
- (g) The location and nature of any easement affecting the subject land.

9.3 Site Plan Requirements

In addition to Section 9.2, for site plan applications, drawings showing plan, elevation and cross-section views for each building to be erected, except a building to be used for residential purposes containing fewer than 25 dwelling units which drawings are sufficient to display,

- (a) The massing and conceptual design of the proposed building;
- (b) The relationship of the proposed building to adjacent buildings, streets and exterior areas to which members of the public have access;
- (c) The provision of interior walkways, stairs, elevators and escalators to which members of the public have access from streets, open spaces and interior walkways in adjacent buildings;
- (d) Matters relating to exterior design, including without limitation the character, scale, appearance and design features of buildings, and their sustainable design, but only to the extent that it is a matter of exterior design
- (d.1) Matters relating to exterior access to each building that will contain affordable housing units or to any part of such building, but only to the extent that it is a matter of exterior design;
- (e) the sustainable design elements on any adjoining highway under a municipality's jurisdiction, including without limitation trees, shrubs, hedges, plantings or other ground cover, permeable paving materials, street furniture, curb ramps, waste and recycling containers and bicycle parking facilities; and
- (f) facilities designed to have regard for accessibility for persons with disabilities.

9.3 SAMPLE SKETCH – Measurements, setbacks for all structures must be transcribed onto Sections 10 and 11.



10. EXISTING STRUCTURES & SETBACKS ON SUBJECT LAND (Indicate any to be demolished)**10.1 Existing Structures in metres. Include all structures on subject land, including marine facilities and structures under 10 square metres.**

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Stories | Dimensions | | | Year Built |
|-------------------|---------------------|---------------------|-------------------|------------|-------|---------|------------|
| | | | | Length | Width | Height | |
| COTTAGE | 58 m ² | 58 m ² | ONE | 7.9m | 7.3m | ± 4.3m | ? |
| CABIN | 22.3 m ² | 22.3 m ² | ONE | 6.1m | 3.7m | ± 3m | ? |
| SHED | 9.3 m ² | 9.3 m ² | ONE | 3m | 3m | ± 2.75m | ? |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |

10.2 Setbacks of Existing Structures to property boundaries, shoreline, etc. in metres

| Type of Structure | Front | Side | Side | Rear | Water | Flood Plain | Public Road (center) | Right of Way (edge) | Other |
|-------------------|-------|------|-------|---------|-------|-------------|----------------------|---------------------|-------|
| COTTAGE | — | 4.3m | 13m | > 130m? | 9.14m | n/a | n/a | ± 26m | |
| CABIN | | 2.4m | 718m | > 120m? | > 39m | n/a | n/a | 4m | |
| SHED | | 4.4m | ± 18m | > 125m? | > 21m | n/a | | ± 20m | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |

10.3 Existing Parking & Loading Spaces

Existing Number of Standard Parking Spaces: + 3

Existing Number of Barrier Free Parking Spaces: n/a

Existing Number of Loading Spaces: n/a

12. ZONING BY-LAW INFORMATION**12.1** Proposed Zoning: *RS-XX***12.2** Description of Proposal: (describe nature and extent of the rezoning request, reasons for rezoning)

A SITE-SPECIFIC SHORELINE RESIDENTIAL (RS-XX) IS PROPOSED, REZONING THE SUBJECT LANDS FROM RURAL (RU) TO RECOGNIZE THE MINIMUM LOT AREA AS 0.6 ha.

12.3 Is the requested amendment consistent with the Provincial Policy Statement (PPS)? ☒ Yes ☐ No

Explain how the requested amendment is consistent with the PPS.

THE PROPOSED CONCURRENT CONSENT APPLICATION ADDS LAND TO AN ADJACENT PROPERTY IN A MANNER THAT DOES NOT FRAGMENT WETLANDS TO THE NORTH.

12.4 Is the requested amendment consistent with the County Official Plan? ☒ Yes ☐ No

Explain how the requested amendment conforms with the County Official Plan.

NO U.C.L.G. OFFICIAL PLAN POLICY IS IMPACTED - THE PROPOSED REZONING IS AN ANTICIPATED CONDITION OF CONSENT.

12.5 Is the requested amendment consistent with the Township Official Plan? ☒ Yes ☐ No

Explain how the requested amendment conforms with the Township Official Plan.

(AS ABOVE IN 12.4)

12.6 Does the proposal require an amendment to the Township Official Plan? ☐ Yes ☒ No

If yes, list the application number:

12.7 Is the application within an area where the Municipality has pre-determined the minimum and maximum density requirements, or the minimum and maximum height requirements ☐ Yes ☒ No

If yes, provide a statement of these requirements:

12.8 Does the zoning amendment alter the boundaries of an existing area of settlement or require a new area of settlement to be implemented? ☐ Yes ☒ No

If the answer to 12.8 is yes, provide the current Official Plan policies if any dealing with the alteration or establishment of an area of settlement:

12.9 Does the zoning amendment remove land from an area of employment? ☐ Yes ☒ No

If the answer to section 12.9 is yes, provide the current Official Plan policies, if any, dealing with the removal of land from an area of employment:

12.10 Are the lands subject to zoning with conditions? ☐ Yes ☒ No

If the answer to Section 12.10 is yes, provide an explanation of how the proposed amendment complies with the Official Plan policy relating to the zoning with conditions:

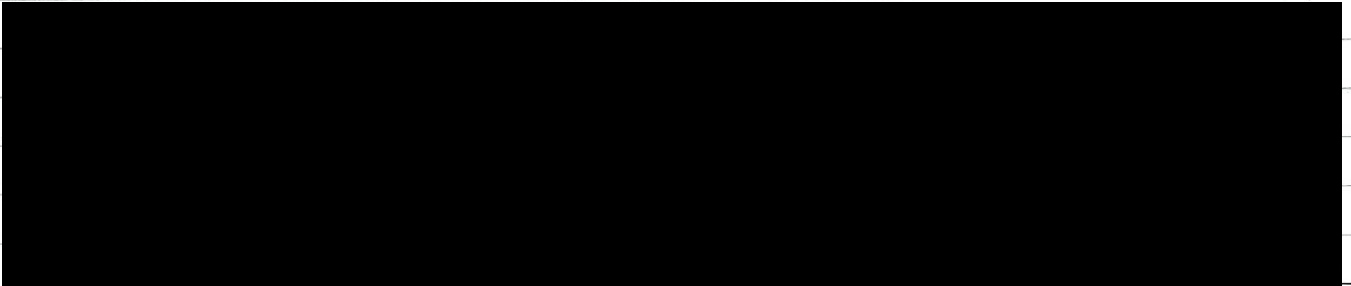
12.11 Would this request permit development on a privately owned ☐ Yes ☒ No
and operated individual or communal septic system more than
4500 litres of effluent per day?

If yes to Section 12.11 The following studies are required: Submitted

(a) A servicing options report ☐ Yes ☒ No

(b) a hydrogeological report ☐ Yes ☒ No

12.12 Name(s) and address(es) of the holders of any mortgages, charges, and other
encumbrances of the property.

A large black rectangular box redacting the information for question 12.12.

12.13 What is your proposed strategy for consulting with the public?

NONE REQUIRED

13.0 OFFICIAL PLAN INFORMATION**13.1** Is the Application:☒ Site Specific☐ Applicable to a larger area or the entire Municipality**13.2** Does the application propose to change, replace, or a policy in the Official Plan? ☐ Yes ☒ No

Is yes, what is the policy to be changed, replaced or deleted?

13.3 Does the application propose to add a policy to the Official Plan ☐ Yes ☒ No**13.4** What is the purpose of the requested amendment?**13.5** What is the designation of the subject lands according to the Official Plan of the United Counties of Leeds and Grenville and explain how the proposed amendment conforms with it:

RURAL LANDS

- SHORELINE RESIDENTIAL IS A PERMITTED USE

13.6 What is the current designation of the subject land in the Township Official Plan and what land uses does the designation authorize?

RURAL - PERMITS SHORELINE RESIDENTIAL

13.7 Does the requested amendment propose to change or replace a designation of a parcel of land in the Official Plan? ☐ Yes ☒ No

If yes, what is the proposed designation?

13.8 What are the land uses that the requested official plan amendment would authorize? *n/a*

13.9 Would this request permit development on a privately owned and operated individual or communal septic system more than 4500 litres of effluent per day? ☐ Yes ☒ No

If yes to Section 13.9 The following studies are required:

Submitted

(a) A servicing options report

☐ Yes ☐ No

(b) a hydrogeological report

☐ Yes ☐ No

13.10 Please indicate whether this land, or land within 120 metres of it, is the subject of an application by the applicant under the act for:

| | Subject Lands | | | Adjacent Lands | | |
|-----------------------------|-------------------------------------|--------------------------|-------------------------|-------------------------------------|--------------------------|-------------------------|
| | Yes | No | File No. | Yes | No | File No. |
| Other Applications | <input type="checkbox"/> | <input type="checkbox"/> | | <input type="checkbox"/> | <input type="checkbox"/> | |
| Minor Variance | <input type="checkbox"/> | <input type="checkbox"/> | | <input type="checkbox"/> | <input type="checkbox"/> | |
| Consent <i>LOT ADDITION</i> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <i>NOT YET ASSIGNED</i> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <i>NOT YET ASSIGNED</i> |
| Amendment to Official Plan | <input type="checkbox"/> | <input type="checkbox"/> | | <input type="checkbox"/> | <input type="checkbox"/> | |
| Amendment to Zoning By-Law | <input type="checkbox"/> | <input type="checkbox"/> | | <input type="checkbox"/> | <input type="checkbox"/> | |
| Minster's Zoning Order | <input type="checkbox"/> | <input type="checkbox"/> | | <input type="checkbox"/> | <input type="checkbox"/> | |
| Plan of Subdivision | <input type="checkbox"/> | <input type="checkbox"/> | | <input type="checkbox"/> | <input type="checkbox"/> | |
| Site Plan | <input type="checkbox"/> | <input type="checkbox"/> | | <input type="checkbox"/> | <input type="checkbox"/> | |
| Other Applications: | <input type="checkbox"/> | <input type="checkbox"/> | | <input type="checkbox"/> | <input type="checkbox"/> | |

If yes has been answered one or more times, please specify the following on a separate page: *SEE CONCURRENT CONSENT APPLICATION*

- 1) the lands affected 2) the name of the approval authority considering it
 3) The purpose of the application 4) the status of the application
 5) effect of the application

Is the separate page attached? ☒ Yes ☐ No ☐ Not Applicable

13.11 If a policy in the official plan is being changed, replaced or deleted or if a policy is being added, indicate the proposed text of the requested amendment or attach a draft of the amendment.

13.12 If the requested amendment changes or replaces a schedule in the official plan, indicate the requested schedule and text that accompanies it:

13.13 If the requested amendment alters all or any part of the boundary of an area of settlement or establishes a new area of settlement, indicate the current official plan policies, dealing with the alteration or establishment of an area of settlement:

13.14 If the requested amendment removes the subject land from an area of employment, indicate the current official plan policies dealing with the removal of land from an area of employment:

13.15 Is the requested amendment consistent with the Provincial Policy Statement (PPS)? ☐ Yes ☐ No

If yes, explain how the requested amendment is consistent with the PPS:

13.16 What is the proposed strategy for consulting with the public?

14. AUTHORIZATION & PERMISSION TO ENTER

All Registered Owner(s) must complete the following to authorize the applicant/agent to make the application on their behalf (if Owner NOT the applicant) and/or to permit Council, Committees of Council, Township Staff or authorized agents to enter the subject property to conduct site inspections related to this application. If multiple owners, an authorization letter from each owner is required.

I/We Kevin Tackaberry,
(name(s) of owner(s) or company)

being the registered owner(s) of the subject property of this application:

- ☒ Hereby authorize the following person(s) to act as our agent to prepare, submit the application and pay any associated fees on my/our behalf (if applicable):

MARK SNIDER
(Name of Applicant(s)/Authorized Agent(s))

- ☒ Hereby authorize Council, Committees of Council, and Township Staff or authorized agents to enter the subject property without notice to conduct site inspections related to this application.
- ☒ Agree to ensure that any driveway/lanes are accessible during the circulation period of the application so that Committee members, Township staff and other agencies do not have any barriers blocking access to the subject land. Island properties will require a boat ride, which is to be provided by the owner/agent. If applicable, Township Staff will make arrangements for the most suitable date and time.
- ☒ Agree to post any required signage on site, which is prepared by Township Staff, with respect to this application in the requested timeframe of the Planning Act and upon notification by Township Staff. I/We also agree to provide photographic evidence of the posted sign at the request of Township Staff.
- ☐ Agree to stake the area of any proposed construction a minimum of 1 week prior to the hearing/meeting date of your application. n/a
- ☒ Have included the written approval of all surveyors, designers, etc. that designed any documents, plot plans etc. to allow the Township to use their plan(s) in the notice or hearing and other documents which are viewable by the public.
- ☒ Hereby acknowledge and provide my consent, in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, that the information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Signature(s): [Signature]

Kevin Tackaberry

Date: Oct 17/24

15. AGREEMENT TO INDEMNIFY & STATUTORY DECLARATION

I/We, MARK SNIDER
(name of owner, applicant or authorized agent)

Of the VILLAGE OF WESTPORT
(name of Municipality)

In the UNITED COUNTIES OF LEEDS & GRENVILLE
(name of County)

Hereby agree to indemnify and save harmless The Corporation of the Township of Leeds and Thousand Islands (the "Municipality") from all costs and expenses that the Municipality may incur in connection with the processing of the applicant's application for approval under the Planning Act.

Without limiting the foregoing, such costs and expenses will include all legal, engineering, planning, advertising and consulting fees and charges incurred or payable by the Municipality to process the application together with all costs and expenses arising from or incurred in connection with the Municipality being required, or requested by the applicant, to appear at the hearing of any appeal to the Local Planning Appeal Tribunal from any decision of the Council approving the applicant's application.

I/We acknowledge and agree that if any amount owing to the Municipality in respect of the application is not paid when due, the Municipality will not be required to process or to continue processing the application, or to appear before the Local Planning Appeal Tribunal in support of a decision approving the application until the amount has been paid in full.

I/We further acknowledge and agree that any amount owing by the applicant to the Municipality is, when due, a debt of the applicant and the Municipality may, in addition to any other remedies available to it at law, recover the amount owing together with interest from the applicant by action.

I/We solemnly declare that all of the above statements contained herein and all exhibits transmitted herewith including this application and any required document attached hereto are true, and I/We make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Signature(s): 

Declared before me at the: VILLAGE OF WESTPORT
(name of municipality)

in the UNITED COUNTIES OF LEEDS & GRENVILLE
(name of County)

This 18 day of OCTOBER, 20 24.


Signature of Commissioner of Oaths, etc.
Patricia Johanna Mueller,
a Commissioner, etc., Province of Ontario,
for the Corporation of the Village of Westport.
(Official Stamp of Commissioner of Oaths)
Expires April 30, 2025.

October 21, 2024

Township of Leeds and the Thousand Islands
P.O. Box 280
1233 Prince Street
Lansdowne, ON
K0E 1L0

Attention: Kyle Peel, Planner

**Re. George Tackaberry Inc. Rezoning Application
Pt. Lot 22 and 23, Concessions 11 (Lansdowne), Township of Leeds and the Thousand Islands**

Dear Mr. Peel,

Enclosed is an application to rezone a proposed 3.6ha parcel of land to be created as a remnant parcel from a concurrent consent application for a property located at 911 Country Lane in the Township of Leeds and the Thousand Islands. Included with this submission are the following:

- Rezoning application;
- Rezoning sketch;
- Sketch prepared by the landowner showing dimensions and locations of structures;
- Property surveys;
- Current Tax Bill as proof of ownership for the subject property, and
- Cheque in the amount of \$1,500.00 to the Township of Leeds and the Thousand Islands.

The proposed concurrent lot addition application would add land to an adjacent property owned by George Tackaberry Inc., leaving a remnant shoreline residential property with an area of 0.63ha and frontage on Charleston Lake. The remnant property lot area of 0.63ha is less than the required minimum lot area of 1ha as per the Township's Shoreline Residential zone. Accordingly, and further to preconsultation discussions with Township Planning staff, this new smaller waterfront property is proposed to be rezoned from Rural (RU) to Shoreline Residential Special Exception X (RS-X) that will have the effect of reducing the minimum required lot area to 0.6ha, notwithstanding the normal minimum required lot area of 1ha. The minimum 1ha lot area standard is not being satisfied because to do so would have required fragmenting an area of wetland just north of the proposed severance line. As proposed, this wetland area would remain intact, as part of the enlarged property to be created through the consent process.

Please feel free to contact me if you have any questions or require additional information.

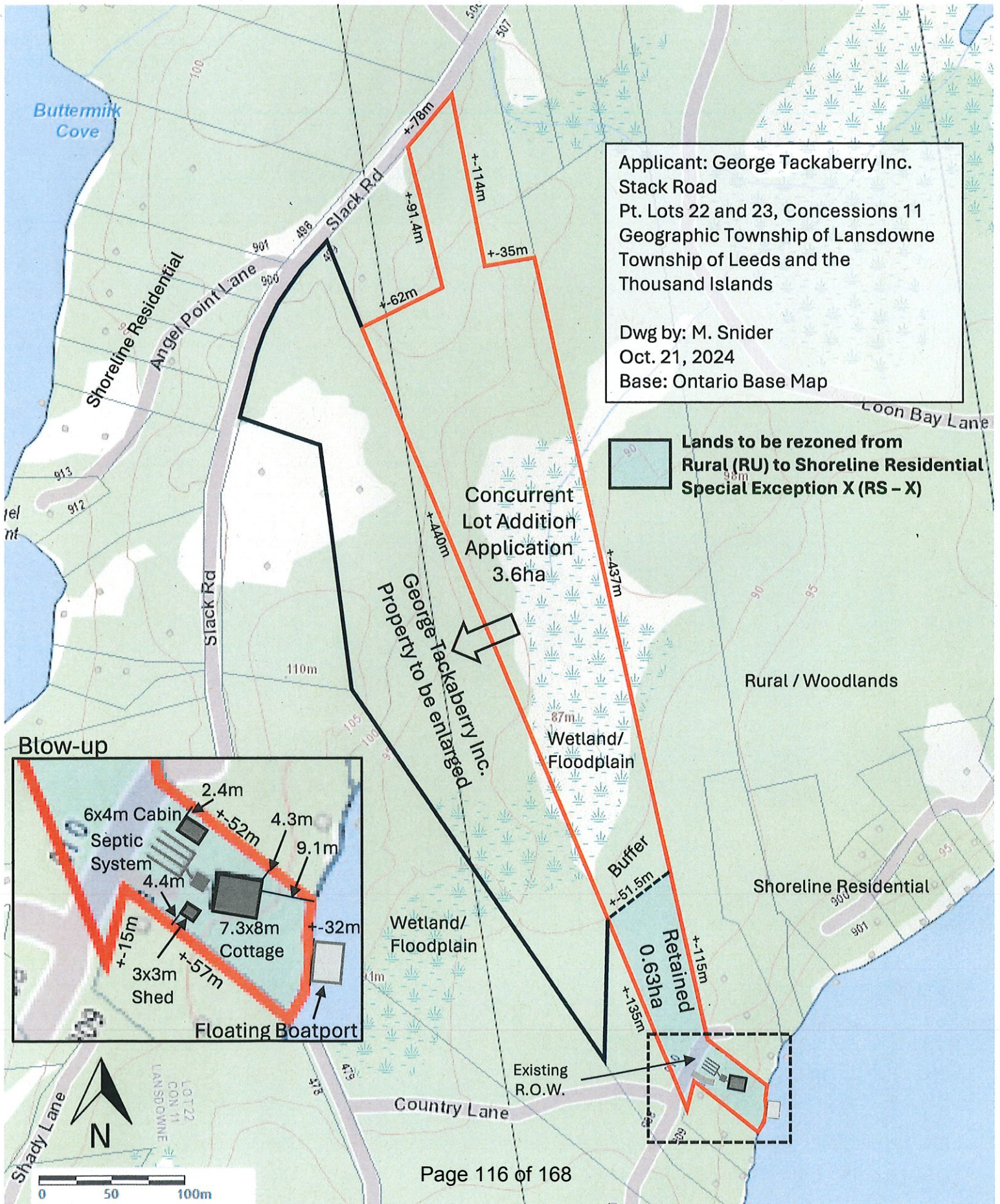
Sincerely,

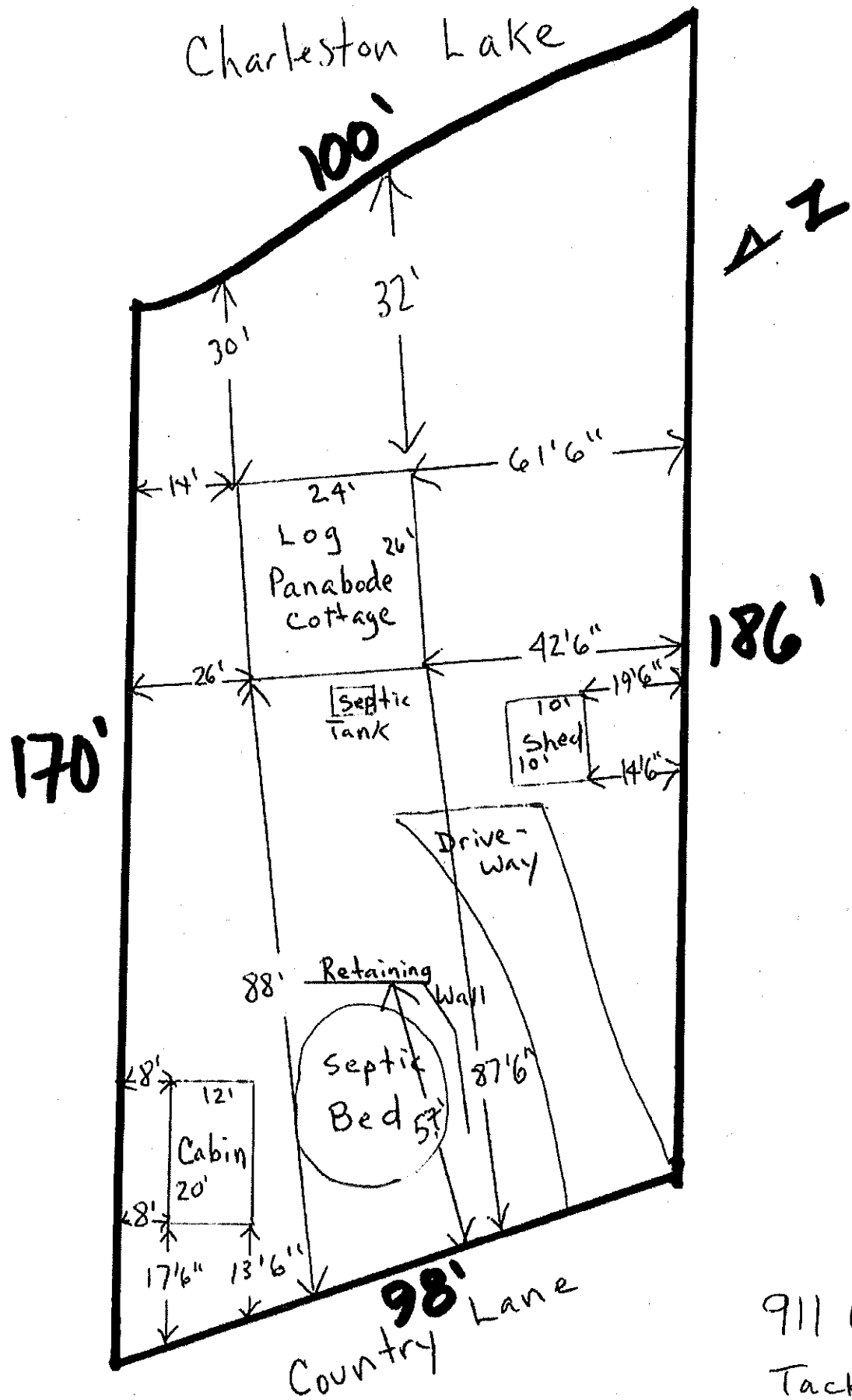


Mark Snider, RPP
343-363-4446



George Tackaberry Inc. Rezoning Sketch



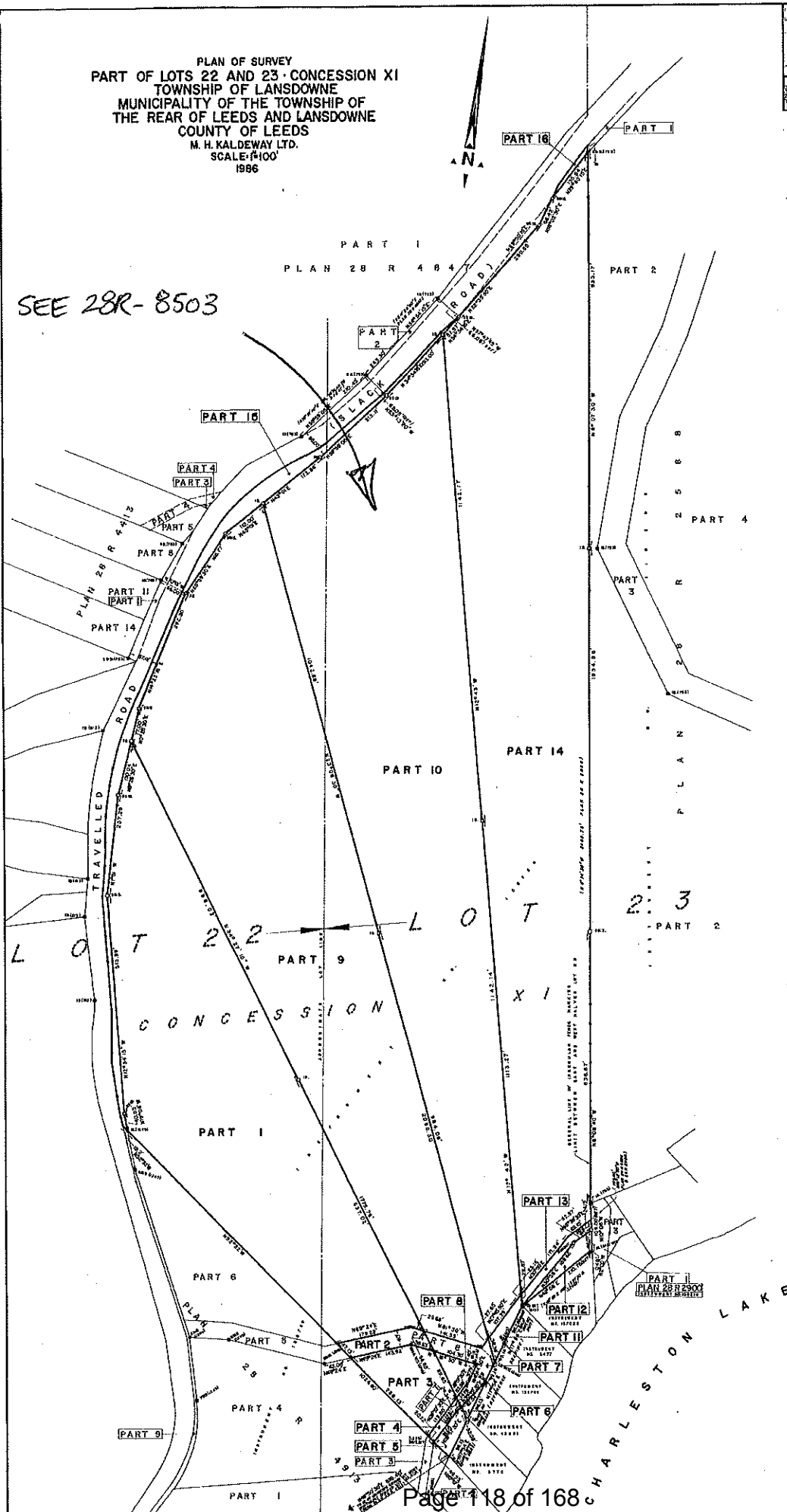


911 Country Lane
Tackaberry

PLAN OF SURVEY
PART OF LOTS 22 AND 23 - CONCESSION XI
TOWNSHIP OF LANSLOWNE
MUNICIPALITY OF THE TOWNSHIP OF
THE REAR OF LEEDS AND LANSLOWNE
COUNTY OF LEEDS
M. H. KALDEWAY LTD.
SCALE: 1"=100'
1986

| | | | |
|---|-----|--|----------|
| REGULATE THIS PLAN TO BE DEPOSITED
UNDER THE REGISTRY ACT. | | PLAN 28 R 4929 | |
| REGISTERED AND RECORDED
17 January 1986 | | REGISTERED AND RECORDED
17 January 1986 | |
| M. H. KALDEWAY | | Judy Sargent | |
| PART | LOT | CON. | PLAN NO. |
| 22 | 23 | XI | 198750 |

SEE 28R-8503

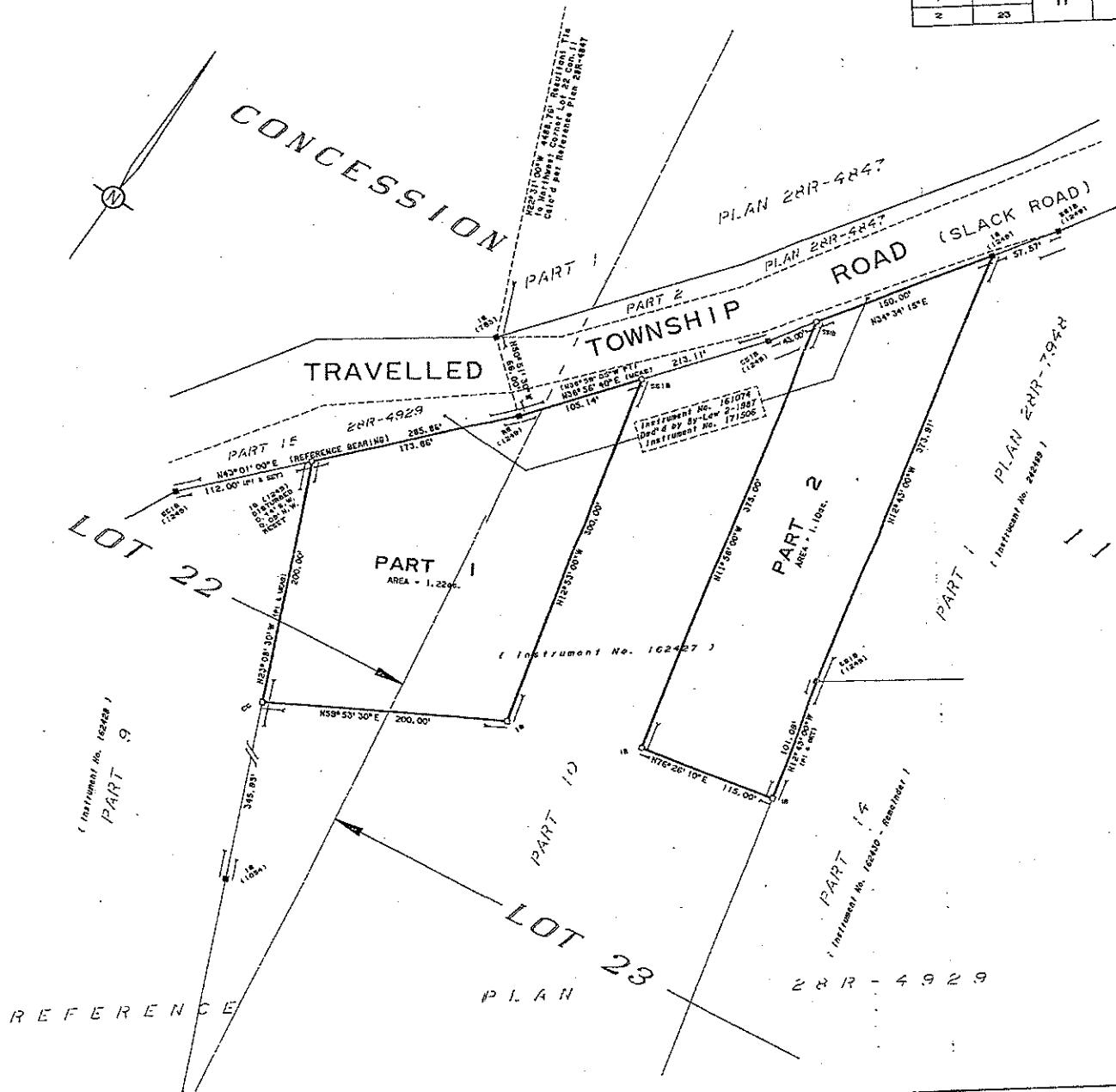


| PART | AREA |
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| 2 | 10.00 AC. |
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| 4 | 10.00 AC. |
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| 13 | 10.00 AC. |
| 14 | 10.00 AC. |
| 15 | 10.00 AC. |
| 16 | 10.00 AC. |

BEARINGS ARE MEASURED AND REFER TO THE BEARING
NOTES ON THE NORTHWEST CORNER OF A SERIES OF
PIECES OF LAND SHOWN ON A PLAN BY M. H. KALDEWAY LTD.
DATE: JULY 1, 1986, REGISTERED IN INSTRUMENT NO.
890.

CAUTION - THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN
THE MEANING OF THE PLANNING ACT.

| | |
|--------|------------------------------|
| LEGEND | |
| 0 | BEARING PLANTED MONUMENT |
| 1 | BEARING PLANT MONUMENT |
| 2 | BEARING STAKE MONUMENT |
| 3 | BEARING SHORT STAKE MONUMENT |
| 4 | BEARING PILE MONUMENT |
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| 100 | BEARING PILE MONUMENT |



| SCHEDULE OF PARTS | | | |
|-------------------|---------|------|----------------|
| PART | LOT | CON. | INSTRUMENT No. |
| 1 | 22 & 23 | 11 | 162427 |
| 2 | 23 | | |

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE REGISTRY ACT.

September 28, 1994

Robert J. Jordan
ONTARIO LAND SURVEYOR

PLAN 26R- 8503

RECEIVED AND DEPOSITED

Sept 29/94

Land Registrar for the
Registry Division of
the County of Leeds

CAUTION:
THIS PLAN IS NOT A PLAN OF SUBDIVISION
WITHIN THE MEANING OF THE "PLANNING ACT".

PLAN OF SURVEY
OF
PART OF LOTS 22 & 23
CONCESSION 11
TOWNSHIP OF LANSDOWNE
MUNICIPALITY OF THE REAR OF LEEDS & LANSDOWNE
COUNTY OF LEEDS
SCALE : 1"=60'

COLLETT, JORDAN & WISEMAN
SURVEYING LTD.
ONTARIO LAND SURVEYORS
1994

NOTE

BEARINGS ARE ASTRONOMIC AND ARE DERIVED FROM THE
SOUTHEAST LIMIT OF SLACK ROAD AS SHOWN ON REFERENCE
PLAN 26R-4925, HAVING A BEARING OF N43°01'00"E.

LEGEND

- IB DENOTES IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- RB DENOTES ROCK BAR
- CC DENOTES CUT CROSS
- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- P1 DENOTES REFERENCE PLAN 26R-4929

SURVEYOR'S CERTIFICATE

- I HEREBY CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH "THE SURVEYS ACT" AND "THE REGISTRY ACT" AND THE REGULATIONS MADE THEREUNDER,
2. THE SURVEY WAS COMPLETED ON SEPTEMBER 28th, 1994.

Sept. 28, 1994

Robert J. Jordan
ONTARIO LAND SURVEYOR

COLLETT, JORDAN & WISEMAN
SURVEYING LTD.
ONTARIO LAND SURVEYORS

Drawn By: B.J. Party Chief: J.G./B.K. Calc'd By: B.J. File No.: 942791



Notice of a Complete Application and Public Meeting **Zoning By-Law Amendment** **(Section 34 of the *Planning Act*)**

Meeting Date: Monday, May 5, 2025

Meeting Time: 6:00 pm

Meeting Location: 1233 Prince Street, Lansdowne, ON.

Options for attending the meeting will be in person in the Council Chambers and virtually online/by phone through Zoom. Details on how to participate are included below.

File Number: D14-2025-004

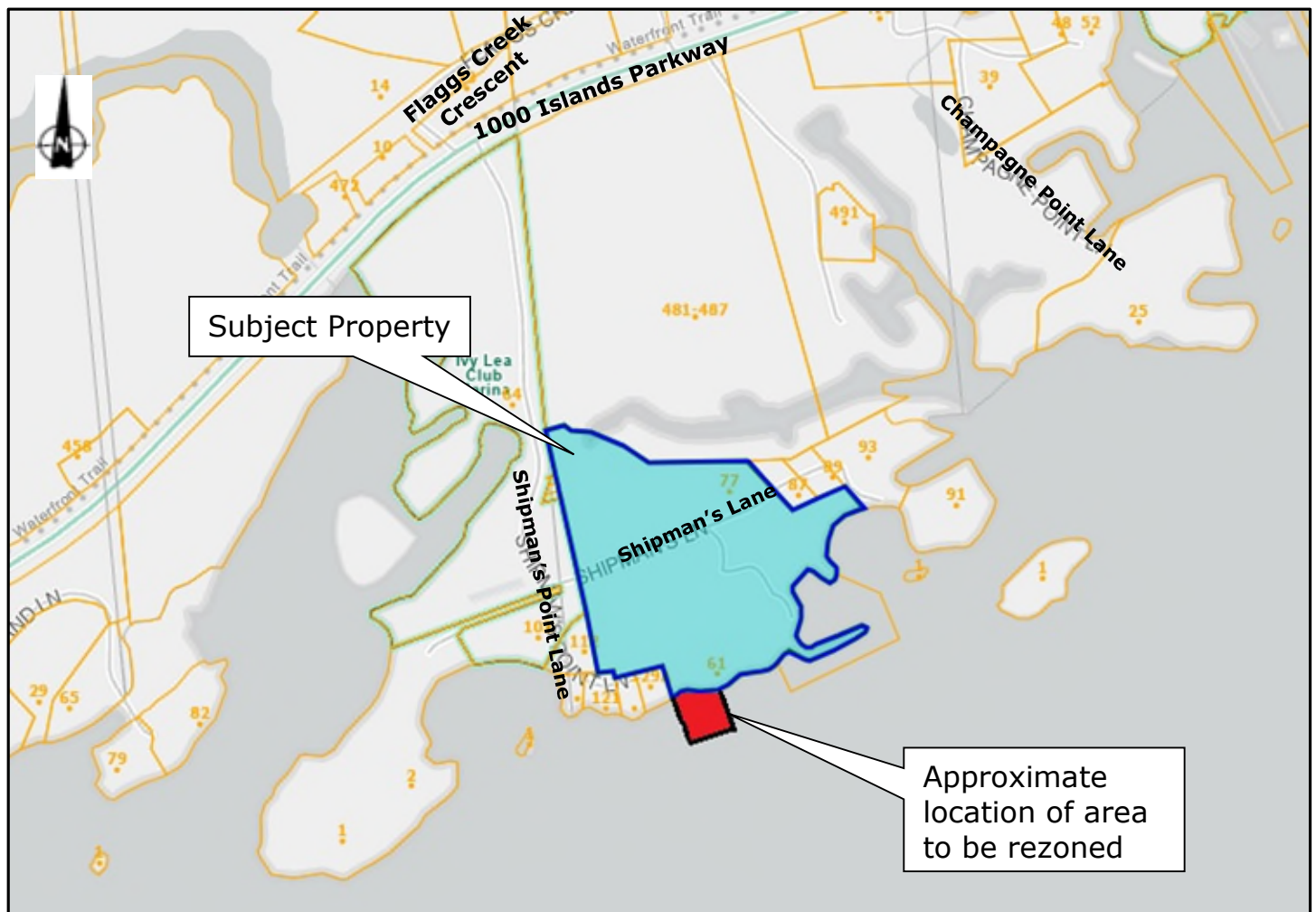
Location: 61-77 Shipman's Lane

Owner: Ivy Lea Properties Inc.

Agent: Fotenn Consultants Inc.

Roll Number: 08-12-812-025-13000-0000

Related Applications: Site Plan Applications SP02/07, SP-01/10, SP01/12, SP02/13, and D11-2022-003



Key Map: Portion of property in black outline and red fill is the land which is the subject of the application for Zoning By-Law Amendment. The portion of property shown in blue outline and blue fill is the subject property associated with the waterfront area.

Purpose and Effect of Proposed Zoning By-Law Amendment

A complete application for zoning by-law amendment has been received from Fotenn Consultants Inc., on behalf of Ivy Lea Properties Inc. for a water lot adjacent to the property municipally known as 61-67 Shipman's Lane. The application is requesting to

change the current Environmental Protection (EP) zone of the water lot to a Tourist Commercial Special Exception (CT-X) zone in Township Zoning By-Law Number 07-079, as amended. The proposed zone change would facilitate an extension of an existing marine facility (stationary dock) for swimming and non-motorized watercraft (e.g. kayaks, canoes and standup paddleboards).

Should the subject application for zoning by-law amendment be approved, the development would be subject to an application for a site plan control modification.

To view the supporting documents with respect to this application, please visit:

<https://www.leeds1000islands.ca/en/growing/active-applications.aspx>

How to Participate:

All comments received will become part of the public record. Comments can be provided in writing, email or verbally in person/virtually. Staff are unable to accept verbal comments over the phone or in person outside of the meeting.

Anyone attending in person in the Council Chambers or virtually online/by phone through Zoom will be provided the opportunity to comment on an application. The ways to comment on an application are:

1. Written Comments – By Email: planningtechnician@townshipleeds.on.ca
By Mail: Township of Leeds and the Thousand Islands
Attn: Amanda Werner-Mackeler, Planning Technician
1233 Prince Street P.O. Box 280
Lansdowne, ON K0E 1L0
2. In Person Attendance – In person attendance will be in the Council Chambers at the Township Office at 1233 Prince Street, Lansdowne, ON.
3. Virtual/Phone Attendance – If you wish to attend virtually/by phone, you are required to register to be an attendee prior to the meeting. Once registered, you will receive a follow up email from the Clerk with the details to attend the meeting by computer or by phone. To register to participate for this meeting option, please visit the Township's website at <https://www.leeds1000islands.ca/en/governing/council-and-committee-calendar.aspx>. Under Upcoming Meetings, select the meeting you are interested in attending. On the meeting agenda, there is a link to register in advance to attend the meeting online or by phone.

If you have any issues registering online, please call 613-659-2415 x 203 before May 2, 2025 and indicate your name, phone number, email address and application you wish to speak to. Staff will register you for the meeting using your email address and you will receive a follow up email from the Clerk with the details on how to attend the meeting by computer or by phone.

Make Your Views Known

The purpose of the Public Meeting is to present planning applications in a public forum as required by the *Planning Act* and to inform the public of the purpose of the application and the effect of the proposed amending Zoning By-Law. At the public meeting, members of the public are provided the opportunity to provide comments and questions regarding the application. No decisions are made at public meetings concerning applications; the public meeting is held to gather public opinion.

This notice has been mailed to you, as required by the *Planning Act*, to ensure that as an interested party you may make your views known on the above application. You may express your support or opposition to the proposed amendment by either attending the above public hearing or sending a letter by mail, email, fax or hand-delivery prior to the hearing date. Any correspondence received will become part of the public record. Please note that written comments may be submitted anytime between the municipality's receipt of a complete application from the applicant and the decision of Council.

No specified person, public body or registered owner to which the by-law would apply shall be added as a party to the hearing of the appeal unless, before the by-law was passed, the specified person, public body or registered owner of any land to which the by-law applies made oral submissions at a statutory public meeting or written submissions to the Committee of Adjustment prior to the decision or, in the opinion of the Tribunal, there are reasonable grounds to add the specified person or public body as a party.

“Public body” and “specified person” are defined under Section 1(1) of the Planning Act.

Collection of Personal Information:

Personal information is collected in order to gather feedback and communicate with interested parties regarding this development proposal. This information is collected under the authority of the *Planning Act* and in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*. With the exception of e-mail addresses and telephone numbers, all information and comments will become part of the public record and will appear on the Township’s website. Council and committee meetings are broadcast live over the internet on Facebook. If you speak at the meeting your voice will be heard in the broadcast. Broadcasts are archived and continue to be publicly available.

Potential Appeal Limitations

If a person or public body would otherwise have an ability to appeal the decision of the Council for the Township of Leeds and the Thousand Islands to the Ontario Land Tribunal (OLT) but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Leeds and the Thousand Islands before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting, or make written submissions to the Township of Leeds and the Thousand Islands before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

Further Information

Additional information regarding the proposal may be obtained by contacting the Planning and Development Department at 613-659-2415 x 226 or by e-mail at seniorplanner@townshipleeds.on.ca.

Office Location:

1233 Prince Street, Lansdowne, ON

Mailing Address:

Township of Leeds and the Thousand Islands
1233 Prince Street, P.O. Box 280
Lansdowne, ON K0E 1L0

Township Active Application Website:

<https://www.leeds1000islands.ca/en/growing/active-applications.aspx>

Township Council Public Meeting Website:

<https://www.leeds1000islands.ca/en/governing/council-and-committee-calendar.aspx>

Additional information and materials will be available to the public for electronic viewing at the Township Office. Additional information and materials will be available by email and on the Township website.

Receive a Copy of the Council’s Decision

If you wish to be notified of the decision of the Council of the Township of Leeds and the Thousand Islands on the proposed zoning by-law amendment, you must make a written request to Amanda Werner-Mackeler, Planning Technician at:

Township of Leeds and the Thousand Islands
Attn: Amanda Werner-Mackeler, Planning Technician
1233 Prince St, PO Box 280
Lansdowne, ON K0E 1L0
Email: planningtechnician@townshipleeds.on.ca

Accessibility Information

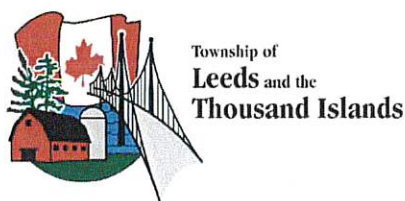
If you are a person with a disability and need Township of Leeds and the Thousand Islands information provided in another format, please contact our Clerk’s office at 613-659-2415 x 231 or clerk@townshipleeds.on.ca.

Multi-Residential Unit Notification

If you have received this notice and you are the owner of land that contains seven or more residential units, please post this notice in a location that is visible to all of the residents.

DATED at the Township of Leeds and the Thousand Islands on April 11, 2025.

Marnie Venditti
Director of Planning and Development



DEVELOPMENT APPLICATION

Section 22 (Official Plan Amendment), Section 34 (Zoning Amendment), Section 36 (Holding Zone Removal), Section 41 (Site Plan Approval) of the Planning Act

OFFICE USE ONLY

| | | | |
|-----------------------------|---|--|---|
| Application: | D14-2025-004 | Date Received: | April 8, 2025 |
| Roll Number: | 812-025-13000 | Deemed Complete: | April 10, 2025 |
| Application Fee: | \$1500 | <input checked="" type="checkbox"/> Cheque | <input type="checkbox"/> Cash <input type="checkbox"/> Interac <input type="checkbox"/> N/A |
| Posting of Sign By: | <input checked="" type="checkbox"/> Owner | <input checked="" type="checkbox"/> Agent | <input type="checkbox"/> Staff (\$50 Fee) <input type="checkbox"/> Other |
| Posting of Sign Fee: | <input type="checkbox"/> Cheque | <input type="checkbox"/> Cash | <input type="checkbox"/> Interac <input checked="" type="checkbox"/> N/A |

1. APPLICATION TYPE *(Check all that apply)*

- ☒ Zoning By-Law Amendment
 ☐ Official Plan Amendment
☐ Site Plan Agreement

2. PRE-CONSULTATION *(Attach supporting documentation)*

- ☒ TLTI – Staff
 ☐ Leeds, Grenville & Lanark Health Unit
☒ CRCA
 ☐ St. Lawrence Parks Commission
☐ Other:

3. COMPLETE APPLICATION REQUIREMENTS

- ☒ Complete Application Form
☐ Authorization of Applicant (if applicable)
☐ Affidavit signed by a Commissioner of Oaths, Notary, etc. (Available at Office)
☒ Township and other Agency (if applicable) Applications and Fees
☒ Cover Letter and/or report
☐ Survey Plan (if available)
☐ Deed
☐ Scaled Sketch with setbacks identified (1 hard copy (11x17 paper or less) and 1 digital copy)
☐ Minimum Distance Separation Calculation Form (if applicable)
☒ All Supporting Information identified through Pre-Consultation including DRT

4. SUBJECT LAND

Assessment Roll Number: 08-12-812-025-13000-0000
 Civic Address: 61 Shipman's Lane
 Legal Description (Concession, Lot, Part, Reference Plan numbers): Concession 1, Part Lot 14, Lots 3, 4, 5 on Plan 28R-13775
 Date subject land acquired by current owner: May 6, 2005

5. REGISTERED OWNER(S)

All owners must be included. If company, identify principals. A separate page may be submitted, if needed.

Name(s): JOE PAL

Company Name (if applicable): IVYLEA PROPERTIES INC.

Mailing Address: [REDACTED]

Phone (home): [REDACTED] Phone (cell): [REDACTED]

Email Address: [REDACTED]

6. APPLICANT INFORMATION

*If an applicant is NOT the owner of the subject lands, written authorization from **all registered owner(s)** must be obtained stating that the agent is authorized to make the application (Section 14)*

6.1 Is the applicant the same as the owner?

☐ Yes (same information as above)

☒ No (please fill out below **and** complete Section 14 – Agreement, Authorization and Declaration)

6.2 Name(s): Kelsey Jones, Senior Planner

Company Name (if applicable): Fotenn Planning + Design

Mailing Address: [REDACTED]

Phone (home): [REDACTED]

Phone (cell): [REDACTED]

Phone (work): [REDACTED]

Email Address: [REDACTED]

7. SUBJECT LAND CHARACTERISTICS

7.1 Please list and describe any existing easements, right-of-ways or restrictive covenants that apply to the subject property (required to be shown on sketch)

Refer to Planning Justification Report included with the submission.

7.2 Site Description: (briefly describe factors that may impact the proposed development, such as soil type and depth, lot configuration, steep slopes or low-lying areas, natural feature, etc.)

Refer to Planning Justification Report included with the submission.

7.3 Dimensions of Subject Land

| | | |
|-----------------------|---------------|------------|
| Total Lot Area: | 5.38 hectares | 13.3 acres |
| Lot Depth: | metres | feet |
| Lot Width (frontage): | 514 metres | 1,686 feet |

7.4 Road Access (include name)

- ☐ Provincial Highway: _____
- ☐ County Road: _____
- ☐ Municipal Road: _____
- ☐ Private Right-of-Way: Shipman's Point Lane
- ☐ Water Only: _____

7.5 If access to the subject land is by water only, provide details of parking and docking facilities to be used and the approximate distance of these from the subject land and the nearest public road:

| 7.6 Servicing – Water | Existing | Proposed | Not Applicable |
|-----------------------------------|-------------------------------------|--------------------------|--------------------------|
| Municipal Piped Water System | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Privately Owned and Operated Well | | | |
| <input type="checkbox"/> Dug | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Drilled | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Communal | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Lake or Other Water Body: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Other: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

| 7.7 Servicing – Sewage | Existing | Proposed | Not Applicable |
|--|-------------------------------------|--------------------------|--------------------------|
| Municipal | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Privately-Owned | | | |
| <input type="checkbox"/> Individual Sanitary Sewage System | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Communal Sanitary Sewage System | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Composting/Self-Contained Toilet | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Privy | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Outhouse | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Other: (Specify) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

| 7.8 Servicing – Storm Drainage | Existing | Proposed | Not Applicable |
|---------------------------------------|-------------------------------------|--------------------------|--------------------------|
| Sewers | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Ditches | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Swales | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Other (Specify): _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

8. OFFICIAL PLAN, ZONING BY-LAW AND LAND USE INFORMATION**8.1** Official Plan Designation: Tourist Commercial , Rural, Flood Plain, Provincially

Significant Wetland, Moderate Wildland Fire Hazard Area, Highly Vulnerable Aquifer, Significant Groundwater Recharge Area

8.2 Special Policy Area: ☒ 1000 Islands ☐ Highly Sensitive Lake Trout Lake ☐ No**8.3** Zoning: CT, CT-9(ii), FP, PSW**8.4** Is this a designated heritage property: ☐ Yes ☒ No**8.5** Existing Use(s): (indicate uses and length of time uses have continued)

The subject lands are owned and operated by The Ivy Lea Club, a private recreational club.

8.6 Proposed Use(s):

The applicant is proposing to extend the existing stationary dock westward along the shoreline to be used for swimming and non-motorized watercrafts, such as kayaks, canoes and standup paddleboards

8.7 Existing Use on Adjacent Lands:

North: Tourist Commercial, Shoreline Residential

South: St. Lawrence River

East: Tourist Commercial, Shoreline Residential

West: Tourist Commercial, Shoreline Residential

8.8 Previous Use(s): (indicate all previous land uses on the subject land or adjacent lands including any industrial or commercial use, or if there is suspected

contamination. Note: When a property is being proposed for a more sensitive land than its current or most recent use, then a Record of Site Condition (RSC) per the Environmental Protection Act (EPA) is required prior to land use change. Please refer to Ontario Regulation 153/04 for list of uses that may require RSC.)

N/A

8.9 Indicate any current or previous application under the *Planning Act* affecting the subject land:

Application Type

File Number

File Status

Minor Variance

Site Plan Agreement

Zoning By-Law Amendment

Unknown (2016)

Approved

Official Plan Amendment

Consent

Subdivision

Other:

☐ There have been no previous Planning Act applications affecting the subject lands

| 8.10 Potential Land Use Constraints: | On Subject
Lands | On Adjacent
Lands Within | No |
|---|-------------------------------------|--|-------------------------------------|
| Agricultural Operation including Livestock Facility or Stockyard (If Yes, MDS info must be submitted) | <input type="checkbox"/> | <input type="checkbox"/> 1000m | <input checked="" type="checkbox"/> |
| Waste Management Site or Landfill | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Sewage Treatment Plant or Waste Stabilization | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Provincially Significant Wetland (PSW) | <input type="checkbox"/> | <input checked="" type="checkbox"/> 120m | <input type="checkbox"/> |
| Locally Significant Wetland (LSW) | <input type="checkbox"/> | <input type="checkbox"/> 50m | <input checked="" type="checkbox"/> |
| Area of Natural and Scientific Interest (ANSI) | <input type="checkbox"/> | <input type="checkbox"/> 50m | <input checked="" type="checkbox"/> |
| Flood Plain | <input checked="" type="checkbox"/> | N/A | <input type="checkbox"/> |
| Wellhead Protection (Village of Lansdowne) | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| James W. King Intake Protection Zone - St. Lawrence River - South of Gananoque (OP Schedule A6) | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| Licensed Mine, Pit or Quarry or an area designated for Aggregate Extraction | <input type="checkbox"/> | <input type="checkbox"/> 1000m | <input checked="" type="checkbox"/> |
| Rehabilitated Mine/Pit/Quarry Site? | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Industrial or Commercial Use, or Wrecking Yard
Specify Use: _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Active Railway Line | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Municipal or Federal Airport | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Provincial Highway 401 | <input type="checkbox"/> | <input type="checkbox"/> 250m | <input checked="" type="checkbox"/> |
| Utility Corridor(s) i.e. Power Lines, Hydro Easement | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| i.e. Natural Gas or Oil Pipeline, etc. | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Gas Station – Currently or at Any Time | <input type="checkbox"/> | <input type="checkbox"/> Adjacent | <input checked="" type="checkbox"/> |
| Lands suspected to be contaminated | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| Has grading of the subject land been changed by adding earth or other material(s)? | <input type="checkbox"/> | N/A | <input checked="" type="checkbox"/> |
| Designated Heritage Building/Site | <input type="checkbox"/> | <input type="checkbox"/> 500m | <input checked="" type="checkbox"/> |
| 8.11 Additional information that may be relevant to the review of the application: | | | |
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| <input type="checkbox"/> Provided on a Separate Sheet | | | |

9. REQUIRED PLANS

- 9.1** A detailed sketch in metric has been attached with the required information as noted in Section 9.2. ☒ Yes ☐ No
- All required site plan drawings, elevations, cross-sections, grading, drainage, etc. along with the required information as noted in Section 9.3. ☒ Yes ☐ No

9.2 Sketch Requirements

For zoning and official plan amendment applications, a detailed sketch **is required**. The sketch must include:

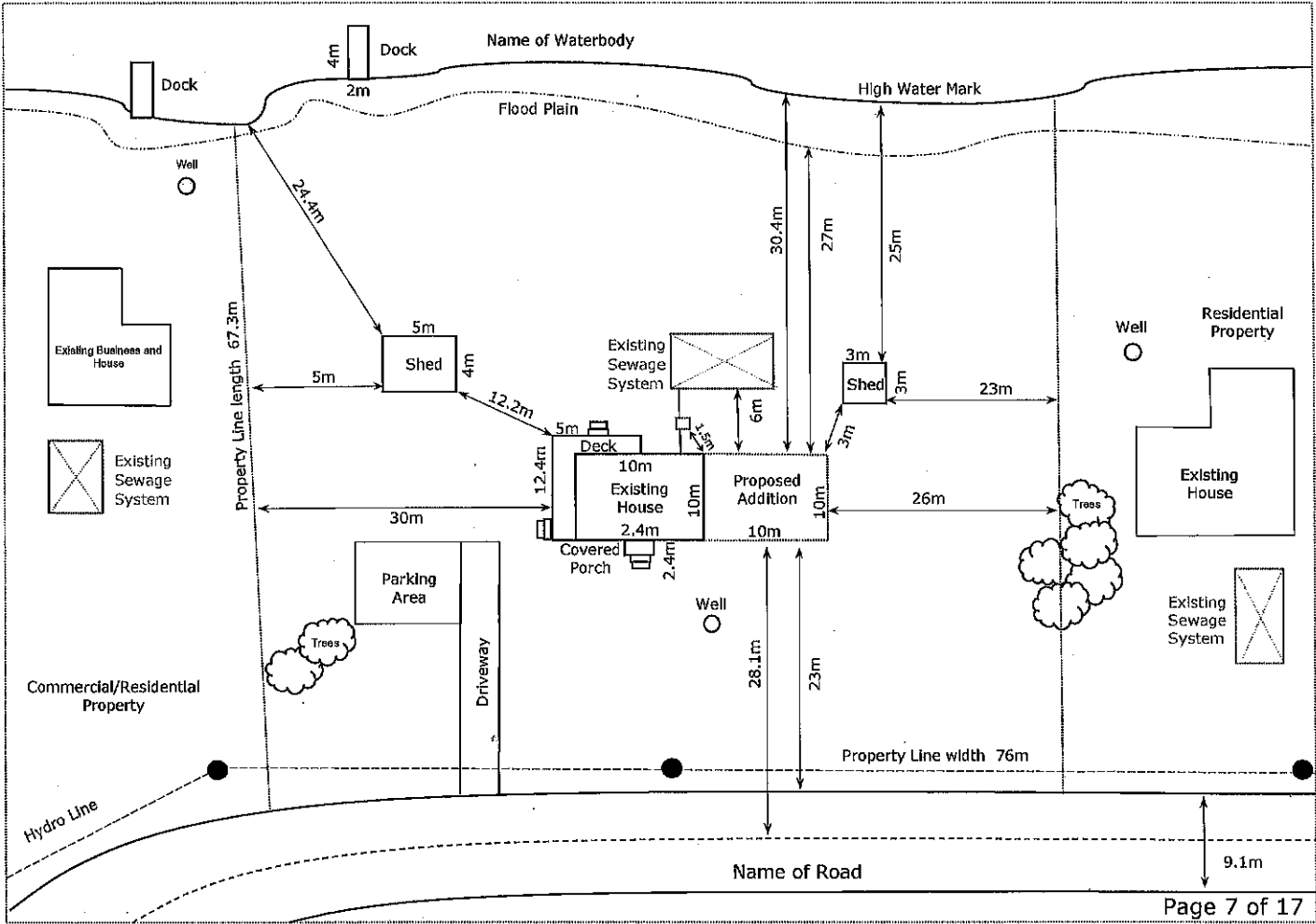
- (a) The boundaries and dimensions of the subject land.
- (b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating their distance from the front lot line, rear lot line and side lot line.
- (c) The approximate location of all natural and artificial features (for example, buildings, railways, roads, watercourses, flood plains drainage, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that:
 - (i) Are located on the subject land and on land that is adjacent to it, and
 - (ii) In the applicant's opinion, may affect the application.
- (d) The current uses of land that is adjacent to the subject land.
- (e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.
- (f) If access to the subject land will be by water only, the location of the parking and docking facilities to be used; and
- (g) The location and nature of any easement affecting the subject land.

9.3 Site Plan Requirements

In addition to Section 9.2, for site plan applications, drawings showing plan, elevation and cross-section views for each building to be erected, except a building to be used for residential purposes containing fewer than 25 dwelling units which drawings are sufficient to display,

- (a) The massing and conceptual design of the proposed building;
- (b) The relationship of the proposed building to adjacent buildings, streets and exterior areas to which members of the public have access;
- (c) The provision of interior walkways, stairs, elevators and escalators to which members of the public have access from streets, open spaces and interior walkways in adjacent buildings;
- (d) Matters relating to exterior design, including without limitation the character, scale, appearance and design features of buildings, and their sustainable design, but only to the extent that it is a matter of exterior design
- (d.1) Matters relating to exterior access to each building that will contain affordable housing units or to any part of such building, but only to the extent that it is a matter of exterior design;
- (e) the sustainable design elements on any adjoining highway under a municipality's jurisdiction, including without limitation trees, shrubs, hedges, plantings or other ground cover, permeable paving materials, street furniture, curb ramps, waste and recycling containers and bicycle parking facilities; and
- (f) facilities designed to have regard for accessibility for persons with disabilities.

9.3 SAMPLE SKETCH – Measurements, setbacks for all structures must be transcribed onto Sections 10 and 11.



10. EXISTING STRUCTURES & SETBACKS ON SUBJECT LAND (Indicate any to be demolished)**10.1** Existing Structures in metres. **Include all structures on subject land, including marine facilities and structures under 10 square metres.**

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Stories | Dimensions | | | Year Built |
|--|-------------------|------------------|-------------------|------------|-------|--------|------------|
| | | | | Length | Width | Height | |
| N/A - no alteration to existing structures proposed. | | | | | | | |
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10.2 Setbacks of Existing Structures to property boundaries, shoreline, etc. in metres

| Type of Structure | Front | Side | Side | Rear | Water | Flood Plain | Public Road (center) | Right of Way (edge) | Other |
|-------------------|-------|------|------|------|-------|-------------|----------------------|---------------------|-------|
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10.3 Existing Parking & Loading Spaces

Existing Number of Standard Parking Spaces:

Existing Number of Barrier Free Parking Spaces:

Existing Number of Loading Spaces:

11. PROPOSED STRUCTURES & SETBACKS ON SUBJECT LAND (Indicate any to be demolished)**11.1** Proposed Development **(if any)** in square metres, metres

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Stories | Dimensions | | | Year Built |
|-------------------|-------------------|-----------------------|-------------------|------------|--------|-------------------|------------|
| | | | | Length | Width | Height | |
| Dock | n/A | 141 m2 (area of dock) | | 3.6 m | 32.9 m | 1.6 m above water | N/A |
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11.2 Setbacks of Proposed Structures to property boundaries, shoreline, etc. in metres

| Type of Structure | Front | Side | Side | Rear | Water | Flood Plain | Public Road (center) | Right of Way (edge) | Other |
|-------------------|-------|--------------|------|------|------------------|-------------|----------------------|---------------------|-------|
| Dock | N/A | 4.6 m (west) | | N/A | Located in water | 0 m | | | |
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11.3 Proposed Parking & Loading Spaces

Proposed Number of Standard Parking Spaces: N/A

Proposed Number of Barrier Free Parking Spaces: N/A

Proposed Number of Loading Spaces: N/A

| |
|--|
| 12. ZONING BY-LAW INFORMATION |
| 12.1 Proposed Zoning: Site-Specific Tourist Commercial |
| 12.2 Description of Proposal: (describe nature and extent of the rezoning request, reasons for rezoning) |
| A zoning by-law amendment is necessary to rezone a portion of the water lot to a site-specific Tourist Commercial (CT-XX) Zone to allow the commercial use of the proposed marine facility for swimming and non-motorized watercraft, and to establish appropriate site-specific performance standards related to the proposed dock. |
| 12.3 Is the requested amendment consistent with the Provincial Policy <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Statement (PPS)? |
| Explain how the requested amendment is consistent with the PPS. |
| Refer to the Planning Justification Report included with the submission. |
| |
| |
| 12.4 Is the requested amendment consistent with the County Official <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Plan? |
| Explain how the requested amendment conforms with the County Official Plan. |
| Refer to the Planning Justification Report included with the submission. |
| |
| |
| 12.5 Is the requested amendment consistent with the Township <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Official Plan? |
| Explain how the requested amendment conforms with the Township Official Plan. |
| Refer to the Planning Justification Report included with the submission. |
| |
| |
| 12.6 Does the proposal require an amendment to the Township Official <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Plan? |
| If yes, list the application number: |

| | | |
|--|--|---|
| 12.7 | Is the application within an area where the Municipality has pre-determined the minimum and maximum density requirements, or the minimum and maximum height requirements | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If yes, provide a statement of these requirements: | | |
|

 | | |
| 12.8 | Does the zoning amendment alter the boundaries of an existing area of settlement or require a new area of settlement to be implemented? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If the answer to 12.8 is yes, provide the current Official Plan policies if any dealing with the alteration or establishment of an area of settlement: | | |
|

 | | |
| 12.9 | Does the zoning amendment remove land from an area of employment? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If the answer to section 12.9 is yes, provide the current Official Plan policies, if any, dealing with the removal of land from an area of employment: | | |
|

 | | |
| 12.10 | Are the lands subject to zoning with conditions? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If the answer to Section 12.10 is yes, provide an explanation of how the proposed amendment complies with the Official Plan policy relating to the zoning with conditions: | | |
|

 | | |

[illegible]

13.0 OFFICIAL PLAN INFORMATION**13.1** Is the Application:☐ Site Specific☐ Applicable to a larger area or the entire Municipality**13.2** Does the application propose to change, replace, or a policy in the Official Plan? ☐ Yes ☐ No

Is yes, what is the policy to be changed, replaced or deleted?

13.3 Does the application propose to add a policy to the Official Plan ☐ Yes ☐ No**13.4** What is the purpose of the requested amendment?**13.5** What is the designation of the subject lands according to the Official Plan of the United Counties of Leeds and Grenville and explain how the proposed amendment conforms with it:**13.6** What is the current designation of the subject land in the Township Official Plan and what land uses does the designation authorize?**13.7** Does the requested amendment propose to change or replace a designation of a parcel of land in the Official Plan? ☐ Yes ☐ No

If yes, what is the proposed designation?

13.8 What are the land uses that the requested official plan amendment would authorize?

13.9 Would this request permit development on a privately owned and operated individual or communal septic system more than 4500 litres of effluent per day? ☐ Yes ☐ No

If yes to Section 13.9 The following studies are required: Submitted

(a) A servicing options report ☐ Yes ☐ No

(b) a hydrogeological report ☐ Yes ☐ No

13.10 Please indicate whether this land, or land within 120 metres of it, is the subject of an application by the applicant under the act for:

| | Subject Lands | | | Adjacent Lands | | |
|----------------------------|--------------------------|--------------------------|----------|--------------------------|--------------------------|----------|
| | Yes | No | File No. | Yes | No | File No. |
| Other Applications | | | | | | |
| Minor Variance | <input type="checkbox"/> | <input type="checkbox"/> | | <input type="checkbox"/> | <input type="checkbox"/> | |
| Consent | <input type="checkbox"/> | <input type="checkbox"/> | | <input type="checkbox"/> | <input type="checkbox"/> | |
| Amendment to Official Plan | <input type="checkbox"/> | <input type="checkbox"/> | | <input type="checkbox"/> | <input type="checkbox"/> | |
| Amendment to Zoning By-Law | <input type="checkbox"/> | <input type="checkbox"/> | | <input type="checkbox"/> | <input type="checkbox"/> | |
| Minster's Zoning Order | <input type="checkbox"/> | <input type="checkbox"/> | | <input type="checkbox"/> | <input type="checkbox"/> | |
| Plan of Subdivision | <input type="checkbox"/> | <input type="checkbox"/> | | <input type="checkbox"/> | <input type="checkbox"/> | |
| Site Plan | <input type="checkbox"/> | <input type="checkbox"/> | | <input type="checkbox"/> | <input type="checkbox"/> | |
| Other Applications: | <input type="checkbox"/> | <input type="checkbox"/> | | <input type="checkbox"/> | <input type="checkbox"/> | |

If yes has been answered one or more times, please specify the following on a separate page:

- 1) the lands affected 2) the name of the approval authority considering it
- 3) The purpose of the application 4) the status of the application
- 5) effect of the application

Is the separate page attached? ☐ Yes ☐ No ☐ Not Applicable

13.11 If a policy in the official plan is being changed, replaced or deleted or if a policy is being added, indicate the proposed text of the requested amendment or attach a draft of the amendment.

| | |
|---|---|
| 13.12 | If the requested amendment changes or replaces a schedule in the official plan, indicate the requested schedule and text that accompanies it: |
|

 | |
| 13.13 | If the requested amendment alters all or any part of the boundary of an area of settlement or establishes a new area of settlement, indicate the current official plan policies, dealing with the alteration or establishment of an area of settlement: |
|

 | |
| 13.14 | If the requested amendment removes the subject land from an area of employment, indicate the current official plan policies dealing with the removal of land from an area of employment: |
|

 | |
| 13.15 | Is the requested amendment consistent with the Provincial Policy Statement (PPS)? <input type="checkbox"/> Yes <input type="checkbox"/> No |
| If yes, explain how the requested amendment is consistent with the PPS: | |
|

 | |
| 13.16 | What is the proposed strategy for consulting with the public? |
|

 | |

14. AUTHORIZATION & PERMISSION TO ENTER

All Registered Owner(s) must complete the following to authorize the applicant/agent to make the application on their behalf (if Owner NOT the applicant) and/or to permit Council, Committees of Council, Township Staff or authorized agents to enter the subject property to conduct site inspections related to this application. If multiple owners, an authorization letter from each owner is required.

I/We IVY LEA PROPERTIES INC. - JOE PAL
(name(s) of owner(s) or company)

being the registered owner(s) of the subject property of this application:

- ☒ Hereby authorize the following person(s) to act as our agent to prepare, submit the application and pay any associated fees on my/our behalf (if applicable):

Fotenn Planning + Design (c/o Kelsey Jones, Senior Planner)

(Name of Applicant(s)/Authorized Agent(s))

- ☒ Hereby authorize Council, Committees of Council, and Township Staff or authorized agents to enter the subject property without notice to conduct site inspections related to this application.
- ☒ Agree to ensure that any driveway/lanes are accessible during the circulation period of the application so that Committee members, Township staff and other agencies do not have any barriers blocking access to the subject land. Island properties will require a boat ride, which is to be provided by the owner/agent. If applicable, Township Staff will make arrangements for the most suitable date and time.
- ☒ Agree to post any required signage on site, which is prepared by Township Staff, with respect to this application in the requested timeframe of the Planning Act and upon notification by Township Staff. I/We also agree to provide photographic evidence of the posted sign at the request of Township Staff.
- ☒ Agree to stake the area of any proposed construction a minimum of 15 days prior to the meeting date of your application.
- ☒ Have included the written approval of all surveyors, designers, etc. that designed any documents, plot plans etc. to allow the Township to use their plan(s) in the notice or hearing and other documents which are viewable by the public.
- ☒ Hereby acknowledge and provide my consent, in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, that the information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Signature(s): 

Date: MARCH 27/2025

15. AGREEMENT TO INDEMNIFY & STATUTORY DECLARATION

I/We, Kelsey Jones
(name of owner, applicant or authorized agent)
 Of the City of Kingston
(name of Municipality)
 In the Province of Ontario
(name of County)

Hereby agree to indemnify and save harmless The Corporation of the Township of Leeds and Thousand Islands (the "Municipality") from all costs and expenses that the Municipality may incur in connection with the processing of the applicant's application for approval under the Planning Act.

Without limiting the foregoing, such costs and expenses will include all legal, engineering, planning, advertising and consulting fees and charges incurred or payable by the Municipality to process the application together with all costs and expenses arising from or incurred in connection with the Municipality being required, or requested by the applicant, to appear at the hearing of any appeal to the Local Planning Appeal Tribunal from any decision of the Council approving the applicant's application.

I/We acknowledge and agree that if any amount owing to the Municipality in respect of the application is not paid when due, the Municipality will not be required to process or to continue processing the application, or to appear before the Local Planning Appeal Tribunal in support of a decision approving the application until the amount has been paid in full.

I/We further acknowledge and agree that any amount owing by the applicant to the Municipality is, when due, a debt of the applicant and the Municipality may, in addition to any other remedies available to it at law, recover the amount owing together with interest from the applicant by action.

I/We solemnly declare that all of the above statements contained herein and all exhibits transmitted herewith including this application and any required document attached hereto are true, and I/We make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

K. Jones
 Signature of Applicant or Authorized Agent
 Declared remotely by Kelsey Jones, who has stated being
 located in the City of Kingston of the Province of Ontario,
(name of City) (name of County)

before me at the Township of Leeds and the Thousand Islands in the United Counties of Leeds and Grenville on this 8th day of April, 2025, in accordance with O. Reg 431/20, Administering Declaration Remotely.

Amanda Zora Werner-Mackeler
 Commissioner of Oaths

AMANDA ZORA WERNER-MACKELER,
 a Commissioner, etc., Province of Ontario,
 the Corporation of the Township of Leeds
 and the Thousand Islands.
 Expires August 18, 2025.

(Official Stamp of Commissioner of Oaths)



GENERAL NOTES:

MATERIALS

1. SPIRAL WELDED STEEL PIPE: TO DIAMETERS AND WALL THICKNESS AS INDICATED, PLAIN ENDS, TO ASTM A252-10, GRADE 3 OR ASTM A5000 GRADE C.
2. HOLLOW STRUCTURAL STEEL SECTIONS: TO CSA G40.20-13/G40.21-13, GRADE 350W, CLASS C OR ASTM A5000 GRADE C.
3. STEEL PLATES, ANGLES, RODS AND PINS: TO CSA G40.20-13/G40.21-13, GRADE 300W.
4. GALVANIZED BOLTS AND NUTS FOR TIMBER AND MOORING CLEAT CONNECTIONS TO ASTM A307.
5. BOLTS, NUTS AND WASHER FOR STRUCTURAL STEEL CONNECTIONS TO ASTM A193 B7.
6. STAINLESS STEEL SCREWS FOR TIMBER DECKING: TO AISI TYPE 305.
7. POLYURETHANE COMPOUND FOR BUSHINGS TO DUROMETER 75D.
8. CHAIN: TO NACM, GRADE 70, WORKING LOAD 3,000 KG. SHACKLE TO EXCEED MINIMUM BREAKING FORCE OF CHAIN. PROVIDE SUFFICIENT CHAIN LENGTH FOR A MINIMUM OF 1 METRE EXTENDING BEYOND THE CHAIN CONNECTION ELEMENT ON THE FLOATING DOCK ONCE FULLY ADJUSTED.
9. TIMBER: TO NLGA STANDARD GRADING RULES FOR CANADIAN LUMBER, SPECIES AND GRADE CATEGORY AS FOLLOWS: DECKING AND FASCIA: PRESSURE TREATED, S-P-F "NO. 2" OR BETTER, STRUCTURAL JOISTS AND PLANKS, S4S. STRINGERS: PRESSURE TREATED, S-P-F "NO. 2" OR BETTER, BEAMS AND STRINGERS, S4S.

WELDING

- A. WELDING IN STEEL: IN ACCORDANCE WITH CSA W59-03. ALL POINTS OF CONTACT TO BE WELDED WITH A 4 MM FILLET WELD UNLESS OTHERWISE NOTED. ELECTRODES TO BE E49XX.
- B. WELDING IN ALUMINUM: IN ACCORDANCE WITH CSA W59.2. WELD SIZES AS INDICATED. ELECTRODES TO BE 4043.
- C. DO NOT DEVIATE THE SIZE, LENGTH AND LOCATION OF WELDS FROM DETAILS SHOWN ON DRAWINGS.
- D. WELD METAL TO BE SOUND THROUGHOUT WITH NO POROSITY OR CRACKS ON THE SURFACE OF ANY WELD OR WELD PASS.
- E. ENSURE COMPLETE FUSION BETWEEN THE WELD METAL AND THE BASE METAL AND BETWEEN SUCCESSIVE PASSES THROUGHOUT THE JOINT.
- F. FELDS SHALL BE FREE FROM OVERLAP AND THE BASE METAL FREE FROM UNDERCUTTING.
- G. FILL ALL CRATERS TO THE FULL CROSS SECTION OF THE WELDS.
- H. FILL AND GRIND TO PROFILE ANY CRATERS AT THE EXTREME ENDS OF FILLET WELDS.
- I. GRIND FLUSH ALL BUTT WELDS.



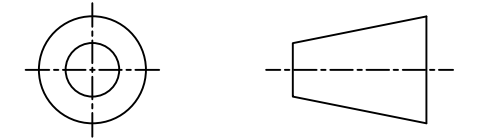
MARINE CONSTRUCTION

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| 3 | AS PER CRCA COMMENTS | 12/20/2024 |
| 2 | AS PER CRCA COMMENTS | 11/27/2024 |
| 1 | AS PER TOWNSHIP COMMENTS | 11/18/2024 |
| 0 | - | - |
| REV | DESCRIPTION | DATE |

THIS DRAWING IS PROPRIETARY AND CONFIDENTIAL AND SHALL NOT BE REPRODUCED OR DISTRIBUTED WITHOUT WRITTEN PERMISSION FROM KEHOE MARINE CONSTRUCTION. THE INFORMATION CONTAINED ON THIS DOCUMENT IS NOT FOR THIRD PARTY USE.

DRAWINGS ARE NOT TO BE SCALED

THIRD ANGLE PROJECTION



DRAWING:

IVY LEA SHORE DOCK PROPOSAL PLAN

CLIENT: IVY LEA MANAGEMENT INC.

LOCATION: 61 SHIPMAN'S LANE

DATE: AUG 08, 2024

PROJECT NO: 24-5469

BY: AD SCALE: N.T.S

SIZE D SHEET # 1 OF 2



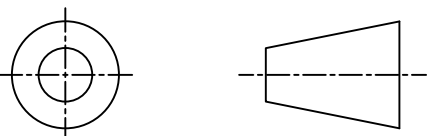
MARINE
CONSTRUCTION

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| 3 | AS PER CRCA COMMENTS | 12/20/2024 |
| 2 | AS PER CRCA COMMENTS | 11/27/2024 |
| 1 | AS PER TOWNSHIP COMMENTS | 11/18/2024 |
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DRAWINGS ARE NOT TO BE SCALED

THIRD ANGLE PROJECTION



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EL. +1.68m±

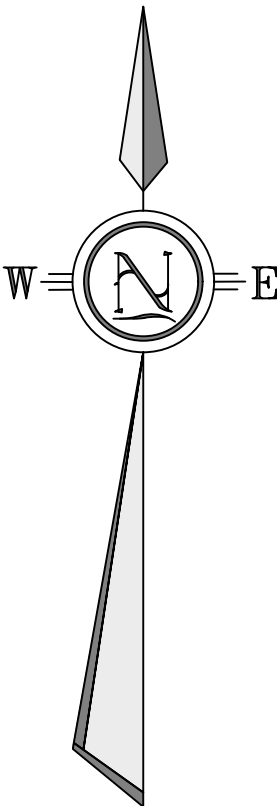
CHART DATUM
EL. +74.07m±

PRIVACY FENCE AT WEST
END OF SHORE DOCK
REINFORCED CONC. DECK
PAN DECK (TYP.)
STEEL FRAME
STEEL PILE CAP CROSSER

8'
OFFSET FROM SHORE

12'

A
1 MAIN DOCK CROSS SECTION
N.T.S.



DRAWING:

IVY LEA SHORE DOCK
SECTIONAL ELEVATION
PROPOSAL

| | | | |
|-------------|-------------------------|--------|-------|
| CLIENT: | IVY LEA MANAGEMENT INC. | | |
| LOCATION: | 61 SHIPMAN'S LANE | | |
| DATE: | AUG 08, 2024 | | |
| PROJECT NO: | 24-5469 | | |
| BY: | AD | SCALE: | N.T.S |
| SIZE | SHEET # | 2 | OF 2 |



61 Shipman's Lane Township of Leeds and the Thousand Islands

Planning Justification Report
Zoning By-law Amendment
March 25, 2025

Prepared for The Ivy Lea Club

c/o Kehoe Marine Construction Ltd.

[REDACTED]

Prepared by Fotenn Planning + Design

[REDACTED]

March 2025

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|------------|--|-----------|
| 1.0 | Introduction | 1 |
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1.0 Introduction

1.1 Introduction

Fotenn Planning + Design has been retained by Kehoe Marine Construction Ltd. (the “Applicant”) on behalf of the Ivy Lea Club to prepare this Planning Justification Report in support of an application for zoning by-law amendment for the property municipally known as 61 Shipman’s Lane (“the subject lands”) in the Township of Leeds and the Thousand Islands. The purpose of the proposed zoning by-law amendment is to permit the extension of the existing stationary dock for the use of swimming and non-motorized watercraft.

Pre-Consultation comments were provided by Township staff on October 10, 2024. Accordingly, the following are being submitted in support of the application:

- / Concept Plan;
- / Wetland Impact Letter;
- / Application fees;
- / Application forms; and,
- / This Planning Justification Report.

The purpose of this report is to assess the appropriateness of the proposed development and the requested amendment in the context of the surrounding area and policy and regulatory framework applicable to the subject lands.

1.2 Development Applications

The subject lands are designated Rural Lands on Schedule A Community Structure and Land Use of the United Counties of Leeds and Grenville Official Plan. The subject lands are designated Tourist Commercial in the Special Policy Area – Thousand Islands (South of Highway 401) on Schedule A1 Land Use Designations of the Township of Leeds and the Thousand Islands Official Plan. The lands are zoned Tourist Commercial (CT), Tourist Commercial Special Exception 9 (CT-9(ii)), Flood Plain (FP) and Provincially Significant Wetland (PSW) on Schedule B – Ward 1 – Shoreline of the Township of Leeds and the Thousand Islands Zoning By-law 07-079.

The proposed development consists of an extension of the existing stationary dock located along the property’s shoreline to be used for swimming and non-motorized watercraft by members of the Ivy Lea Club. The Tourist Commercial Zone permits a marine facility, which is defined as:

“a non-commercial accessory building or structure located on, over, under or immediately adjacent to a waterbody which is used to moor, berth or store a boat. This definition includes a launching ramp, boat lift, dock, boathouse, marine railway, water intake, pump house or similar structure/use. A marine facility shall not include any building used for human habitation or used only for winter boat storage nor any boat service, repair or sales facility or a flood or erosion control structure approved by the Cataraqui Region Conservation Authority, or similar use”.

The definition of a marine facility limits a structure, such as a dock, to non-commercial use and use only by boats. The use of the proposed dock extension will be for commercial use and for swimming and non-motorized watercraft such as kayaks, canoes, standup paddle boards or other apparatuses that do not have a motor. A zoning by-law amendment is necessary to zone a portion of the adjacent water lot to a site-specific Tourist Commercial (CT-XX) Zone to allow the commercial use of the proposed marine facility for swimming and non-motorized watercraft, and to establish appropriate site-specific performance standards related to the proposed marine facility.

A future application to amend the existing site plan control agreement will be required to facilitate the proposed development.

2.0 Surrounding Area and Site Context

The subject lands are located south of the Thousand Islands Parkway, east of Gananoque, with frontage on the St. Lawrence River. The subject lands are irregularly shaped and have an area of approximately 5.38 hectares, with approximately 514 metres of discontinuous water frontage on the St. Lawrence River.



Figure 1: Subject Lands (Source: Township GIS, annotated by Fotenn)

The subject lands are owned and operated by The Ivy Lea Club, a private recreational club containing various amenities for its members and the public. The Ivy Lea Club includes a commercial marina with a dock for motorized boats, a club house, a public restaurant situated on the waterfront, as well as cafes, fitness facilities, and a swimming pool. Vehicular access to the subject lands is from the Thousand Islands Parkway via Shipman's Point Lane.

The surrounding area consists primarily of tourist commercial, shoreline residential, rural industrial, and rural residential uses. Shoreline residential dwellings are located adjacent to the west of the subject lands, rural residential uses are primarily north of the Thousand Islands Parkway, and various marine facilities and rural industrial uses are in proximity to the subject lands to the east.

The following uses are immediately adjacent to the subject lands:

- / **North:** Tourist Commercial, Shoreline Residential
- / **East:** Tourist Commercial (associated with The Ivy Lea Club), Shoreline Residential
- / **South:** St. Lawrence River
- / **West:** Shoreline Residential, Tourist Commercial (associated with The Ivy Lea Club)

2.1 Development Proposal

The applicant is proposing to extend the existing stationary dock westward along the shoreline to be used for swimming and non-motorized watercrafts, such as kayaks, canoes and standup paddleboards. The proposed

dock extension will occur to the west of the existing shoreline dock offset approximately 2.4 metres from the shoreline. The proposed dock extension will be approximately 32.9 metres wide with a depth of approximately 3.6 metres, as shown in Figure 2 below. The proposed dock extension will be elevated above the water on pilings and will be off set 2.4 metres from the shoreline as shown in Figure 3 below. The dock will be setback 4.6 metres from the adjacent residential uses to the west and will incorporate privacy fencing at the west end of the dock. A new path to access the dock extension is proposed along the west side of The Ivy restaurant.

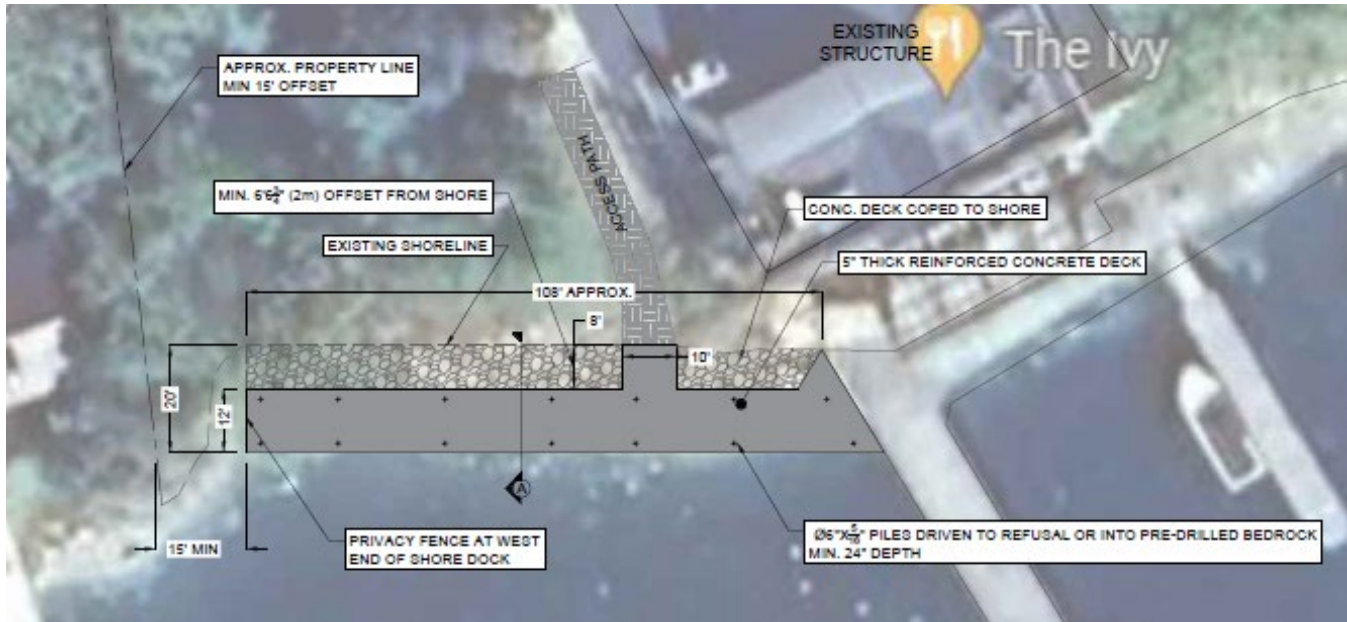


Figure 2: Concept Plan (Source: Kehoe Marine Construction Ltd.)

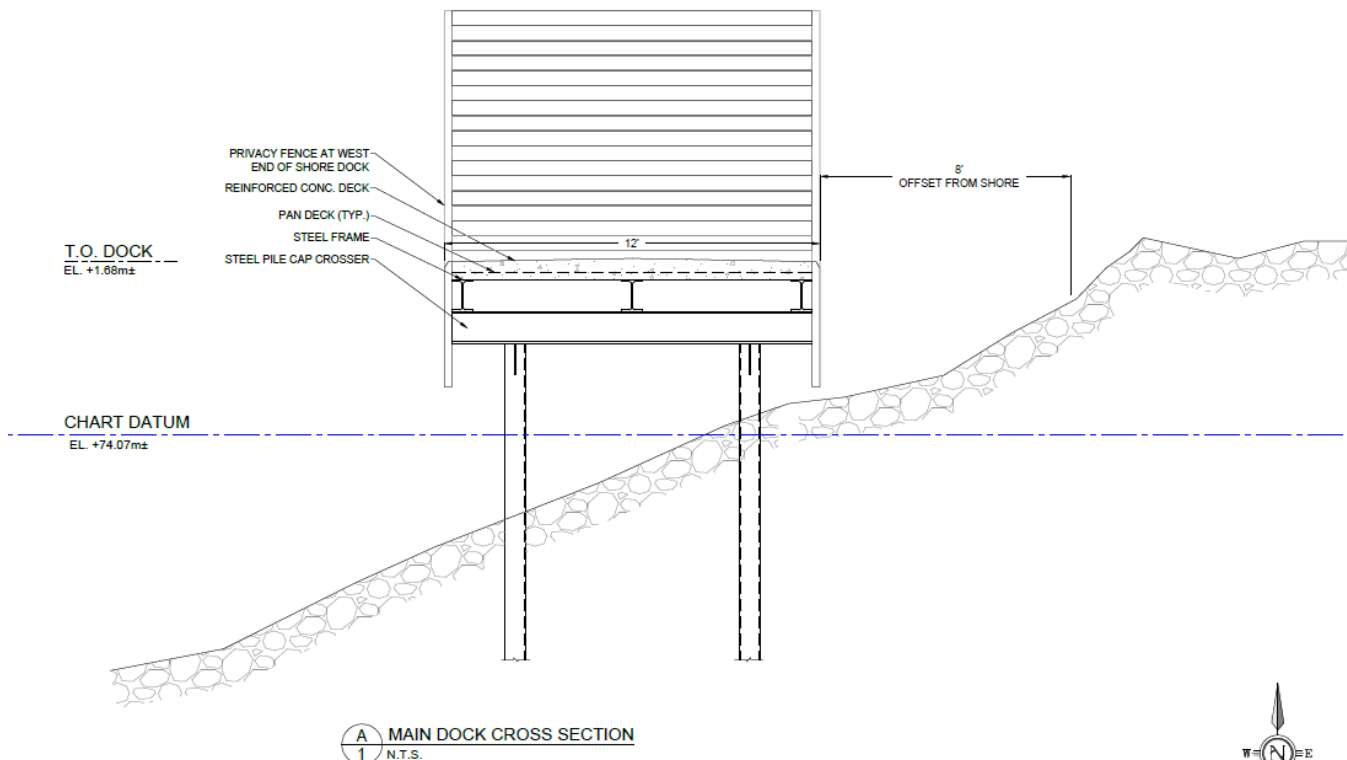


Figure 3: Dock Sectional Elevation (Source: Kehoe Marine Construction Ltd.)

3.0 Supporting Studies

3.1 Wetland Impact Letter

A Wetland Impact Letter was prepared by Ecological Services, dated February 19, 2025. The purpose of the letter is to confirm potential impacts of proposed development within 120 metres of a Provincially Significant Wetland. The ecologist confirmed, through an evaluation of Ministry of Natural Resources and Forestry mapping, that the proposed development is located more than 120 metres from the Provincially Significant Wetland Ivy Lea Wetland Complex. The assessment concludes that no negative impacts to the Ivy Lea Wetland Complex will result from the proposed development of a dock for swimming, and non-motorized watercraft use, if appropriate in-water construction mitigation measures are employed and approved by the Department of Fisheries and Oceans.

4.0

Policy and Regulatory Framework

4.1 Provincial Planning Statement (2024)

The 2024 Provincial Planning Statement (PPS) came into effect on October 24, 2024. The PPS provides policy direction on matters of provincial interest related to land use planning and development. Notably, the 2024 PPS sets out policies to increase the supply and mix of housing options in Ontario while maximizing investments in infrastructure and public service facilities and protecting natural areas, agricultural uses and sensitive areas. Policies that are directed related to the proposal are discussed below, with policies cited in *italics*.

Chapter 2 of the PPS provides policy guidance for development within settlement areas, strategic growth areas, rural areas, rural lands, and employment areas, as well as policies that consider energy conservation, air quality and climate change. Section 2.5 provides policy direction related to rural areas in municipalities noting these areas should encourage development to build upon rural character, use a range of rural infrastructure and public service facilities, and provide opportunities for sustainable and diversified tourism, among other things. Development in rural areas shall be appropriate for the available service levels. The proposed development builds upon the existing rural character and seeks to support the continuation of a commercial tourist use that utilizes existing rural infrastructure and public service facilities.

Chapter 3 of the PPS provides policy direction relating to the efficient provision and use of infrastructure and public service facilities in the province. Matters discussed in Chapter 3 include the planning of transportation systems to meet current and projected needs, land use compatibility between major facilities and sensitive land uses, the sustainable provision of sewage, water, and stormwater, and the promotion of healthy, active and inclusive communities through planning for public spaces and recreation. The proposal development will not result in any change to existing site services, vehicular access or on-site circulation, or on-site stormwater management.

Chapter 4 of the PPS provides policy direction regarding the protection of natural and cultural heritage resources in the province. Policies in this section regulate development in relation to identified natural heritage features, the wise use and management of water, the protection of agriculture, and development of lands with cultural and archaeological heritage.

Section 4.1.8 Development and site alteration shall not be permitted on adjacent lands to the natural heritage features and areas identified in policies 4.1.4, 4.1.5, and 4.1.6 unless the ecological function of the adjacent lands has been evaluated and it has been demonstrated that there will be no negative impacts on the natural features or on their ecological functions.

The subject lands are adjacent to the St. Lawrence River and located approximately 126 metres east of the Ivy Lea Wetland Complex. A Wetland Impact Letter was prepared by a qualified ecologist which confirmed the subject lands are outside the 120 metre evaluation area associated with a provincially significant wetland, therefore no impacts are anticipated. The ecologist also indicated that since the proposed marine facility will be stationary and elevated above the water on piling, there should be minimal impact to the lake bottom. Similarly the ecologist confirmed that subject to appropriate in-water construction mitigation methods employed and approved by the Department of Fisheries and Oceans, no negative impacts to the Ivy Lea Wetland are anticipated.

Section 4.2.2 Development and site alteration shall be restricted in or near sensitive surface water features and sensitive ground water features such that these features and their related hydrologic functions will be protected, improved or restored, which may require mitigative measures and/or alternative development approaches.

The subject lands are adjacent to the St. Lawrence River. The proposed dock extension will be elevated above the water on pilings, which the Wetland Impact Letter indicates will have minimal impact on the lake bottom. Similarly, the proposed dock will be offset 2.4 metres from the shoreline to limit disturbance or interference with ground water features.

Chapter 5 of the PPS provides policy direction protecting public health and safety by regulating development in relation to natural and human made hazards. The policies within this section aim to direct development away from natural and human-made hazard lands, such as floodplains, areas prone to erosion, former mining or aggregate extraction sites, and other contaminated areas. The subject lands contain floodplains as identified on the Township of Leeds and the Thousand Islands Official Plan Schedules. The proposal seeks to extend the existing dock for swimming and non-motorized watercraft use. The proposed use is inherently associated with floodplains and areas prone to erosion and has been designed appropriately to ensure no negative impacts to public health and safety.

It is our professional planning opinion that the proposed development is consistent with the Provincial Planning Statement (2024).

4.2 Official Plan for the United Counties of Leeds and Grenville

The United Counties of Leeds and Grenville Official Plan was adopted by Council on July 23, 2015, approved by the Ministry of Municipal Affairs and Housing on February 19, 2016, and partially approved by the Ontario Municipal Board on March 15, 2017. The Official Plan directs growth management and land use decisions by providing upper-tier land use planning guidance for the United Counties' ten member municipalities, including the Township of Leeds and the Thousand Islands. The policies of this plan intend to ensure a balanced approach to growth management and the protection and conservation of the United Counties' natural and cultural heritage, while encouraging development opportunities that respect the United Counties' unique character and sense of place. The relevant policy considerations of the Official Plan are discussed below (with policies in *italics*).

The following sections of the Official Plan are addressed:

- / Section 3 – Rural Area; and
- / Section 4 – Natural Heritage, Water Resources and Cultural Heritage.

The subject lands are designated Rural Lands on Schedule A Community Structure and Land Use of the United Counties of Leeds and Grenville Official Plan.



Figure 4: United Counties Land Use Designation (Source: United Counties of Leeds and Grenville Official Plan Schedule A)

Section 3 – Rural Area

Section 3.0 of the Official Plan provides policy direction for the Rural Area designation, which is defined as lands outside of the urban settlement areas and rural settlement areas. Rural lands are noted to consist of the rural landscape of the Counties, including prime agricultural areas, rural lands, including recreation and rural residential uses, natural heritage features and systems, and important natural resource areas.

Section 3.3 provides specific policies for rural lands, which are intended to protect the natural amenities and rural character of the Counties while providing opportunities for agricultural uses, resource-based activities, recreation and tourism and other rural land uses.

Section 3.3.2 outlines the land uses permitted within the rural lands designation:

d) Recreational and tourist commercial uses, open space, and limited residential development, may be permitted in rural lands without requiring an amendment to this Plan, but may be subject to a rezoning, and provided the use is permitted in the local municipal Official Plan, and meets the criteria established within the local municipal Official Plan.

e) The specific permitted uses and accessory uses will be established in the local municipal Official Plans and implementing zoning by-laws.

The subject lands are currently operated as a tourist commercial use. The proposed development seeks to extend the existing dock which will support the continued operation of the tourist commercial use in proximity to the Thousand Islands Parkway and St. Lawrence River. No amendment is necessary to the United Counties Official Plan. The lands are in an area characterized by tourist commercial uses and respect the intent of the official plan. A zoning by-law amendment is proposed to the Township of Leeds and the Thousand Islands Zoning By-law 07-079 to add a site-specific exception (CT-XX) to the Tourist Commercial Zone of the zoning by-law to allow the proposed dock extension to be used for swimming and non-motorized watercraft.

Section 4 – Natural Heritage, Water Resources and Cultural Heritage

Section 4 provides policies related to the protection and enhancement of natural features, functions, and systems, the protection and conservation of water resources, along with the conservation of cultural heritage resources.

Section 4.4 provides policy direction for water resources and source water protection in the United Counties. Section 4.4.1 states that the United Counties contain multiple water resources, including the St. Lawrence River, Rideau River, and many rivers, streams, and small inland lake systems, that support the natural environment and the Counties' communities. This section states "*The protection of water resources from contamination and degradation associated with certain land uses and activities is an important element to maintaining the quality of life experienced by both existing residents and businesses, and supporting future growth*". The subject lands are located with frontage on the St. Lawrence River. The proposal seeks to extend the existing stationary dock, which will be elevated from the water on pilings, westward along the shoreline. The Wetland Impact Letter confirmed the proposed development is not anticipated to impact any surrounding wetlands and will have minimal impact on the lake bottom. Additionally, use of the dock will be limited to swimming and non-motorized watercrafts, which will limit the potential for contamination or degradation of the St. Lawrence River.

It is our professional planning opinion that the proposed development conforms with the policies of the United Counties of Leeds and Grenville Official Plan.

4.3 Township of Leeds and the Thousand Islands Official Plan

The Township of Leeds and the Thousand Islands Official Plan was adopted by Council on September 10, 2018 and approved by the United Counties of Leeds and Grenville on November 22, 2018. The Township's official plan establishes a vision, goals, objectives, and policies to manage and direct physical development and the effect of change on the physical, social, cultural, economic, and natural environment until 2031. The official plan contains policies of Council which guide and direct future growth and development within the municipality.

The relevant policy considerations of the official plan are discussed below (with policies in *Italics*). The following sections of the official plan are addressed:

/ Section 3 – Purpose, Goal, Objectives;

- / Section 4 – General Land Use Policies;
- / Section 5 – Land Use Designation Policies;
- / Section 6 – Water Resources Policies; and
- / Section 9 – Implementation.

Section 3 – Purpose, Goal, Objectives

Section 3 of the official plan outlines the Township's vision statement and the plan's overarching goal, as well as various objectives to achieve the stated goals. The objectives of the plan include:

3.3(6) Steady, diversified and balanced economic growth shall be encouraged to build a strong economic base. The Township shall be known as being open for business.

3.3(9) New and existing local businesses and agricultural operations shall be supported in the Township's growth and development.

The proposal seeks to expand the offerings of an existing tourist commercial operation to include swimming and non-motorized watercraft dock facilities.

3.3(15) The natural beauty of the area shall be preserved for the enjoyment of residents, tourists, and future generations.

3.3(16) Natural heritage features and areas shall be identified, preserved and enhanced.

3.3(17) The community's water resources shall be protected.

The subject lands are located with frontage on the St. Lawrence River and in proximity to the Ivy Lea Wetland. The proposed dock will be offset 2.4 metres from the shoreline to reduce interference with the shoreline and will be elevated above the water on pilings to limit disturbance to the lake bottom. The proposal seeks to support the enjoyment of the area's natural beauty by adding an additional dock area specifically for the use of swimming and non-motorized watercrafts.

Section 4 – General Land Use Policies

Section 4 of the official plan provides policies intended to address development issues which are common to more than one land use designation. Section 4.6 provides policy direction related to compatibility and built form. Section 4.6.1 outlines general development design standards, including:

1. In reviewing all types of development and redevelopment applications, Council shall be satisfied that the proposed development is compatible with the surrounding uses, built form, and general character of the area.

2. Compatibility of new development should be assessed based on the following criteria:

a. Height and massing: building height, massing, and scale should be assessed based on the planned or existing uses or adjacent properties, as well as the character established by the prevailing pattern of abutting development and development that is across the street;

The proposed development consists of extending the existing shoreline dock associated with the Ivy Lea Club. The size, area and perimeter of marine facilities, such as docks, are regulated by the zoning by-law. Relief is being sought to allow a dock which has a greater perimeter and area than permitted by the zoning by-law. Despite the relief sought, the proposed extension has been designed to limit scale and appearance. The proposed dock will be elevated above the water approximately 1.6 metres, will have a depth of approximately 3.7 metres and will not incorporate any "fingers" which extend the dock further into the St. Lawrence River, thereby limiting the scale and visibility of the proposed dock extension.

b. Landscaping: Landscaping may be required as a buffer between uses and shall be a sufficient depth as determined through the Zoning By-law;

A privacy fence is proposed on the west end of the proposed dock to provide buffering and ensure privacy is maintained between the proposed dock and the adjacent residential dwellings.

c. Lighting: the potential for light spill over or glare onto adjacent light-sensitive areas or the sky must be minimized;

The proposed dock is not anticipated to incorporate lighting facilities, however any details will be prepared and reviewed through the future application for an amendment to the existing site plan control agreement.

d. Noise and air quality: The development should be located and designed to minimize the potential for significant adverse impacts on adjacent sensitive uses related to noise, odours, and other emissions;

The proposed dock will not result in any emissions or noise sources.

e. Outdoor amenity areas: The privacy of outdoor amenity areas of adjacent residential units must be respected;

Shoreline residential uses are located west of the subject lands. The proposed dock extension will have a minimum setback of 4.6 metres from the lot line and will incorporate privacy fencing on the west end of the dock to ensure privacy to the adjacent shoreline residential uses is provided.

f. Parking: Adequate on-site parking must be provided in accordance with the provisions of the Zoning By-law, with minimal impact on adjacent uses. For higher density development within settlement areas, the Township may consider permitting reduced standards for on-site parking, or off-site parking, where accommodation of on-site parking is not possible;

No additional parking is proposed as part of this zoning by-law amendment application.

g. Safety: The development should be designed with the principles of Crime Prevention Through Environmental Design (CPTED) and other best practices, to ensure that opportunities for crime and threats to public safety are reduced or minimized. CPTED is a proactive design philosophy based on the belief that the proper design and effective use of the built environment can lead to a reduction in the fear and incidence of crime, as well as an improvement in the quality of life (CPTED Ontario, 2014);

The proposal will incorporate CPTED design principles to support property upkeep standards, and a development that minimizes any risk to public safety.

h. Setbacks: Prevailing patterns of rear and side yard setbacks, building separation, landscaped open spaces, and outdoor amenity areas as established by existing zoning where the proposed pattern is different from the existing pattern of development;

The proposed development will provide a minimum 4.6 metre setback from the edge of the dock extension to the property line of the adjacent residential dwellings.

i. Shadowing: Shadowing on adjacent properties must be minimized, particularly on outdoor amenity areas;

The proposed development will not result in shadowing on adjacent properties, as the dock extension complies with the maximum height of a marine facility and will provide required setbacks to the adjacent property.

j. Traffic impacts: The road network or waterbody in the vicinity of the proposed development can accommodate the vehicular or boat traffic generated;

The proposed development will not result in any additional traffic generation.

k. Transition: The need to provide a transition between areas of different development intensity and scale, including through the use of incremental changes in building height, massing, setbacks and stepbacks;

The proposal seeks to extend the existing stationary dock westward along the shoreline. The proposed height and size of the dock extension will be similar to the existing dock along the property's shoreline. Use of the dock extension will be limited to swimming and non-motorized watercrafts which appropriately transition the use of the marine facility in proximity to the neighbouring residential uses.

l. Vehicular access: The location and orientation of vehicle access must take into account impact on adjacent properties including noise, glare, and loss of privacy, as well as safety of pedestrians and pedestrian access.

Vehicular access to the subject lands will continue to be from the Thousand Islands Parkway via Shipman's Point Lane.

Section 4.6.2 of the Plan permits the Township to undertake the preparation of Design Guidelines for certain areas within the Township. The intent of the Design Guidelines is to develop a list of criteria that can be used in the design stage by owners/developers, and by the Township to evaluate development applications to ensure that the broader goals, objectives, and intent of the policies of this Plan are met, while ensuring compatibility with adjacent land uses and that the prevailing character and built form of an area is maintained or enhanced. The subject lands are not subject to any Design Guidelines prepared by the Township at the time of writing this report. The proposal conforms with the intent of the policies and broader objectives of the Plan, as discussed herein. Further the proposed development is compatible with the surrounding tourist commercial landscape. Additionally, the proposed development will provide the appropriate setback and privacy fencing to reduce any impact to the adjacent shoreline residential uses.

Section 5 – Land Use Designation Policies

Section 5 of the official plan contains policies applicable to the Township's land use designations. The subject lands are located in the Special Policy Area – Thousand Islands (South of Highway 401) and designated Tourist Commercial, Rural and Environmental Protection on Schedule A1 Land Use Designations of the Township of Leeds and the Thousand Islands Official Plan. The northern portion of the subject lands is designated Rural and is not in proximity to the proposed development, therefore the policies of the Tourist Commercial and Environmental Protection designations have been assessed below.

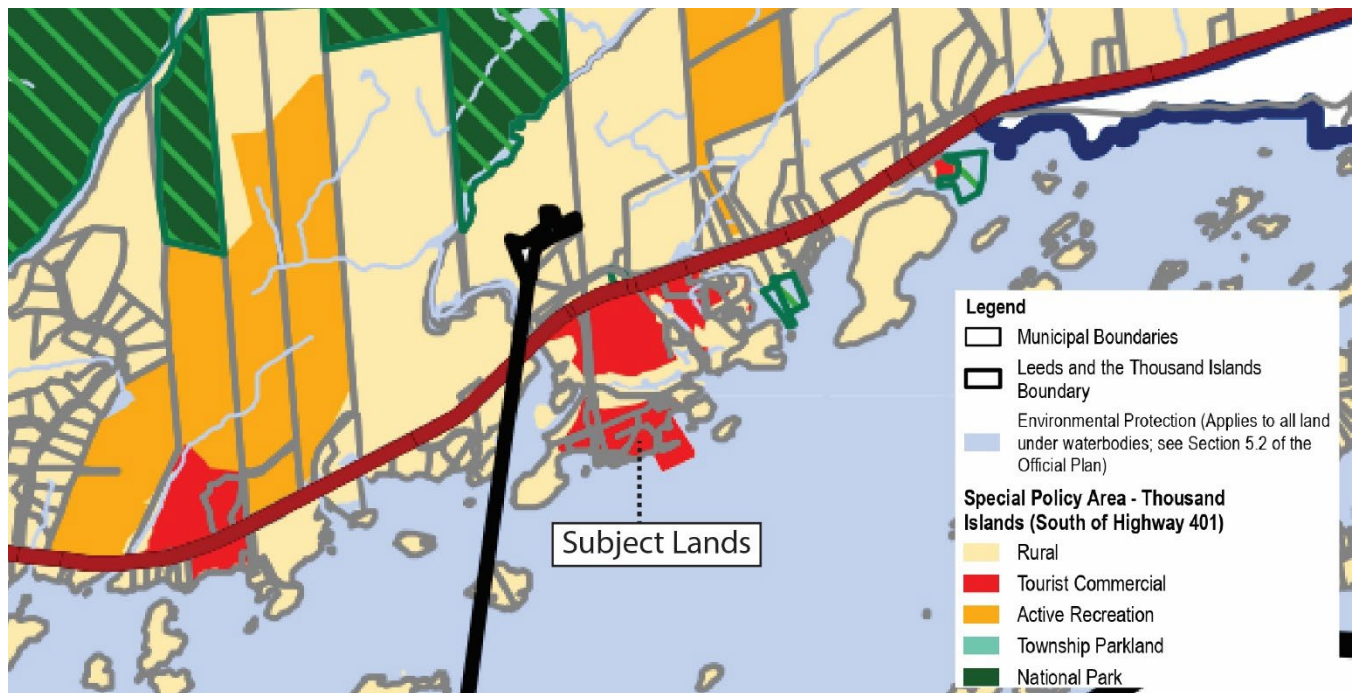


Figure 5: Township Schedule A1 Land Use Designation (Source: TLTI Official Plan)

Section 5.2 provides policies related to the Environmental Protection Designation. The Environmental Protection designation applies to lands within the regulatory 1:100 year flood plain. The area the proposed dock extension is located within St. Lawrence River and therefore within the Environmental Protection designation. The following policies of Section 5.2 apply:

- 1. Structures used for flood or erosion control, shoreline stabilization, water intake facilities, and similar uses, as well as marine facilities which, by their nature, must be located on or near the water, shall generally be permitted, subject to the policies in the Waterfront Areas and Waterbody Protection Section and other applicable policies of this Plan.*
- 2. Buildings or structures attached to waterfront areas or land under water require approvals from various bodies. The type of approvals varies based on location and the type of development proposed. Regulatory bodies include Transport Canada, Parks Canada, the Ministry of Natural Resources and*

Forestry, and the Cataraqui Region Conservation Authority. The Township shall attempt to coordinate policy and approvals wherever possible.

3. Development should be designed and/or of a type that would result in minimal environmental impact.

4. Environmental Protection areas are designated as Site Plan Control areas.

The proposed development consists of an extension of the existing stationary dock which will be located above the water. The policies of the Waterfront Areas and Waterbody Protection Section are reviewed below. Appropriate permits will be obtained from the relevant agencies prior to any work occurring. The proposed dock extension has been designed to be setback from the shoreline as well as elevated above the water on pilings to limit impacts to the shoreline and lake bottom. An amendment to the existing site plan control agreement will be required prior to any work occurring.

Section 5.2.2 provides policies for marine facilities stating “[t]he implementing Zoning By-law shall contain detailed provisions regulating the development of marine facilities. Standards may vary depending on marine facility type (i.e. for docks, boat ports, and boathouses).” A zoning by-law amendment is being sought to allow use the proposed marine facility for swimming and non-motorized watercraft as well as to establish site specific performance standards related to the dimensions and area of the proposed dock.

The subject lands are identified as containing floodplains, a 30-metre water setback, and in proximity to a Provincially Significant Wetland on Schedule A2 Natural Heritage System and Hazards of the Township of Leeds and the Thousand Islands Official Plan.



Figure 6: Township Schedule A2 Natural Heritage System and Hazards (Source: TLTI Official Plan)

Section 5.3 provides policies related to hazards, both natural and human-made, and their risk to health, safety, and constraints on development. While the subject lands are located along the St. Lawrence River, natural hazards, such as erosion and flooding, are not anticipated to constrain the proposed development. The proposed dock extension will be 2.4 metres off set from the existing shoreline to reduce erosion and negative impacts to the shoreline. Further, the proposed development is not anticipated to pose a risk to health and safety.

Section 5.5 provides policies related to the natural heritage system. A Wetland Impact Letter was prepared to assess the proposed development and potential impacts to nearby provincially significant wetland. The Wetland Impact Letter indicates the proposed development will not involve any intrusion into the Ivy Lea wetland as the subject lands are located outside of the 120 metre assessment area from any provincially significant wetlands. The Wetland Impact Letter further indicates that the dock will be setback from the shoreline and elevated above the water on pilings which will limit impact on the lake bottom and shoreline. Overall, the proposed development

is not anticipated to impact the natural heritage system or ecological function of the subject lands or surrounding area.

Section 5.9 provides policy direction for special policy areas, which are portions of the Township where unique attributes require modified approaches to land use and development to protect their fundamental values. The subject lands are located in the Special Policy Area – Thousand Islands (South of Highway 401), as identified on Schedule A1 of the Official Plan.

Section 5.9.2 provides policy direction for the Thousand Islands Special Policy Area, which continues to be an area of unique importance to its residents and tourists.

5.9.2.1 The special character of the Thousand Islands Area is a vital aspect of the Township's economy, and it is recognized that care is needed to prevent overdevelopment that could jeopardize its unique natural and cultural environment, waterfront character, and sense of place enjoyed by both existing residents and tourists, and future generations.

5.9.2.2 The Thousand Islands area, known for its world class natural beauty and special character, will be protected from over-development. Through contextually appropriate development, public access and recreation opportunities will be improved to ensure that it remains a natural and cultural showpiece for the future.

The subject lands are owned and operated by the Ivy Lea Club providing a variety of recreational uses for private and public use. The proposal seeks to support the minor expansion of the existing tourist commercial uses through a proposed extension of the stationary dock for swimming and non-motorized watercraft use. The proposed development is contained within the boundaries of the subject lands and is not expected to result in overdevelopment or jeopardize the unique natural and cultural characteristics of the area. The subject lands are currently developed with an existing dock for motorized watercraft use, a restaurant, club house, fitness facility, and swimming pool used by members of the Ivy Lea Club and the public. The tourist commercial use of the lands benefits from its location within the Special Policy Area due to its close proximity to the Thousand Islands Parkway, offering a close connection to Highway 401, and frontage on the St. Lawrence River for the development of the proposed dock extension, which contributes to the commercial use of the lands and unique waterfront character of the lands and surrounding area for members of the Ivy Lea Club and tourists. The proposed development further contributes to contextually appropriate water recreational development.

5.9.2.2.2 provides policies regulating new development for commercial, industrial, and active recreation uses in the special policy area:

5.9.2.2.2.1. Tourist Commercial and Limited Industrial

b) Tourist commercial uses shall be encouraged as the main form of commercial development south of Highway 401. The uses permitted on lands designated Tourist Commercial in this Official Plan, located south of Highway 401, shall generally be limited to tourist accommodation, dining, tourist services, and similar uses, as well as multi-residential uses associated with a tourist commercial use.

The proposed zoning by-law amendment seeks to allow the extension of the existing stationary dock for swimming and non-motorized watercraft use. The proposal seeks to support the existing tourist commercial use of the subject lands.

g) Tourist commercial and industrial uses are designated as Site Plan Control areas

A future application to amend the existing Site Plan Control agreement will be required to facilitate the development as proposed.

Section 6 – Water Resources Policies

Section 6.0 of the Official Plan provides policies related to water resources. Section 6.1.4 addresses waterfront area and waterbody protection. The lands are located with frontage on St. Lawrence River, therefore, the policies of Section 6.1.4.2 regarding waterfront development, apply. The purpose of these policies is to ensure that development in the waterfront areas maintains or complements the character of the existing development and preserves the ecological and natural features of the lands, water, and shoreline.

6.1.4.2.1 Permitted uses in waterfront areas shall be low density residential uses, parkland and natural areas, recreational and tourist commercial uses, including active recreation and small-scale industrial and commercial uses directly servicing the waterfront community.

The subject lands consist of an existing tourist commercial use, The Ivy Lea Club, which utilizes the property's frontage on the St. Lawrence River to support a variety of recreational and tourist commercial uses. The proposed extension of the stationary dock for swimming and non-motorized watercraft will support the region's recreational and water-based tourism.

6.1.4.2.2 For clarity, shoreline development including marine facilities shall be in accordance with the policies of the Environmental Protection Section of this Plan.

The Environmental Protection policies of Section 5.2 were reviewed above. The proposed extension of the stationary dock along the shoreline will be in accordance with the policies of Section 5.2.

6.1.4.2.3 It is the intent of this Plan that new development in waterfront areas be directed to lands that are physically suitable for development in their natural state, in an effort to maintain the area's unique character.

The subject lands area occupied by tourist commercial uses associated with the Ivy Lea Club. The Ivy Lea Club currently has an existing dock for motorized watercraft use along a hardened shoreline area. The proposed dock extension will be 2.4 metres offset from the shoreline to maintain the existing shoreline in its natural state. Additionally, no changes to existing landscaped open spaces are proposed, which will maintain the unique character of the lands and surrounding area.

6.1.4.2.11 Site Plan Control may apply to all lots which abut waterbodies and watercourses and shall be used to help ensure that all development and redevelopment meets the intent of these policies.

A future application to amend the existing site plan control agreement will be required to facilitate the development of the lands as proposed.

Section 6.1.4.4.1 provides policies related to hazard lands stating "[a]ny application for development along waterfront areas is subject to the policies of the Natural Hazards Section of this Plan, in consultation with the Cataraqui Region Conservation Authority". The Natural Hazards policies of Section 5.3 were reviewed above. The proposed development conforms with the Natural Hazards policies and the Cataraqui Region Conservation Authority has been consulted and will continue to be consulted regarding the proposed development.

Section 9 – Implementation

Section 9.0 of the official plan details the policies for administering and implementing the official plan. Section 9.19 provides direction for zoning by-law amendments:

2. *Amendments to the Zoning By-law will be made only after public notice and consultation as required by the Planning Act and consultation with affected authorities or agencies have been undertaken to satisfaction of Council.*

The proposal will conform to the relevant approval process as outlined in the Planning Act for a zoning by-law amendment.

3. *Privately-initiated applications for amendments to the provisions of a new comprehensive Zoning By-law that implements this Official Plan (i.e. where the Zoning By-law was repealed and a new Zoning By-law was adopted) shall not be considered within two (2) years of the date the new Zoning By-law comes into effect, unless otherwise permitted by a Council resolution to allow the application.*

The proposal is outside of the two-year memorandum on zoning by-law amendments given the passing date of November 2007.

It is our professional planning opinion that the proposed development conforms to the policies of the Township of Leeds and the Thousand Islands Official Plan.

5.0 Current and Proposed Zoning

The subject lands are regulated by the Township of Leeds and the Thousand Islands (TLTI) Zoning By-law No. 07-079 and are currently zoned Tourist Commercial (CT) Zone, Tourist Commercial Site-specific Exception 9 (CT-9) Zone, Floodplain (FP) and Provincially Significant Wetland (PSW) Zone in the TLTI Zoning By-law 07-079.

The proposed zoning by-law amendment applies to the water lot abutting the subject lands (as shown in Figure 7 below), which is not subject to a specific zone category. The majority of the subject lands are zoned Tourist Commercial (CT), therefore it is proposed to rezone a portion of the abutting water lot to a site-specific Tourist Commercial (CT-XX) Zone. The CT Zone permits a range of commercial and recreational uses, including a marine facility. The zoning by-law defines a marine facility as:

“a non-commercial accessory building or structure located on, over, under or immediately adjacent to a waterbody which is used to moor, berth or store a boat. This definition includes a launching ramp, boat lift, dock, boathouse, marine railway, water intake, pump house or similar structure/use. A marine facility shall not include any building used for human habitation or used only for winter boat storage nor any boat service, repair or sales facility or a flood or erosion control structure approved by the Cataraqui Region Conservation Authority, or similar use”.

The definition of a marine facility limits a structure, such as a dock, to non-commercial use and use only by boats. The proposed use of the dock extension will be for commercial use and for swimming and non-motorized watercraft such as kayaks, canoes or standup paddle boards. A zoning by-law amendment is necessary to rezone a portion of the water lot to a site-specific Tourist Commercial (CT-XX) Zone to allow the commercial use of the proposed marine facility for swimming and non-motorized watercraft, and to establish appropriate site-specific performance standards related to the proposed dock.

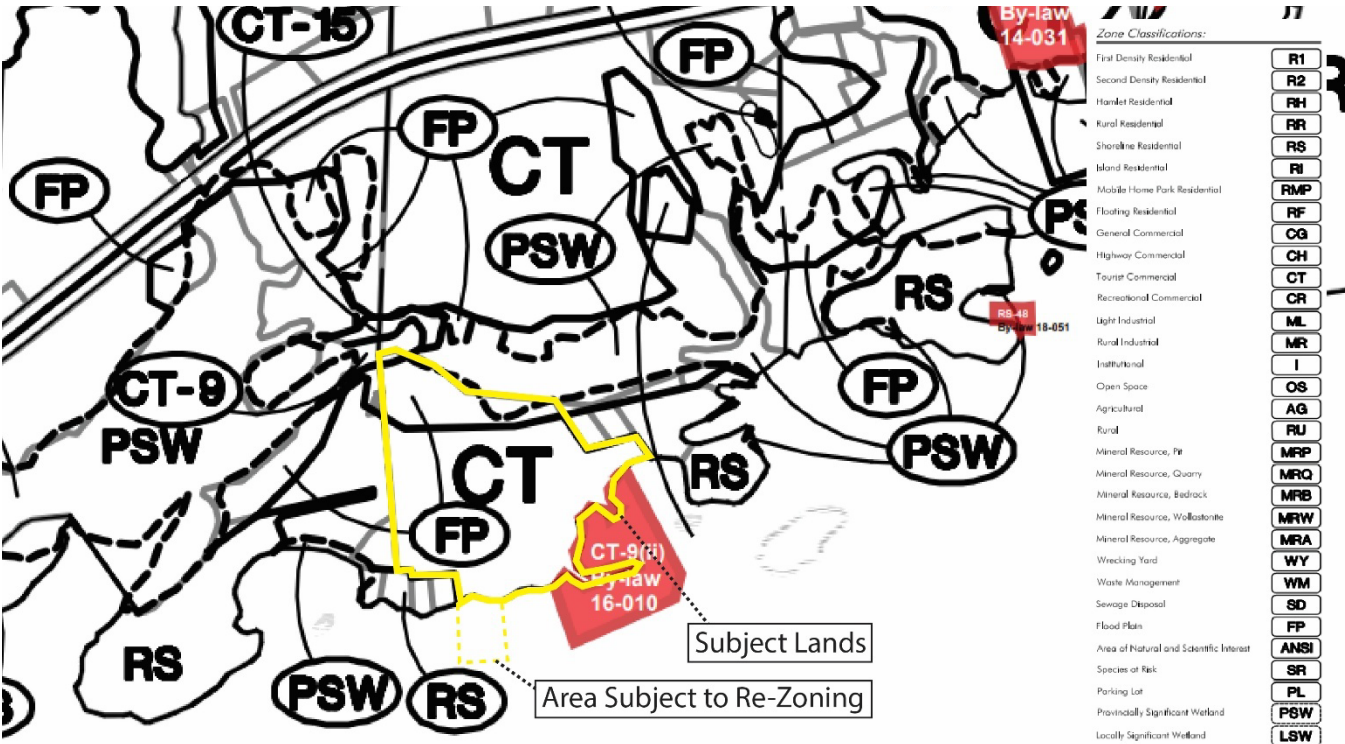


Figure 7: Current Zoning (Source: Township Zoning By-law No. 07-079 Schedule B-Ward 1- Shoreline)

The following table provides a review of the proposed development against the Tourist Commercial (CT) Zone provisions and relevant general provisions.

| Provision | Requirement | Proposed | Amendment Required? |
|---|---|---|---------------------|
| Tourist Commercial (CT) Zone – Section 6.3 of ZBL No. 07-079 | | | |
| Permitted Uses | Accessory dwelling, or an accessory dwelling unit, club (commercial or private), commercial boat line, conference centre, gasoline retail facility, golf course, import/export brokerage business, marina, marine facility , museum, miniature golf course and/or driving range, parking area/lot, parks, personal service establishment, recreational facility, restaurant, retail store, seasonal camp, tent and trailer park, tourist lodging establishment | Commercial Marine Facility to be used for swimming and non-motorized watercraft | Yes |
| Lot Area (min) | 1 ha | +/- 5.38 ha | No |
| Lot Frontage (min) | 60 m | +/- 514 m of discontinuous frontage | No |
| Front Yard (min) | 10 m | Complies (no change) | No |
| Rear Yard (min) | 10 m | Complies (no change) | No |
| Interior Side Yard (min) | 5 m | Complies (no change) | No |
| Building Height (max) | 12 m | Complies (no change) | No |
| Lot Coverage (max) | 25% | Complies (no change) | No |
| Accessory Dwelling Units per Lot (max) | 1 | Complies (no change) | No |
| General Provisions – Section 3 of ZBL No. 07-079 | | | |
| Marine Facilities (s. 3.18) | (a) Max Total Perimeter shall be 60 m with a max total area of 75 m ² | Perimeter: 77 m
Area: 141 m ² | Yes |
| | (b) Maximum Height from High Water Geodetic: 6 m | 1.7 m | No |
| | (d) Total Combined Width of Marine Facilities, which abuts a Waterbody: 20% of the width of the shoreline, or 15 metres, whichever is lesser | 37 m or 79% of the shoreline width of area subject to proposed rezoning | Yes |
| | (e) Minimum Side Yard Setback: 4.6 m of a side lot line and from the straight-line projection of a side lot line into the abutting waterbody | 4.6 m | No |
| | (f) Maximum Length: Shall not exceed the width of the water frontage of the lot containing the subject dock | Dock length: 6.1 m (water frontage of area subject to proposed rezoning: 47 m) | No |
| Setbacks (s.3.32) | (c) From Flood Plains: no structure shall be erected or altered within 5 m of a flood plain or 30 m from the high water mark, whichever is greater. | 0 m | Yes |

Permitted Uses

The Tourist Commercial (CT) Zone allows a marine facility as a permitted use. The definition of a marine facility limits a structure, such as a dock, to non-commercial use and use only by boats. The use of the proposed marine

facility extension will be for commercial use and for swimming and non-motorized watercraft such as kayaks, canoes, standup paddle boards or other apparatuses that do not have a motor. The proposed use, while commercial in nature, will be of a lower scale than currently allowed for a marine facility as it is not proposed to be used by motorized boats. The proposed use will support additional recreational opportunities for the tourist commercial use and has been designed through measures such as setbacks, screening and elevation to be compatible with the adjacent residential uses as well as to limit impacts to the natural environment.

The following site-specific definition is proposed: *“Marine facility shall mean docks, including floating docks, where only the following activities are permitted: swimming, berthing and storing of non-motorized watercraft (defined as human-powered vessels that move through the water without use of a motor).”*

Marine Facilities

Relief is requested to Section 3.18 to permit an increased perimeter and area of the proposed marine facility as well as to permit a greater width of the shoreline to be occupied by the marine facility. The concept plan submitted with this application illustrates a marine facility with a perimeter of 77 metres, an area of 141 square metres and a width of 37 metres along the shoreline. The proposed site-specific zoning seeks to increase the perimeter of the marine facility from 60 metres to 80 metres, increase the area of the marine facility from 75 square metres to 145 square metres, and increase the width of the marine facility from 15 metres to 37 metres along the shoreline. While the requested amendments are slightly greater than those shown on the concept plan, the proposed amendments seek to allow minor flexibility in the design of the marine facility through the required site plan control amendment process.

Relief is requested to increase the perimeter of the marine facility from 60 metres to 80 metres. The zoning by-law defines the perimeter of a marine facility to be all surfaces which abut water. The proposed marine facility will be offset from the shoreline 2.4 metres in order to limit additional hardening of the shoreline and impacts to the natural environment. As a result of this, the perimeter of the marine facility increases from approximately 40 metres to 77 metres. The proposed location and orientation of the marine facility increases the perimeter beyond that permitted by Section 3.18, but it reduces the impacts to the natural environment and visibility from neighbouring properties. As a result, the proposed increase is appropriate for the marine facility extension.

Relief is requested to increase the area of the marine facility from 75 square metres to 145 square metres. The proposed facility has been designed widthwise along the shoreline, verses lengthwise further into the waterbody, to limit visibility of the marine facility from neighbouring properties. Despite an increased area, the proposed facility will be appropriately setback from adjacent residential uses and will be screened to ensure privacy for both the subject lands as well as the adjacent residential properties. The proposed marine facility has been appropriately sized to support the on-going tourist commercial operation of the Ivy Lea Club.

Relief is requested to increase the width of the marine facility along the shoreline from 15 metres to 37 metres. The proposed facility has been designed widthwise along the shoreline, verses lengthwise further into the waterbody to limit visibility from neighbouring properties. As well, the marine facility to be offset 2.4 metres from the shoreline, therefore impacts and additional hardening of the shoreline will be minimal. The existing use of the subject lands is a tourist commercial operation which benefits from and continues to utilize its proximity to and availability of the St. Lawrence River. The proposed marine facility will support additional access to the river by alternative users, including swimmers and those using non-motorized watercraft. The proposed amendment is appropriate for the continued tourist commercial use of the property.

Setbacks

Relief is requested to Section 3.32 of the General Provisions related to general setbacks. It is proposed to reduce the required setback from a floodplain from 5 metres to 0 metres. The requested amendment reflects the general nature of a marine facility generally being located on or above a waterbody. The proposed marine facility extension will be elevated above the water on pilings with the majority of the marine facility offset from the shoreline by 2.4 metres, except for a 3 metre wide access ramp which will connect the marine facility to the shoreline allowing access for users. Given the nature of marine facilities as being located on or above a waterbody, along with the stationary nature of the proposed marine facility, the proposed setback reduction is appropriate.

6.0 Conclusion

The applicant is seeking a zoning by-law amendment to permit the extension of the existing stationary dock for swimming and non-motorized watercraft use. The proposed zoning by-law amendment will establish a new site-specific zone (CT-XX) that permits the proposed commercial marine facility for swimming and non-motorized watercraft use and establish appropriate site-specific performance standards. The proposal represents an appropriate and compatible use of the land, supporting the character and function of the surrounding area.

The proposed zoning by-law amendment is consistent with the Provincial Policy Statement, conforms to the United Counties of Leeds and Grenville Official Plan, and conforms to the Township of Leeds and the Thousand Islands Official Plan. It is our professional opinion that the proposed development represents good land use planning.

Should you require any additional information, please do not hesitate to contact the undersigned at 613.542.5454.

Respectfully,

A handwritten signature in dark ink, appearing to read 'K. Jones'.

Kelsey Jones, MCIP RPP
Senior Planner
Fotenn Planning + Design

Appendix A

Zoning By-law Amendment

THE CORPORATION OF THE TOWNSHIP OF LEEDS AND THE THOUSAND ISLANDS

BY-LAW NO. 25-XXX

BEING A BY-LAW TO AMEND ZONING BY-LAW NO. 07-079

Tourist Commercial (CT) Zone to Tourist Commercial, Special Exception XX (CT-XX)
(zoning to permit a marine facility for swimming and non-motorized watercraft use)

(61 Shipman's Lane) Township of Leeds and the Thousand Islands, United Counties of Leeds and Grenville,
and more particularly described as Assessment Roll _____, File ZBXX/25)

WHEREAS Zoning By-Law No. 07-079, as amended, was passed under the authority of Section 34 of the Planning Act, R.S.O. 1990, as amended, and regulates the use of land and the use and erection of buildings and structures within the Township of Leeds and the Thousand Islands;

AND WHEREAS Section 34 of the Planning Act, R.S.O. 1990, as amended, permits Council to pass an amending by-law, and the Council of the Township of Leeds and the Thousand Islands deems it advisable to amend Zoning By-Law No. 07-079 with respect to the provisions described in this By-Law;

AND WHEREAS the matters herein are in conformity with the provisions of the Official Plan for the Township of Leeds and the Thousand Islands;

NOW THEREFORE the Council for the Corporation of the Township of Leeds and the Thousand Islands ENACTS AS FOLLOWS:

1. **THAT** Schedule 'B' of Zoning By-Law No. 07-079 of the Township of Leeds and the Thousand Islands, as amended, is hereby further amended by adding Commercial Tourist Exception (CT-XX) Zone on the parcel of land indicated on Schedule 'A' to this By-law, which also forms a part of this By-law;
2. **THAT** Section 6.3 (c)(xxviii) be added as follows:
CT-XX, 61 Shipman's Lane (File ZBXX/25, By-law 25-XXX)

Notwithstanding any provisions of Section 3 or 6 to the contrary, on the lands zoned CT-XX the following provisions shall apply:
 - a) The permitted use shall only be a marine facility that is appurtenant to a marina on the adjacent lot.
 - b) Marine facility shall mean docks, including floating docks, where only the following activities are permitted: swimming, berthing and storing of non-motorized watercraft (defined as human-powered vessels that move through the water without use of a motor).
 - c) The maximum perimeter of a marine facility shall be 80 metres.
 - d) The maximum area of a marine facility shall be 145 square metres.
 - e) The maximum width of a marine facility shall be 37 metres.
 - f) A marine facility may be setback 0 metres from a floodplain.
3. **That this By-law**, shall come into effect and force on the date of passing thereof, subject to the appeal provisions of the Planning Act.

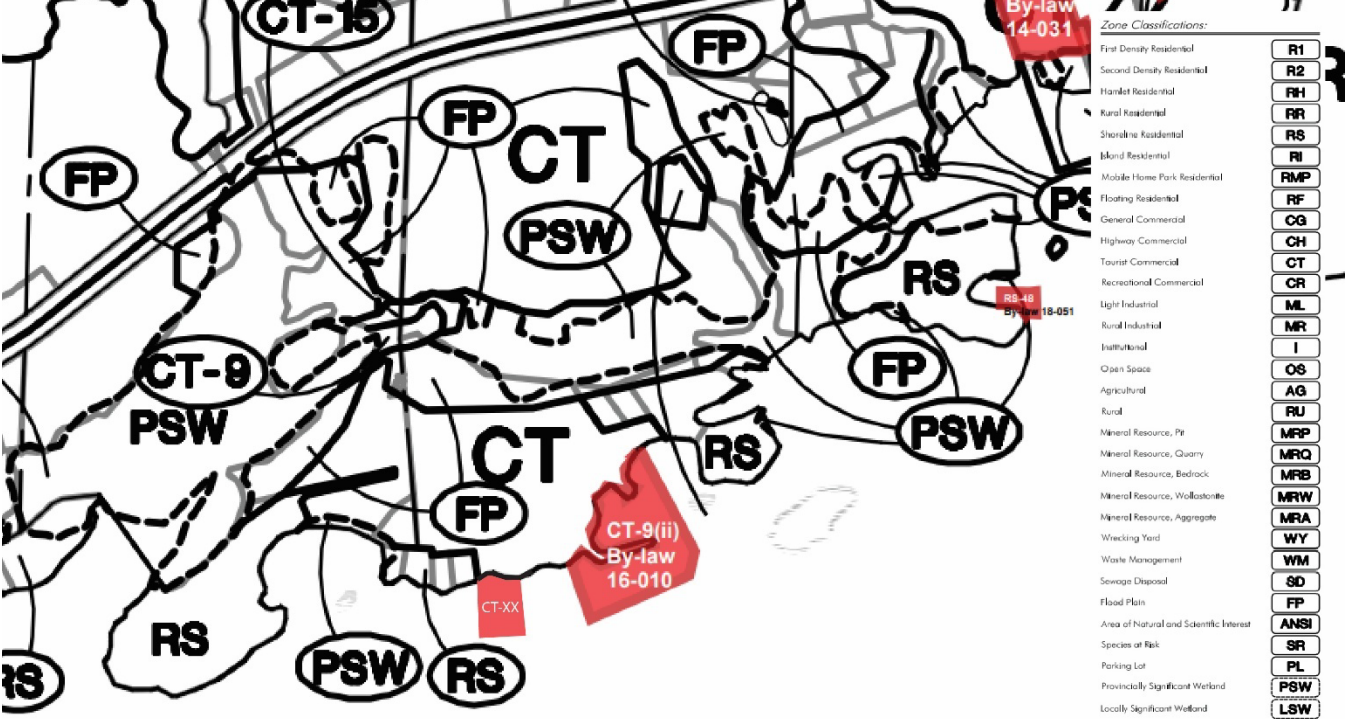
READ A FIRST AND SECOND TIME THIS ____ DAY OF _____, 2025.

READ A THIRD TIME AND FINALLY PASSED THIS ____ DAY OF _____, 2025.

Corinna Smith-Gatcke, Mayor

Michelle Hannah, Clerk

Schedule 'A'





Ecological Services
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]

February 19, 2025

Curtis Ottenhof, P.Eng.
Senior Project Manager
[REDACTED]
[REDACTED]
[REDACTED]

RE: Wetland Impact Letter, Ivy Lea Complex, 61 Shipman's Lane

This letter is in response to a February 4, 2025 email from Lindsay Lambert (Senior Planner, Township of Leeds and the Thousand Islands) to Curtis Ottenhof (Kehoe Marine) regarding the construction of a shoreline structure at 61 Shipman's Lane. Specifically, Mr. Lambert's notes the following:

Instead of the EIS Report/Brief, the proponent can submit a dated and signed letter from a qualified individual (e.g. biologist) to speak to whether the proposed scope of work will have any environmental/ecological impact on the Ivy Lea PSW Complex.

We are familiar with the property, having done EIS work associated with the Shipman's Lane development in the past as it relates to docking expansions and new development. We have also done assessment work as it relates to the Ivy Lea Complex, both here at Shipman's Lane and in McRae's Bay.

The Ivy Lea wetland was first surveyed by Peter Mabee and Peter McIntyre in 1982 with the first edition of the wetland evaluation manual. A second evaluation was completed in 1991 with the second edition of the wetland evaluation manual (MNR 1984) by Jann Atkinson and Ron Huizer. As part of the evaluation, Atkinson and Huizer (1991) combined the Ivy Lea wetland mapped by Mabee and McIntyre in 1982 with the Knight's Creek wetland to make what we now know as the Ivy Lea Wetland Complex. This new evaluation changed the scoring of the wetland so that it went from a regionally significant wetland to a provincially significant wetland.

Wetlands in the province are now evaluated with the 4th edition of the wetland evaluation manual, which minimizes the potential for complexing. As such, if the Ivy Lea Complex were re-evaluated today, it is possible it would be un-complexed and no longer score as a PSW.

Impact assessments related to PSW's for PPS and Official Plan purposes consider a 120 m adjacent land distance. We took the MNR mapping of the Ivy Lea Complex from the NHIC mapping site (see Figure 1) and determined that the proposed work area is more than 120 m from the PSW.



Figure 1. NHIC mapping of the Ivy Lea Complex outlined in yellow.

Since there is no PSW within 120 m of the proposed work area, we refer to the following excerpt from Section 4.4 of the Natural Heritage Reference Manual.

The need to evaluate the ecological function of adjacent lands (i.e., undertake an EIS or equivalent study) would be removed if proponents choose to avoid having proposed work and site alteration occur within the extent of adjacent lands.

Accordingly, no further analysis should be necessary regarding this PSW.

The wetland area shown in Figure 1 is an isolated wetland bay. The main body of the wetland is further west and starts about 270 m from the proposed work area, as the crow flies. Under the current 4th edition of the wetland manual, it is conceivable that the isolated wetland bay in Figure 1 would not be included as part of the PSW because of the changes in how wetland complexing is now undertaken, and how isolated wetland areas (such as the Figure 1 bay) are considered.

The area of wetland shown in Figure 1 was mapped as suW1 by Atkinson and Huizer (1991), in which they state that pondweeds were the dominant species followed by milfoil. A thorough investigation of the vegetation community in the bay was likely not undertaken in 1991. This is not a criticism of the work by Atkinson and Huizer as internal vegetation community mapping was not given a high priority within the 2nd edition manual instructions, and Atkinson and Huizer spent only 8 hours surveying the entire wetland that stretched over a distance of over 3 km from east to west and almost 2 km from south to north (encompassing an area > 350 ha), and contained 11 sub-wetlands, 24 different wetland community types, and 60 wetland vegetation communities. This suggests that Atkinson and Huizer would have had about 8 minutes to assess this bay for its wetland features. This does not even account for the travel time that would be needed to cover all the communities within the wetland. At best, it is our opinion that they would only have been able to do a quick spot check, which is an insufficient amount

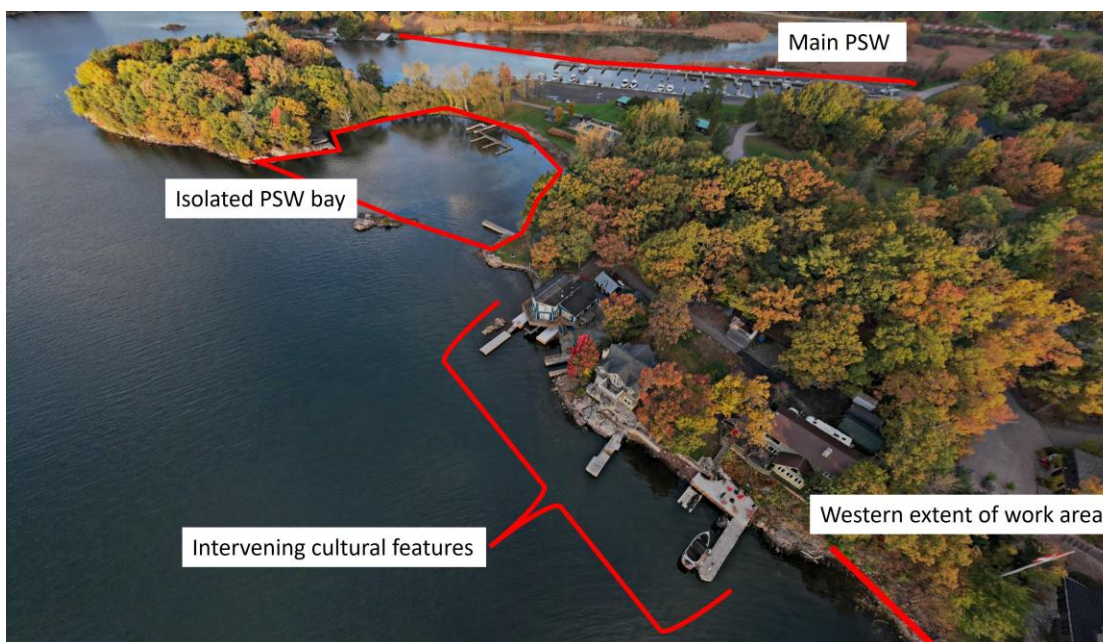
of time to accurately assess the vegetation community in the bay, including water depths and percent vegetation coverage.

Nevertheless, if we consider the wetland bay in Figure 1 to be dominated by pondweeds and milfoil of sufficient density to be considered wetland as mapped by Atkinson and Huizer, then it has a different aquatic ecology than the waters off shore where the proposed work is to take place (see Figure 2). It is comprised of a hardened shoreline, which extends into the river, and with a hardened bottom of limited submergent vegetation. The ecological aquatic differences between the work area and the wetland bay indicates a level of ecological separation, indicating a lower potential level of impact.



Figure 2. Picture showing where the work is to take place.

The cultural intervening shoreline features also indicate an ecological separation between the work area waters and the wetland bay, as indicated by Figure 3.



The final impact consideration for this project as it relates to the PSW is the level of in-water alteration. It is our understanding that this will be a stationary dock elevated above the water on pilings. This means there should only be a minimal impact on the lake bottom.

In summary, it is our opinion that no negative impact to the Ivy Lea Wetland Complex will result from the proposed dock work. We make this statement with the understanding that appropriate in-water construction mitigation methods will be employed and be approved by the Department of Fisheries and Oceans.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "Rob Snetsinger".

Rob Snetsinger
Ecological Services