

Section 41 (Site Plan Approval) and Section 45 (Minor Variance) of the Planning Act

OFFICE USE O	NLY			The Part of Marie State		
Application:	D13-2025-015		Date Received:	March 13, 2025		
Roll Number: 081280901039700		Deemed Complete	April 7, 2025			
Application Fe	e:	\$850	X Cheque Cash	☐ Interac ☐ N/A		
Posting of Sig	n By:	Owner	🛮 Agent 🗌 Staff	(\$50 Fee) Other		
Posting of Sign Fee: Cheque Cash Interac X N/A						
1. APPLICATION	ON TYP	E (Check all that	apply)			
☑ Minor Varian	ce Appli	cation)		
☐ Site Plan Agr	eement					
2. PRE-CONSU	LTATIC	N (Attach sup	porting documentat	ion)		
☐ TLTI – Staff			\square Leeds, Grenville 8	& Lanark Health Unit		
☑ CRCA			□ St. Lawrence Par	ks Commission		
☐ Other:						
3. COMPLETE APPLICATION REQUIREMENTS ☐ Complete Application Form ☐ Authorization of Applicant (if applicable) ☐ Affidavit signed by a Commissioner of Oaths, Notary, etc. (Available at Office) ☐ Township and other Agency (if applicable) Applications and Fees ☐ Cover Letter and/or report ☐ Survey Plan (if available) ☐ Deed ☐ Scaled Sketch as per Section 11 (1 hard copy (11x17 paper or less) or 1 digital copy) ☐ Minimum Distance Separation Calculation Form (if applicable) ☐ All Supporting Information identified through Pre-Consultation including DRT						
4. SUBJECT LA	ND					
Assessment Roll Number: 081280901039700						
Civic Address: 77 Kerry Point Road, Leeds And The 1000 Islands						
Legal Description (Concession, Lot, Part, Reference Plan numbers):Lot 15 Broken Front						
Date subject land acquired by current owner:						

5. REGISTERED OWNER(S) All owners must be included. If company, identify principals. A se submitted, if needed.	eparate page may be
Name(s): Donald Pedersen & Janet Pedersen	Control Contro
Company Name (if applicable):	
Mailing Address:	
Phone (home): Email Address: Phone (cell):	P
6. APPLICANT INFORMATION If an applicant is NOT the owner of the subject lands, written authorized registered owner(s) must be obtained stating that the agent is the application (Section 13)	authorized to make
6.1 Is the applicant the same as the owner?	No. 20 (1997)
Yes (same information as above) No (please fill out below and complete Section 14 – Agreement	
No (please fill out below and complete Section 14 – Agreement and Declaration)	ent, Authorization
6.2 Name(s): Marcel A. Lavigne	
Company Name (if applicable):A-MACCAL Construction Tech. Mailing Address:	
Phone (home): Phone (cell):	
Phone (work): 640-000-0070 Email Address	
7. SUBJECT LAND CHARACTERISTICS	
7.1 Please list and describe any existing easements, right-of-way	
covenants that apply to the subject property (required to be shown	n on sketch)
NA	
7.2 Site Description: (briefly describe factors that may impact the	proposed
levelopment, such as soil type and depth, lot configuration, steep	slopes or low-lying
reas, natural feature, etc.) Existing dwelling approx. 4.85m from flood plain of st	
ithin 30m of grenadier island provincially significant wetlands	

Township of Leeds and the Thousand Islands **DEVELOPMENT APPLICATION** 7.3 Dimensions of Subject Land Total Lot Area: 0.323 hectares 8.0 acres Lot Depth: 53 174 metres feet Lot Width (frontage): 63.6 206.8 metres feet 7.4 Road Access (include name) Kerry Point Road ☐ Provincial Highway: N/A N/A ☐ County Road: ☐ Municipal Road: N/A ☐ Private Right-of-Way: _ N/A ☐ Water Only: N/A 7.5 If access to the subject land is by water only, provide details of parking and docking facilities to be used and the approximate distance of these from the subject land and the nearest public road: N/A 7.6 Servicing - Water Existing Proposed Not Applicable Municipal Piped Water System П V Privately Owned and Operated Well ☑ Dug V V ☐ Drilled V ☐ Communal V Lake or Other Water Body: St Lawrence River П P Other: N/A П V **7.7** Servicing – Sewage Existing Proposed Not Applicable Municipal \Box 1 Privately-Owned Individual Sanitary Sewage System v V ☐ Communal Sanitary Sewage System V ☐ Composting/Self-Contained Toilet V ☐ Privy П 1 ☐ Outhouse V Other: (Specify) N/A П Ø 7.8 Servicing – Storm Drainage Existing Proposed Not Applicable Sewers V Ditches V Swales V Other (Specify): N/A V

8. 0	FFICIAL	PLAN, ZONI	NG BY-LAW A	ND LAND	USE INFORMAT	ION
8.1	Official Pla	an Designati	on: Rural, Flo	od Plain, Pı	ovincially Signifi	cant wetland
Highl	ly Vulerabl	e Aquifer				
8.2	Special Po	olicy Area: 🗹	1000 Islands	☐ Highly S	Sensitive Lake Tro	out Lake 🗹 No
8.3	Zoning:	Shoreline resi	dential (RS), Adje	ecent to Provi	ncially Significant w	vetland (PSW)
8.4	Is this a d	esignated he	eritage property	/: ☐ Yes	☑ No	
8.5			ate uses and le	ngth of time	e uses have cont	inued)
	Seasonal	Cottage				
for the Works, as Proping to the European pro-	NAME IN COLUMN ASSESSMENT OF THE PARTY OF TH		and the second s			
8.6	Proposed		Conditional Market (All Market Mar	· · · · · · · · · · · · · · · · · · ·		
	Seasonal C	ottage	**************************************			
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8.7	Existing Us	se on Adjace	nt I ands:	VI		
				South: St	Lawerence Rive	r Frontage
			Veighbour)		Kerry Point Road	
					on the subject lar	
lands	including	any industria	l or commercia	I use, or if t	there is suspected	d
	mination)					
				agrampia agrampia mengerera kembanan kananan kembanan kembanan		(p.m.h. dan dan bir'yy 4 prisidentr de fan Brakelay Brakelay Brakelay (p. 21 by 1977), v. 2. 22. 11 b
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				44		
		y current or	previous applic	ation under	the <i>Planning Act</i>	t affecting the
	t land:			anne de vene de la coloni de la		
	ation Type		File Number	File S	Status	
	Variance	D13-2023-0	33			
	an Agreem					
		mendment				
	l Plan Ame	nament	The control of the state of the	the state of the s		
Consei Subdiv		Miletone has been discounted as surgery a server consequence managed in		and the state of t		
oubaiv Other:		22 022				
	***************************************		uc Dinning A	h anni:	1.1-	
There have been no previous Planning Act applications affecting the subject lands						

Township of Leeds and the Thousand Islands

DEVELOPMENT APPLICATION

8.10 Potential Land Use Constraints:	On Subject	Or	Adjacent	No
	Lands	Lai	nds Within	
Agricultural Operation including Livestock Facility or Stockyard (If Yes, MDS info must be submitted)			1000m	V
Waste Management Site or Landfill			500m	V
Sewage Treatment Plant or Waste Stabilization			500m	v
Provincially Significant Wetland (PSW)		V	120m	
Locally Significant Wetland (LSW)			50m	V
Area of Natural and Scientific Interest (ANSI)			50m	V
Flood Plain	V		N/A	
Wellhead Protection (Village of Lansdowne)			N/A	<u> </u>
James W. King Intake Protection Zone - St. Lawrence River - South of Gananoque (OP Schedule A6)			N/A	V
Licensed Mine, Pit or Quarry or an area designated for Aggregate Extraction			1000m	V
Rehabilitated Mine/Pit/Quarry Site?			500m	V
Industrial or Commercial Use, or Wrecking Yard Specify Use: N/a				V
Active Railway Line			500m	V
Municipal or Federal Airport			500m	V
Provincial Highway 401			250m	v
Utility Corridor(s) i.e. Power Lines, Hydro Easement			500m	V
i.e. Natural Gas or Oil Pipeline, etc.			500m	V
Gas Station – Currently or at Any Time			Adjacent	V
Lands suspected to be contaminated			500m	v
Has grading of the subject land been changed by adding earth or other material(s)?			N/A	V
Designated Heritage Building/Site			500m	V
8.11 Additional information that may be relevant to the	e review of th	е ар	plication:	
Provided on a Separate Sheet				

9. R	EQUIRED PLANS	
9.1	A detailed sketch in metric has been attached with the required	√Yes □ No
	information as noted in Section 9.2.	-
\$	All required site plan drawings, elevations, cross-sections,	✓ Yes ☐ No
	grading, drainage, etc. along with the required information as	
	noted in Section 9.3.	•

9.2 Sketch Requirements

For minor variance, a detailed sketch is required. The sketch must include:

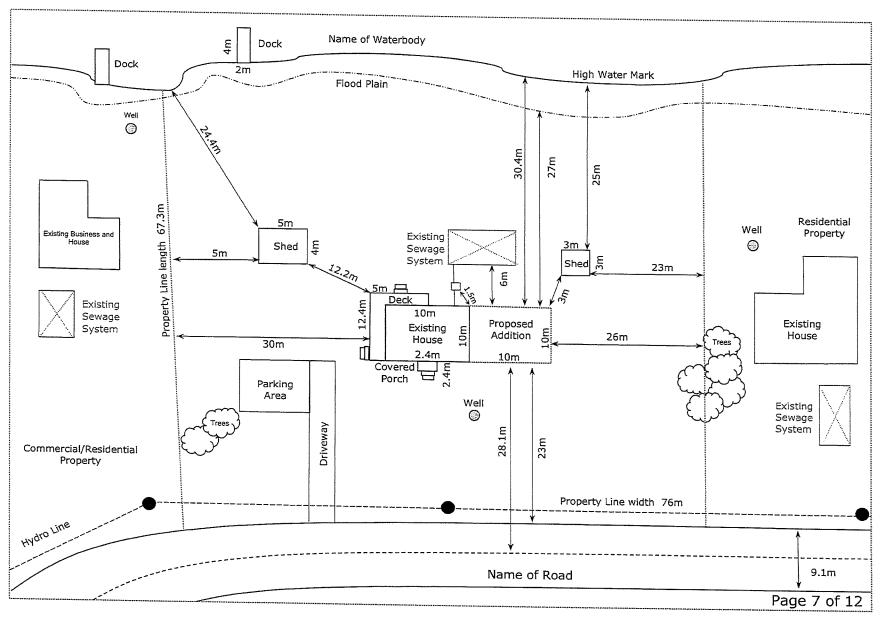
- (a) The boundaries and dimensions of the subject land.
- (b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating their distance from the front lot line, rear lot line and side lot line.
- (c) The approximate location of all natural and artificial features (for example, buildings, railways, roads, watercourses, flood plains drainage, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that:
 - (i) Are located on the subject land and on land that is adjacent to it, and
 - (ii) In the applicant's opinion, may affect the application.
- (d) The current uses of land that is adjacent to the subject land.
- (e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.
- (f) If access to the subject land will be by water only, the location of the parking and docking facilities to be used; and
- (g) The location and nature of any easement affecting the subject land.

9.3 Site Plan Requirements

In addition to Section 9.2, for site plan applications, drawings showing plan, elevation and cross-section views for each building to be erected, except a building to be used for residential purposes containing fewer than 25 dwelling units which drawings are sufficient to display,

- (a) The massing and conceptual design of the proposed building;
- (b) The relationship of the proposed building to adjacent buildings, streets and exterior areas to which members of the public have access;
- (c) The provision of interior walkways, stairs, elevators and escalators to which members of the public have access from streets, open spaces and interior walkways in adjacent buildings;
- (d) Matters relating to exterior design, including without limitation the character, scale, appearance and design features of buildings, and their sustainable design, but only to the extent that it is a matter of exterior design
- (d.1) Matters relating to exterior access to each building that will contain affordable housing units or to any part of such building, but only to the extent that it is a matter of exterior design;
- (e) the sustainable design elements on any adjoining highway under a municipality's jurisdiction, including without limitation trees, shrubs, hedges, plantings or other ground cover, permeable paving materials, street furniture, curb ramps, waste and recycling containers and bicycle parking facilities; and
- (f) facilities designed to have regard for accessibility for persons with disabilities.

9.3 SAMPLE SKETCH - Measurements, setbacks for all structures must be transcribed onto Sections 10 and 11.



10. EXISTING STRUCTURES & SETBACKS ON SUBJECT LAND (Indicate any to be demolished) 10.1 Existing Structures in metres. Include all structures on subject land, including marine facilities and structures under 10 square metres. Type of Ground Gross Floor Number of Dimensions Structure Year Floor Area Area Stories Length Width Height Built **Existing Cottage** 146.21 2 13.5 10.8 8.07 Existing Wood Shed 30,721 6.175 4.978 Existing Garage 62.802 1 7.925 7.925 Existing Boat House 165.444 1 12.85 (irregular) 10.896 (irregular) 10.2 Setbacks of Existing Structures to property boundaries, shoreline, etc. in metres Type of Public Road Flood Front Side Right of Side Other Structure Rear Water Plain (center) Way (edge) Existing Cottage 38.335 (W) 20.93 (E) 35.9 9.35 9.35 39.853 Existing Wood Shed 13.3 (w) 23.5 (E) 35.7 35.6 35.6 13.3 Existing Garage 0.610 (w) 58.95 (E) 0.61 31.669 31.669 9.28 **Existing Boat House** 51.389 (w) 8.534 (E) 45.0 (on water) (on water) 48.7 10.3 Existing Parking & Loading Spaces Existing Number of Standard Parking Spaces: 5 Existing Number of Barrier Free Parking Spaces: 5 Existing Number of Loading Spaces: n/a

11. PROPOSED	STRUCTL	IRES & SE	Islands TRACKS	DEVI	ELOPMEN	T APPLIC	ATION	Control to be the working you	CONTRACT LANG.
11.1 Proposed [Developme	nt (if any) in squar	re metres.	metres	(Indicate	any to be dem	nolished)	
Type of Structure	Ground Gross Floor		Number of		Dimensions			Year	
Cottage				Stories	LCI	ngth	Width	Height	Built
New Deck	146.21			2	13	.5	10.8	SM+ -9.	
New Deck	9.448			1	3.0	99	3.048	0	
L1.2 Setbacks o	f Proposed	Structure	s to prop	erty bound	aries, shor	eline, etc.	in metres		
Structure	Front	Side	Side	Rear	Water	Flood Plain	Public Road (center)	Right of Way (edge)	Other
Cottage	38.335	(W) 20.93	(E) 35.9	9.35	9.35	9.35	39.853	Truy (dage)	
New Deck	48.768	(W) 31.75	(E) 33.02	9.35	9.35	9.35	49.657		
. 1.3 Proposed P	arking & Lo	pading Spa	aces						
roposed Numbe	er of Standa	ard Parking	g Spaces:	: 5					
.1.3 Proposed P roposed Numbe roposed Numbe roposed Numbe	er of Standa er of Barrie	ard Parking r Free Park	g Spaces: king Spac	± 5	5				

3.32(c) Setbacks Setback from Flood plain within flood plain yes	12. MINOR VARI	ANCE INFORMATION		
To renovate Old dwelling with a new interior configuration. Renovation To be on same footprint. Renovation as per original variance with some expansion and volume on the same footprint as per drawings sumbbited with the original variance. 12.2 Variance Requested from Zoning By-Law: Section Zone Requirement Proposed Standard Variance Required 3.32(b) Setbacks Setback from water 30m water setback yes 3.32(c) Setbacks Setback from Flood plain yes 9.5W Zone P.5W yes 12.3 Why is it not possible to comply with the provisions of the Zoning By-Law? 2.5W Zona Zoning By-Law Zoning By-Law	12.1 Description	of Proposal		
12.2 Variance Requested from Zoning By-Law: Section Zone Requirement 3.32(b) Setbacks Setback from water 3.39(c) Setbacks Section 18 PSW Zone PSW Zone 12.3 Why is it not possible to comply with the provisions of the Zoning By-Law? Cottage will be within Flood Plain Cottage Within 30m Water set back			ıration. Renovation Tc	be on same footprint.
12.2 Variance Requested from Zoning By-Law: Section Zone Requirement 3.32(b) Setbacks Setback from Water 3.39(c) Setbacks Section 18 PSW Zone PSW Zone 12.3 Why is it not possible to comply with the provisions of the Zoning By-Law? Cottage will be within Flood Plain Cottage Within 30m Water set back				
Section Zone Requirement 3.32(b) Setbacks Setback from Water Section 18 Proposed Standard 30m water setback yes within flood plain PSW Zone PSW 12.3 Why is it not possible to comply with the provisions of the Zoning By-Law? Cottage will be within 120M of PSW Cottage Wilhin 30m Water set back			volume on the same tootp	orint as per drawings
Section Zone Requirement Standard Salve Setbacks Setback from water Solve Setbacks Setback from Flood plain Section 18 Proposed Standard Standard Normance Required Standard Yes Yes Within flood plain Yes PSW Yes PSW Yes PSW 12.3 Why is it not possible to comply with the provisions of the Zoning By-Law? Cottage will be within 120M of PSW Cottage Will be within Flood Plain Cottage Within 30m Water set back	sumbbited with the ori	ginal variance.		
Section Zone Requirement Standard Salve Setbacks Setback from water Solve Setbacks Setback from Flood plain Section 18 Proposed Standard Standard Yes yes Within flood plain PSW yes PSW yes PSW Tone Total Table Total T				
Section Zone Requirement Standard Salve Setbacks Setback from water Solve Setbacks Setback from Flood plain Section 18 Proposed Standard Standard Yes yes Within flood plain PSW yes PSW yes PSW Tone Total Table Total T				
Section Zone Requirement Standard Salve Setbacks Setback from water Solve Setbacks Setback from Flood plain Section 18 Proposed Standard Standard Yes yes Within flood plain PSW yes PSW yes PSW Tone Total Table Total T				
Section Setbacks setback from water 30m water setback yes 3.32(c) Setbacks Setback from Flood plain yes section 18 PSW Zone PSW yes 12.3 Why is it not possible to comply with the provisions of the Zoning By-Law? Cottage will be within 120M of PSW Cottage will be within Flood Plain Cottage Within 30m Water set back	12.2 Variance Re	quested from Zoning By-L	.aw:	
Section 18 Setback from Flood plain PSW Zone PSW PSW PSW PSW PSW PSW PSW PSW			Standard	Variance Required
section 18 PSW Zone PSW yes 12.3 Why is it not possible to comply with the provisions of the Zoning By-Law? Cottage will be within 120M of PSW Cottage Will be within Flood Plain Cottage Within 30m Water set back	3.32(b) Setbacks			
12.3 Why is it not possible to comply with the provisions of the Zoning By-Law? Cottage will be within 120M of PSW Cottage will be within Flood Plain Cottage Within 30m Water set back	3.32(c) Setbacks			
Cottage will be within 120M of PSW Cottage will be within Flood Plain Cottage Within 30m Water set back	section 18	PSW Zone	PSW	yes
Cottage will be within 120M of PSW Cottage will be within Flood Plain Cottage Within 30m Water set back				
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Cottage will be within 120M of PSW Cottage will be within Flood Plain Cottage Within 30m Water set back	12.3 Why is it no	t possible to comply with t	the provisions of th	e Zoning By-Law?
Cottage will be within Flood Plain Cottage Within 30m Water set back				
The Lot Coverage Exceeds 10%				
	The Lot Coverage Exc	ceeds 10%		
			.,	

DEVELOPMENT APPLICATION 13. AUTHORIZATIONS & PERMISSION TO ENTER All Registered Owner(s) must complete the following to authorize the applicant/agent to make the application on their behalf (if Owner is NOT the applicant) and/or to permit Council, Committees of Council, Township Staff or authorized agents to enter the subject property to conduct site inspections related to this application. If multiple owners, an authorization letter from each owner is required. DONAL H. (I-CLERS CON JANET M. F (name(s) of owner(s) or company) I/We being the registered owner(s) of the subject property of this application: Hereby authorize the following person(s) to act as our agent to prepare, submit the application and pay any associated fees on my/our behalf (if applicable): Marcel A. Lavigne (Name of Applicant(s)/Authorized Agent(s) Hereby authorize Council, Committees of Council, and Township Staff or authorized agents to enter the subject property without notice to conduct site inspections related to this application. Agree to ensure that any driveway/lanes are accessible during the circulation period of the application so that Committee members, Township staff and other agencies do not have any barriers blocking access to the subject land. Island properties will require a boat ride, which is to be provided by the owner/agent. If applicable, Township Staff will make arrangements for the most suitable date and time. Agree to post any required signage on site, which is prepared by Township Staff, with respect to this application in the requested timeframe of the Planning Act and upon notification by Township Staff. I/We also agree to provide photographic evidence of the posted sign at the request of Township Staff. Agree to stake the area of any proposed construction a minimum of 1 week prior to the hearing/meeting date of your application. Have included the written approval of all surveyors, designers, etc. that designed any documents, plot plans etc. to allow the Township to use their plan(s) in the notice or hearing and other documents which are viewable by the public. $|oldsymbol{erp}|$ Hereby acknowledge and provide my consent, in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, that the information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public. mod! Signature(s): Date:

14. AGREEMENT TO INDEMNIFY & STATUTORY DE	CLARATION
I/We, Marcel A. Lavigne	
(name of owner, applicant or authorized	d agent)
Of the <u>Township of Augusta</u>	
(name of Municipality)	
In the <u>United Counties of Leeds and Grenville</u> (name of County)	
Hereby agree to indemnify and save harmless The Corpo and Thousand Islands (the "Municipality") from all Municipality may incur in connection with the processir for approval under the Planning Act.	costs and expenses that the
Without limiting the foregoing, such costs and exengineering, planning, advertising and consulting fees a by the Municipality to process the application together arising from or incurred in connection with the Municipality to the applicant, to appear at the hearing of any appear Tribunal from any decision of the Council approving the	nd charges incurred or payable or with all costs and expenses ity being required, or requested al to the Local Planning Appea
I/We acknowledge and agree that if any amount owing the application is not paid when due, the Municipality wi to continue processing the application, or to appear be Tribunal in support of a decision approving the application paid in full.	ll not be required to process or fore the Local Planning Appeal
I/We further acknowledge and agree that any amount Municipality is, when due, a debt of the applicant and the to any other remedies available to it at law, recover the interest from the applicant by action.	e Municipality may, in addition
I/We solemnly declare that all of the above statements contransmitted herewith including this application and any hereto are true, and I/We make this solemn declaration be true and knowing that it is of the same force and effectly virtue of the Canada Evidence Act.	required document attached conscientiously believing it to
Signature(s):	
Declared before me at the: Township of leeds and (name of	he Thausand Islands f municipality)
in the United Counties of Leeds and Grenville (name of County)	
This 13^{th} day of March, 2025 .	AMANDA ZORA WERNER-MACKELER, a Commissioner, etc., Province of Ontario,
Signature of Commissioner of Oaths, etc.	the Corporation of the Township of Leeds and the Thousand Islands. Expires August 18, 2025.
- ignation of Commissioner of Causs, etc.	(Official Stamp of Commissioner of Oaths)