

GENERAL NOTES

FINISHES
INTERIOR AND EXTERIOR FINISHES SHALL BE DECIDED BY OWNER.
ALL APPLIANCE AND COUNTERS ARE FOR SPACE EVALUATION ONLY NOT FOR CONSTRUCTION.

FRAMING
USE SPF NO. 1-2 FOR FRAMING.
ALL NAILING AS PER OBC 2012.
FRAME FIRST FLOOR BEFORE BACKFILL.
ALL JOIST HANGERS ARE TO BE FASTENED BY JOIST HANGER NAILS OR STRUCTURAL SCREWS AS PER MANUFACTURE REQUIREMENTS.
FLOOR SHEETING SHALL BE 5/8" T.G PLYWOOD OR EQUIVALENT.
ROOF SHEETING SHALL BE T.G PLYWOOD OR EQUIVALENT.
ALL EXTERIOR FRAMING MATERIAL AND DECK SURFACING SHALL BE PRESSURE TREATED OR EQUAL.
ALL BEAMS SHALL BE NAILED AS PER OBC REQUIREMENT.

FRAMED WALL COMPOSITION
SIDING BY OWNER
1" ISO FOAM
7/16" OSB
2" X 6" @ 16"CC
R22 BATT INSULATION
6 MILL POLY V.B
1/2" DRYWALL OR EQUAL.

FOUNDATION
EXCAVATE TO OBTAIN 4' FROST COVER UNDER FOOTINGS MINIMUM
SET FOOTINGS ON UNDISTURBED SOIL
ASSURE THAT THERE IS NO WATER IN EXCAVATION
INSTALL REINFORCING AS PER DETAILS IN FOOTING & FOUNDATION
ALLOW 48 HOURS CURING BEFORE INSTALLING WATER RESISTANT MEMBRANE
INSTALL BIG 0 AND CLEAR STONE
INSTALL DRAINAGE LAYER OR BACKFILL WITH CLEAR SAND
ALLOW 5 DAYS OF CURING BEFORE BACKFILL
INSTALL FIRST FLOOR FRAMING BEFORE BACKFILL SONATUBES AND BIG FOOTS AS PER DETAILS
ALL CONCRETE SHALL BE IN CONFORMANCE WITH OBC REQUIREMENTS

FOOTINGS
FOOTINGS ARE TO BE INSTALLED ON UNDISTURBED SOIL, COMPACTED GRANULAR OR BE SPECIFIED BY QUALIFIED ENGINEER.
THE REQUIRED FROST PROTECTION IS 4' COVER.

GRADE
THE GRADE AROUND THE PERIMETER OF THE DWELLING SHALL SLOPE AWAY FROM THE HOUSE AT A 2% SLOPE.

CONCRETE & SLABS
ALL SIDEWALKS OR EXTERIOR SLABS SHALL BE 32 MPA WITH 5 TO 8% AIR ENTRAINED.
HOUSE SLAB 4" TO 6" 25 MPA MIN.
CONTROL JOINTS @ 15' INTERVAL MIN. 1/4 OF SLAB DEPTH TYP.
WHEN CONCRETE IS PLACED IN COLD TEMPERATURE IT SHALL BE COVERED AND KEPT AT 10 DEGREES C FOR 12 HOURS.

ATTIC SPACE
R60 INSULATION OR BETTER
MOORE VENTS ARE REQUIRED AT ALL TRUSS OR RAFTERS BOTH ENDS.
VENTILATION TO BE SUPPLIED BY CONTINUOUS RIDGE VENT.

WINDOWS AND DOORS
ALL WINDOWS AND DOOR OPENINGS ARE TO BE IN COMPLIANCE WITH ENERGY EFFICIENCY DESIGN AND NEEDS TO MEET SB12 REQUIREMENTS IN THE 2012 ONTARIO BUILDING CODE. ADJUST WINDOW WELL HEIGHT TO MATCH REQUIRED GRADE AND SLOPE AWAY FROM THE DWELLING.
WINDOW AND DOOR SCHEDULE ON PLANS **PAGE A1**

METAL ROOF
METAL ROOF, 24 GAUGE OR BETTER.
STRAPPING 1" X 4" SPACED AT 16" CC.
7/16 OSB TO CONTROL CONDENSATION.
FELT AT BOTTOM OF TIN TO PREVENT INSECTS TO ENTER RIBS.
SLIDING ICE PROTECTION 16" FROM BOTTOM.
R60 INSULATION.
6 MILL POLY V.B
3" STRAPPING OR EQUAL.
1/2" DRYWALL OR EQUAL.

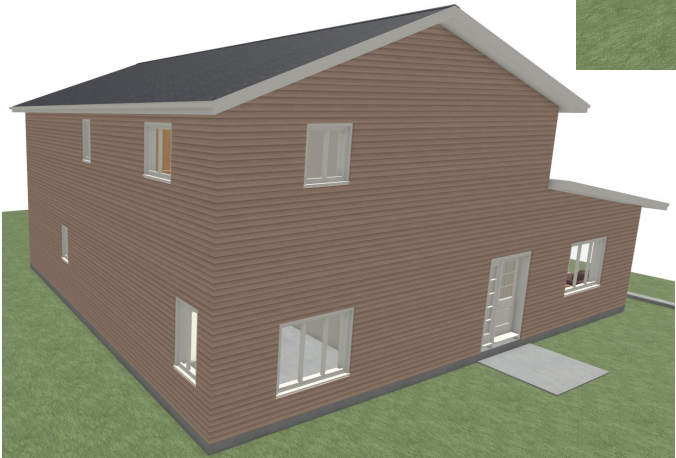
DECKS
5/4" P.T DECKING.
2" X 8" P.T JOISTS.
3 - PLY 2" X 8" PT BEAMS.
6" X 6" P.T COLUMNS.
2" X 8" LEDGER BOARD BOLTED TO HOUSE.
DECK BLOCKS ONLY TO BE USED IF THE COLUMNS ARE SHORTER THAN 3' AND NOT ATTACHED TO A STRUCTURE.
DECK MAY BE SECURED TO HOUSE BUT NOT SUPPORTED BY THE HOUSE STRUCTURE IF DECK BLOCKS ARE USED.

RADON
VERIFY WITH LOCAL BUILDING DEPARTMENT IF RADON REMEDIAL IS REQUIRED.
RADON REMEDIAL AS DETAILED AS **R1-R3** ON PLANS **PAGE D1**.

RAILINGS
INTERIOR RAILINGS SHALL BE 36".
EXTERIOR RAILINGS SHALL BE 36" WHEN ABOVE 23 5/8" FROM GROUND UP TO 5'11".
A RAILING SHALL BE 42" WHEN THE WALKING SURFACE IS HIGHER THAN 5'11" FROM GROUND.
WINDOWS OPENING MORE THAN 4" AND ARE LOWER THAN 17" FROM FLOOR WITH A SEPARATION LARGER THAN 24" FROM GROUND SHALL BE PROTECTED BY A GUARD.
ALL RAILINGS AND GUARDS ARE TO BE IN CONFORMANCE WITH 9.8 OF THE 2012 ONTARIO BUILDING CODE
RAILING DETAIL **T1-T2** ON PLANS **PAGE D1**

SMOKE & CO
THE SMOKE ALARM AND CARBON DETECTOR SHALL BE IN CONFORMANCE WITH 9.35. 4 AND 9. 10. 19 OF THE 2012 ONTARIO BUILDING CODE.

EXTRA INFO
SCHEDULE 1-----**PAGE F1**
ENERGY EFFICIENCY DESIGN----- **PAGE F1**



NOTE: WINDOWS & DOORS SCHEDULE FOR OPENING SIZE ONLY WINDOWS BY OTHERS.
DOOR AND WINDOW SCHEDULE TO BE EVALUATED AT OWNERS REQUEST AND BE IN COMPLIANCE WITH SB12 IN VOL 2. OF THE 2012 ONTARIO BUILDING CODE.

WINDOW SCHEDULE									
NUMBER	QTY	FLOOR	R/O	DESCRIPTION	HEADER	HEIGHT	WIDTH	AREA, ACTUAL	
W01	9	1		38"X64"	SINGLE CASEMENT-HL	2"X6"X41" (2)	62"	36"	15.5
W02	2	2		38"X38"	RIGHT SLIDING	2"X6"X41" (2)	36"	36"	9
W03	3	2		38"X38"	DOUBLE CASEMENT-LHL/RHR	2"X6"X41" (2)	36"	36"	9
W04	1	1		66"X50"	TRIPLE CASEMENT-LHL/RHR	2"X8"X69" (2)	48"	64"	21.33
W05	1	1		25 15/16"X50"	DOUBLE CASEMENT-LHL/RHR	2"X6"X28 15/16" (2)	48"	23 15/16"	7.97
W06	1	2		20"X38"	DOUBLE CASEMENT-LHL/RHR	2"X6"X23" (2)	36"	18"	4.5
W07	1	2		49 7/8"X38"	DOUBLE CASEMENT-LHL/RHR	2"X8"X52 7/8" (2)	36"	47 7/8"	11.96
W08	1	1		20"X38"	DOUBLE CASEMENT-LHL/RHR	2"X6"X23" (2)	36"	18"	4.5
W09	1	1		15 1/16"X83"	EXT. FIXED-DOOR SL04	2"X6"X18 1/16" (2)	80"	13 1/16"	7.27
W10	1	1		50"X32 3/4"	DOUBLE HUNG	2"X8"X53" (2)	30 3/4"	48"	10.26
TOTALS:									252.29

DOOR SCHEDULE										
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	HEIGHT	WIDTH	AREA, ACTUAL
D01	5	2	30"	80"	32"x82 1/2"	HINGED-DOOR P04	2"x6"x35" (2)	80"	30"	16.67
D02	6	1	30"	80"	32"x82 1/2"	HINGED-DOOR P04	2"x6"x35" (2)	80"	30"	16.67
D03	1	1	36 3/4"	80"	38 3/4"x82 1/2"	4 DR. BIFOLD-LOUVERED	2"x6"x41 3/4" (2)	80"	36 3/4"	20.41
D04	2	1	48"	80"	50"x82 1/2"	SLIDER-DOOR P04	2"x8"x53" (2)	80"	48"	26.67
D06	1	1	30"	80"	61 1/4"x82 1/2"	POCKET-DOOR P04	2"x8"x64 1/4" (2)	80"	30"	16.67
D07	1	2	30"	80"	61 1/4"x82 1/2"	POCKET-DOOR P04	2"x8"x64 1/4" (2)	80"	30"	16.67
D08	1	1	36"	80"	38"x83"	EXT. HINGED-DOOR E02	2"x6"x41" (2)	80"	36"	20
D09	1	2	44 1/8"	80"	46 1/8"x82 1/2"	4 DR. BIFOLD-LOUVERED	2"x6"x49 1/8" (2)	80"	44 1/8"	24.5
D10	1	2	20 1/2"	80"	22 1/2"x82 1/2"	2 DR. BIFOLD-LOUVERED	2"x6"x25 1/2" (2)	80"	20 1/2"	11.39
D11	2	2	64 9/16"	80"	66 9/16"x82 1/2"	SLIDER-DOOR P04	2"x8"x69 9/16" (2)	80"	64 9/16"	35.85
D12	1	1	32 1/16"	80"	34 1/16"x82 1/2"	4 DR. BIFOLD-LOUVERED	2"x6"x37 1/16" (2)	80"	32 1/16"	17.81
TOTALS:										435.86

EXTERIOR DOOR SCHEDULE									
NUMBER	QTY	FLOOR	DESCRIPTION	HEADER	HEIGHT	WIDTH	AREA, ACTUAL		
G01	1	1	EXT. TRIPLE SLIDER-GLASS PANEL2	2"X10"X95" (2)	80"	90"	60		
G02	1	1	EXT. HINGED-DOOR E21	2"X6"X39" (2)	80"	34"	18.89		

NOTE: ALL LINTELS SUPPORTING ROOF WITH A SPAN EXCEEDING 32 FEET: LINTELS SHALL BE LVL BY TRUSS MANUFACTURER AND DOUBLE JACK FOR SUPPORT

****All construction shall meet the requirements of the 2012 Ontario Building Code and Common construction practices.****

Table 9.8.4.1. Rise for Rectangular Treads, Tapered Treads and Winders and Run for Rectangular Treads					
Forming Part of Sentences 9.8.4.1.(1) and 9.8.4.2.(1)					
Item	Column 1 Stair Type	Column 2 Max. Rise, mm, for All Steps	Column 3 Min. Rise, mm, for All Steps	Column 4 Max. Run, mm, for Rectangular Treads	Column 5 Min. Run, mm, for Rectangular Treads
1.	Private stairs ⁽¹⁾	200	125	355	255
2.	Public stairs ⁽²⁾	180	125	no limit	280

FLOOR AREAS	
Total First Floor-----	1573 ft ²
Second Floor-----	1005 ft ²
New East Side Deck-----	105 ft ²

9.5.2.3. Stud Wall Reinforcement

- (1) If wood wall studs or sheet steel wall studs enclose the main bathroom in a dwelling unit, reinforcement shall be installed to permit the future installation of the following:
- (a) for a water closet, a grab bar described in Clauses 3.8.3.8.(3)(a) and a grab bar described in Clause 3.8.3.8.(3)(c),
- (b) for a shower, a grab bar described in Clause 3.8.3.13.(2)(f), and
- (c) for a bathtub, a grab bar described in Clause 3.8.3.13.(4)(c).



All measurements to be verified before construction and omissions to be reported to designer. No reproductions of this design are permitted unless authorized by the undersigned

The undersigned take's responsibility of the design.

Qualifications
Marcel A Lavigne Personal BCIN # 15236

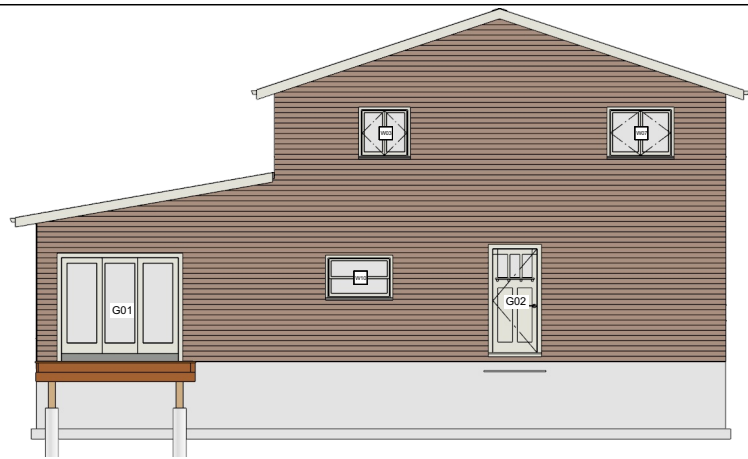
Signature *Marcel Lavigne*
AMCT Ltd. Firm BCIN # 38061

PLAN TITLE:
DWELLING RENOVATION

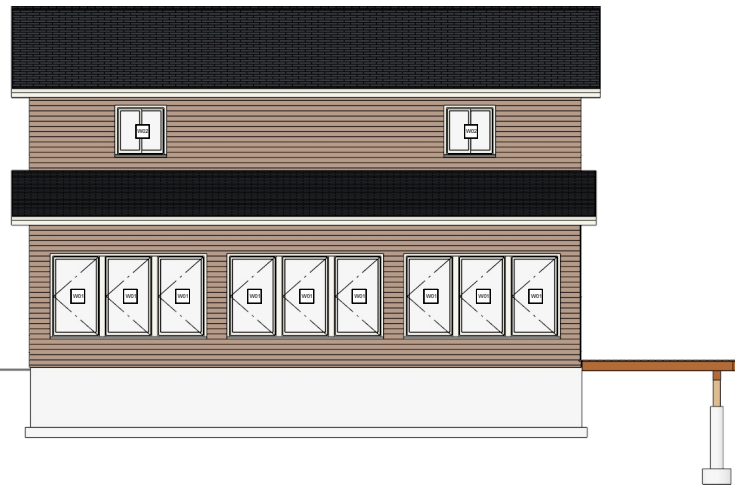
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GENERAL NOTES

CUSTOMER DETAILS:
DON PEDERSEN
77 KERRY POINT ROAD

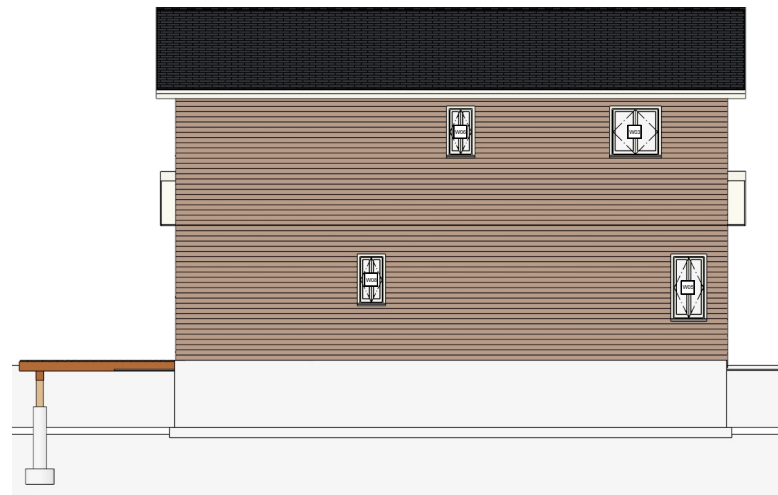
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	Drawn By: S.M.K & M.A.L	
	Plan Scale: 1/4=1 UNLESS NOTED	Page Number: A1 2 of 7



Elevation One
Scale: 1/12-12



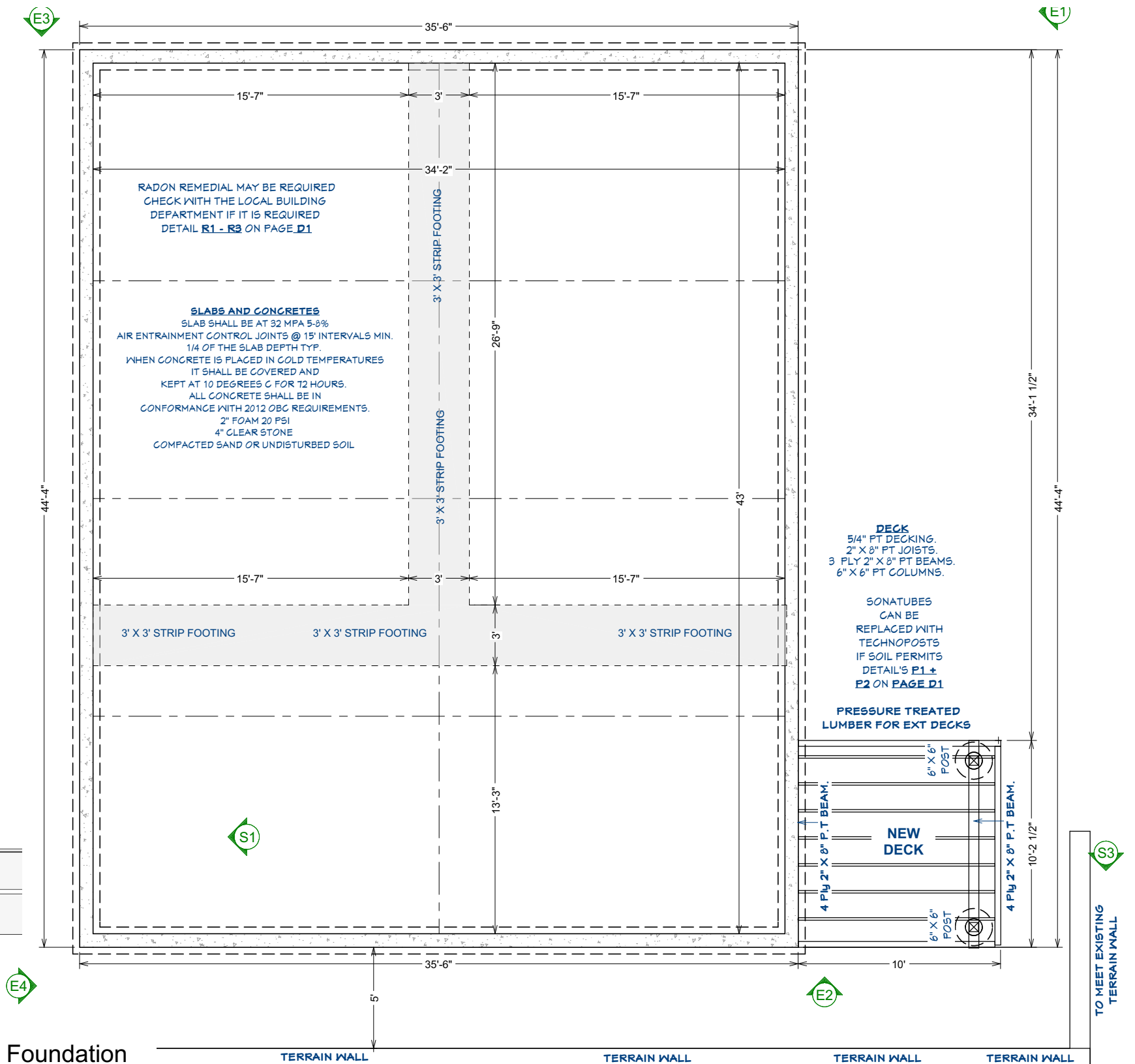
Elevation Two
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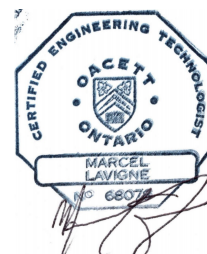
Elevation Three
Scale: 1/12-12



Elevation Four
Scale: 1/12-12



Foundation
Scale: 1/6-12



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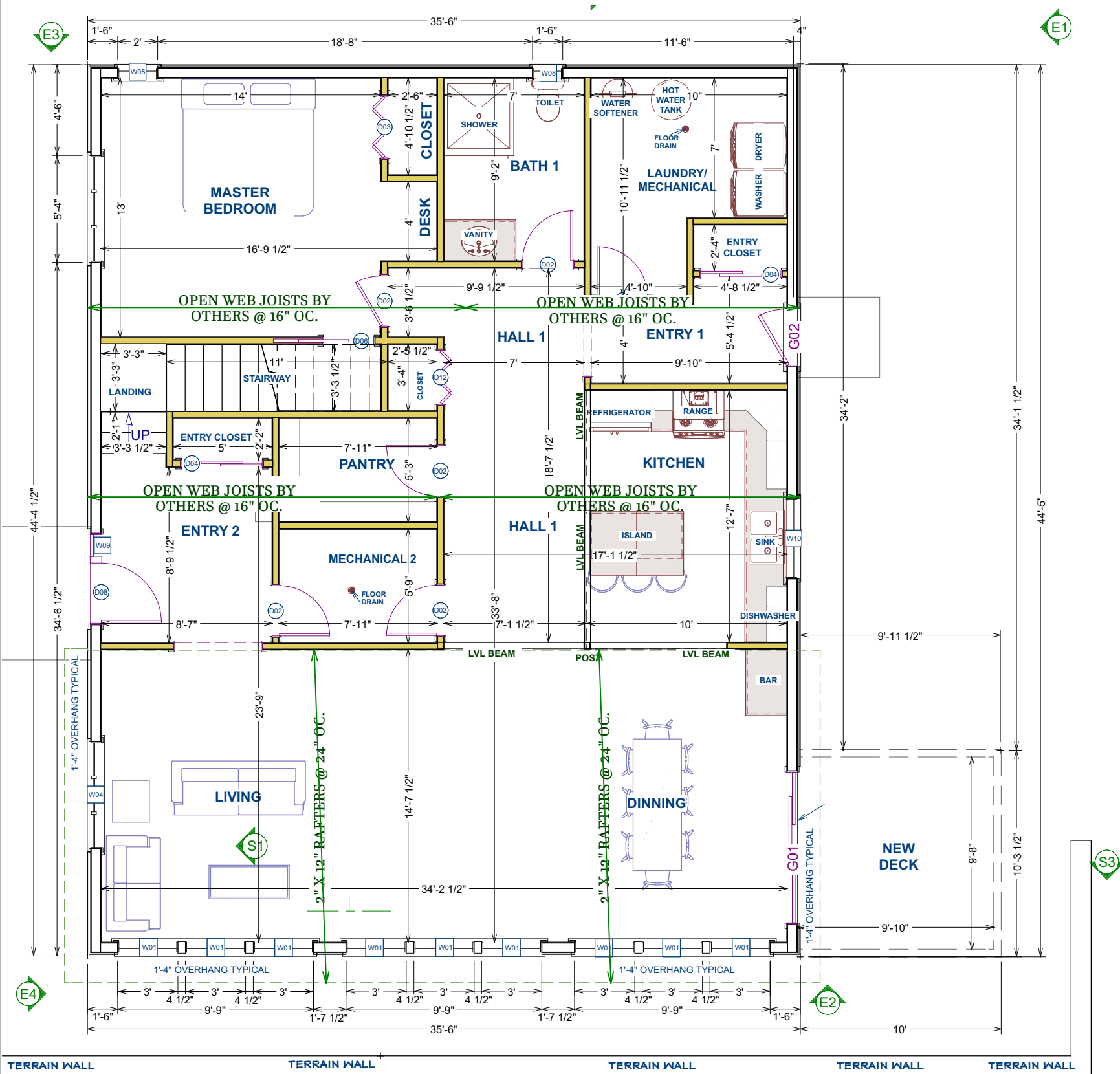
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DWELLING RENOVATION

PAGE TITLE:
FOUNDATION

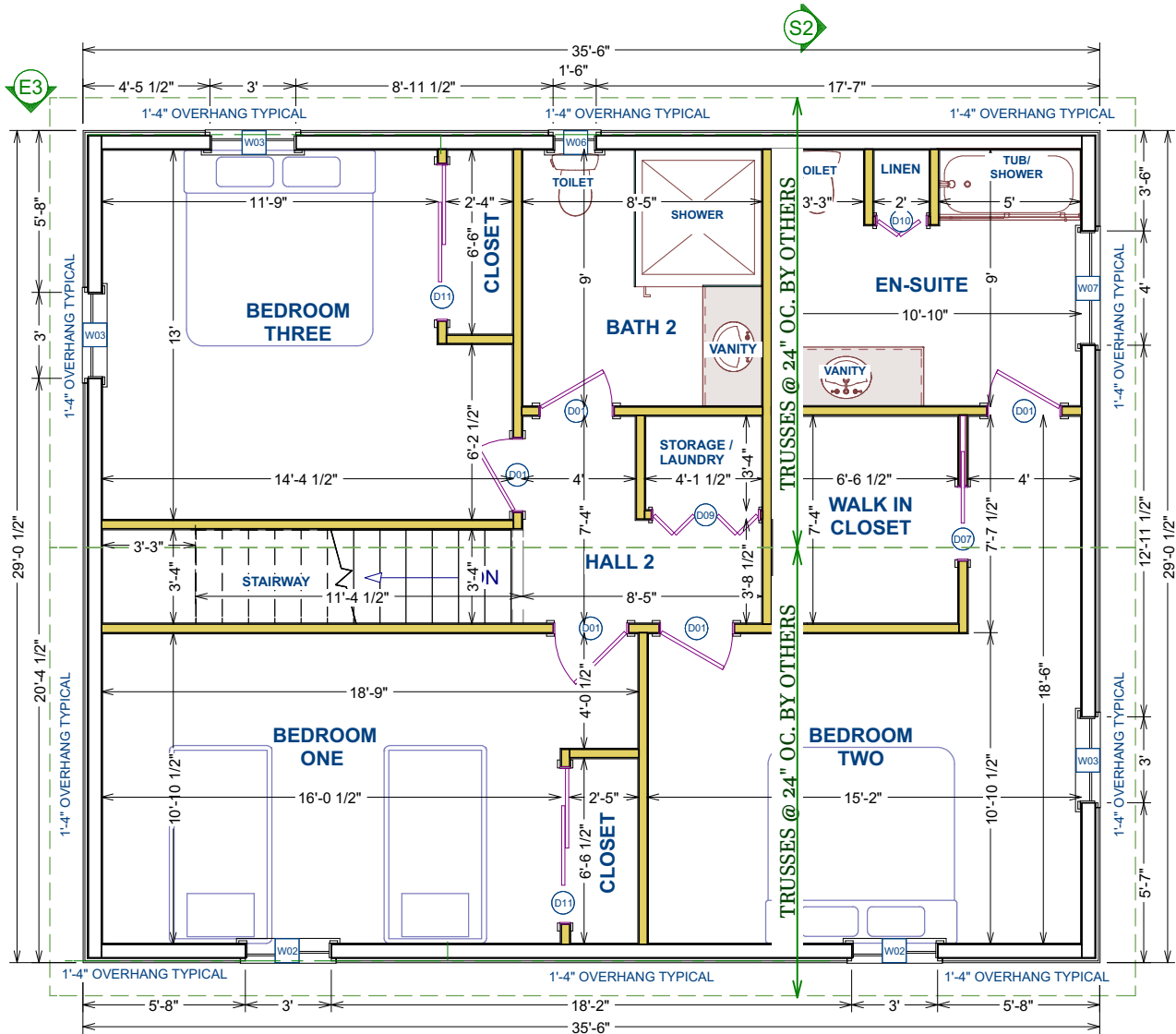
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DON PEDERSEN
77 KERRY POINT ROAD

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	Plan Scale: 1/4=1 UNLESS NOTED	Page Number: S1 3 of 7



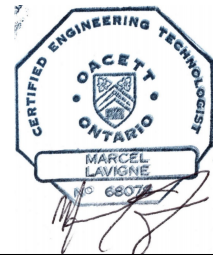


First Floor
Scale: 1/6-12



Second Floor
Scale: 1/6-12

NOTE: These plans are in the Draft Stage and as such minor changes still may be made.



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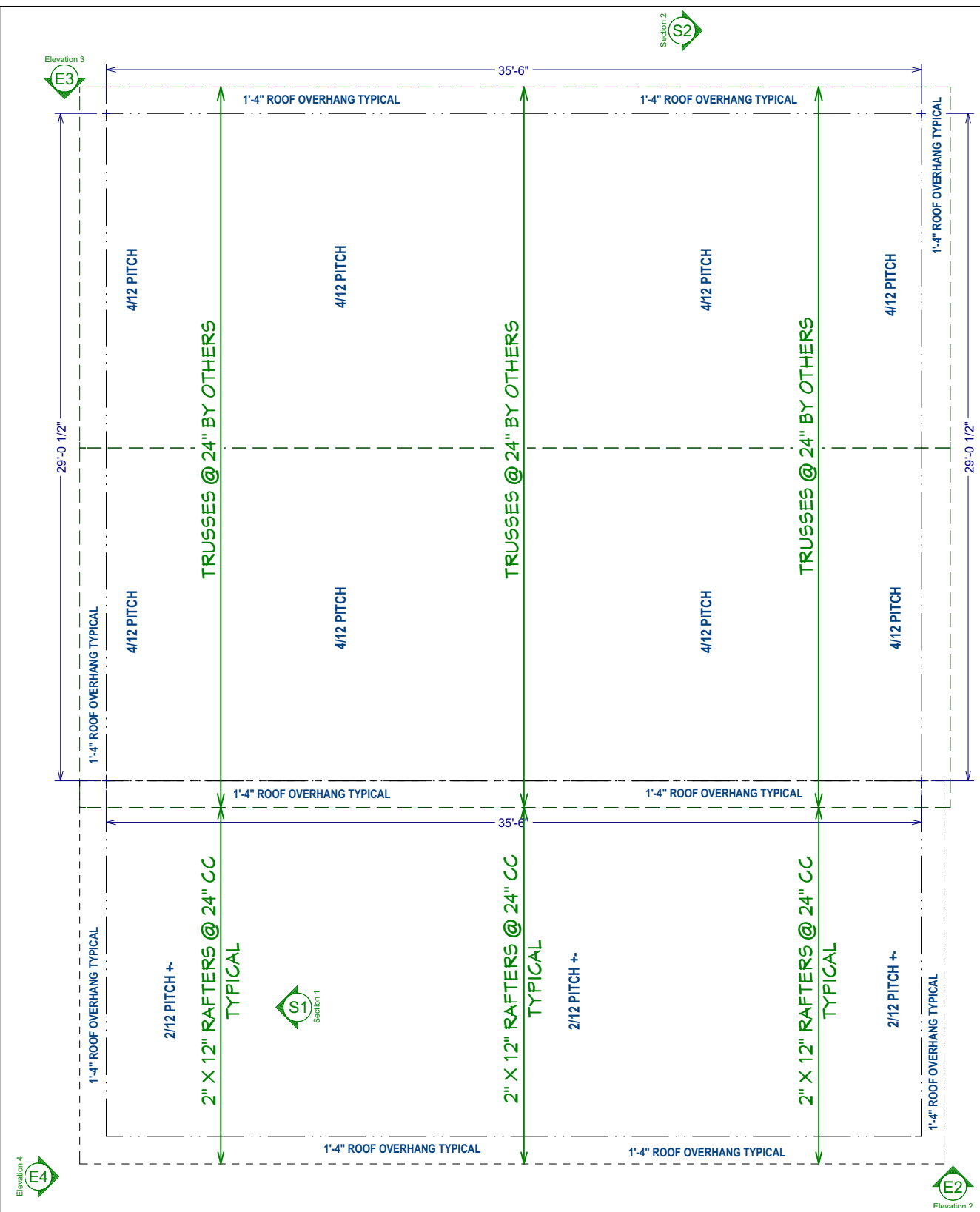
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AMCT Ltd. Firm BCIN # 38061

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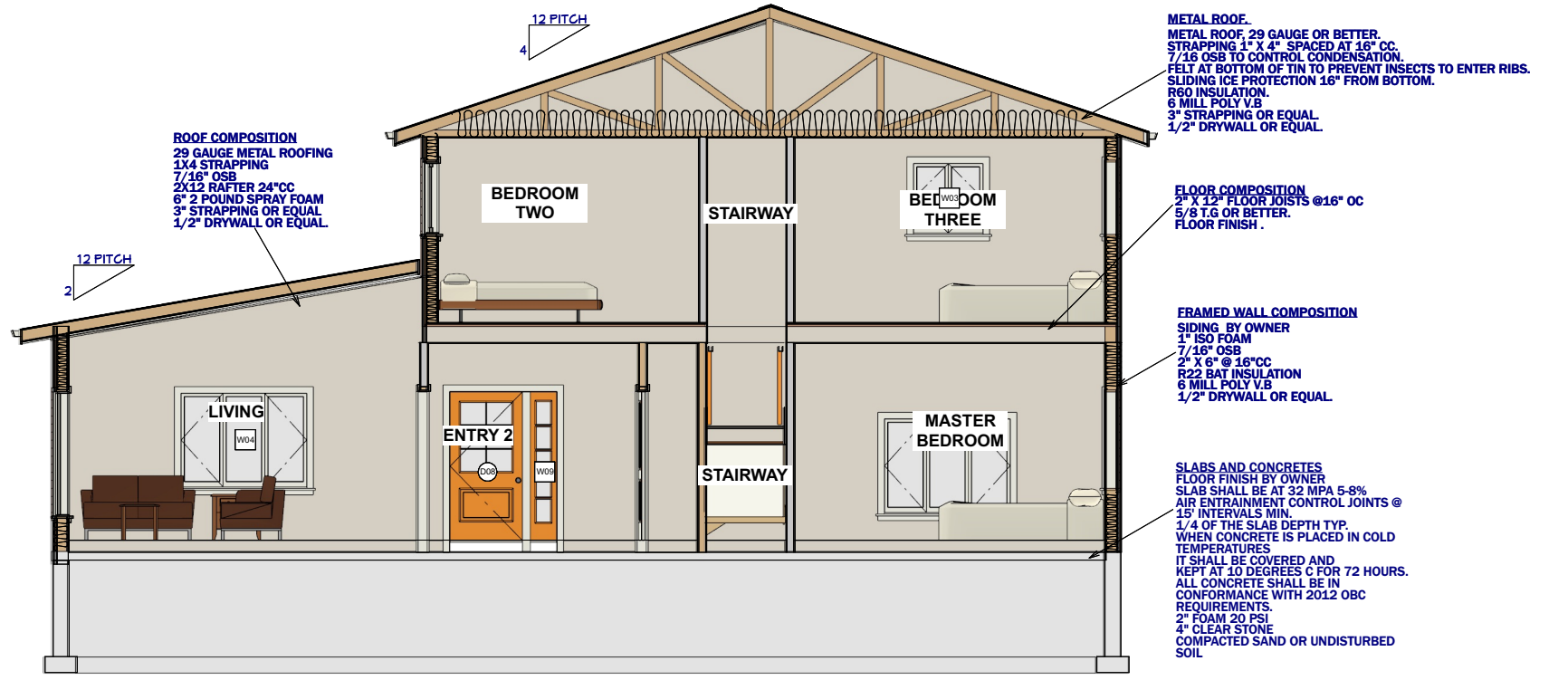
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FIRST & SECOND FLOOR

CUSTOMER DETAILS:
DON PEDERSEN
77 KERRY POINT ROAD

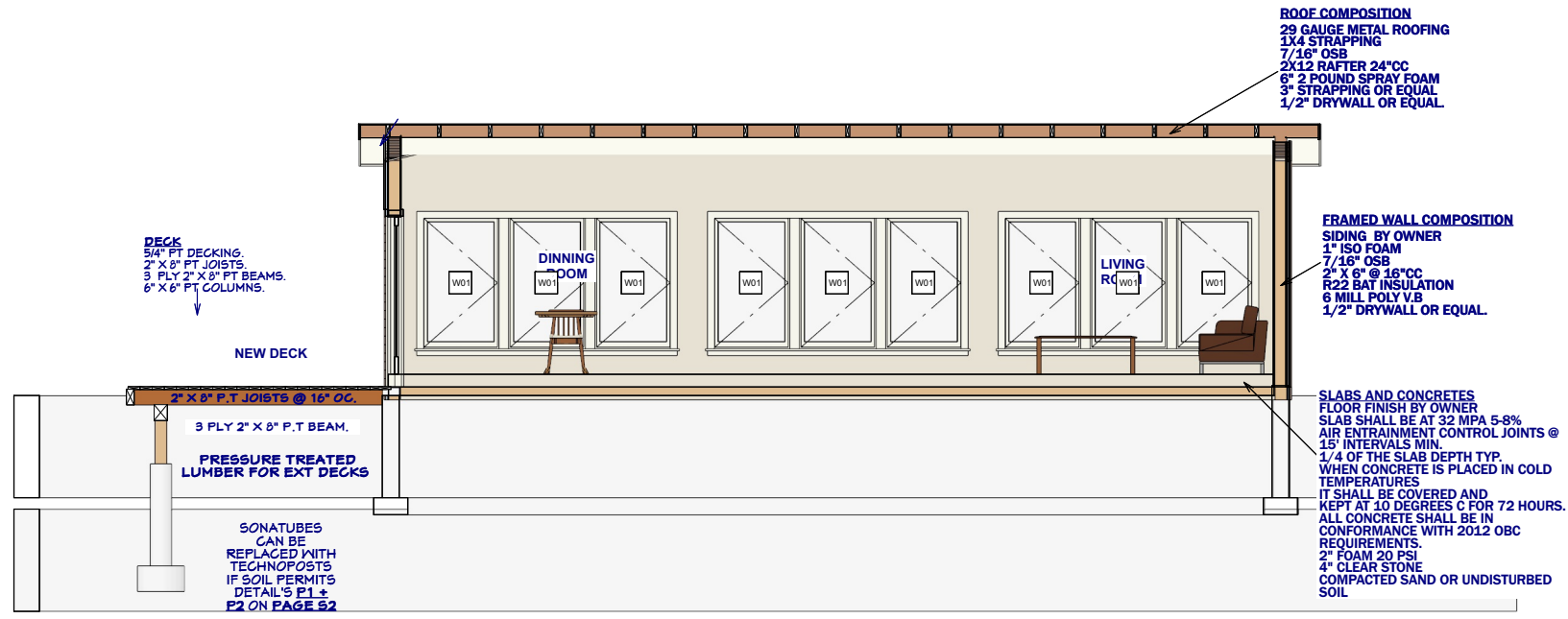
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	Drawn By: S.M.K & M.A.L	
	Plan Scale: 1/4=1 UNLESS NOTED	Page Number: S2 4 of 7



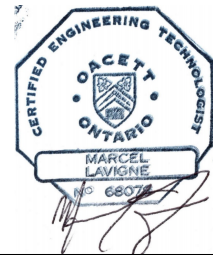
Roof Plan (Upper & Lower)
Scale: 1/6-12



Section One
Scale: 1/7-12



Section Three
Scale: 1/7-12



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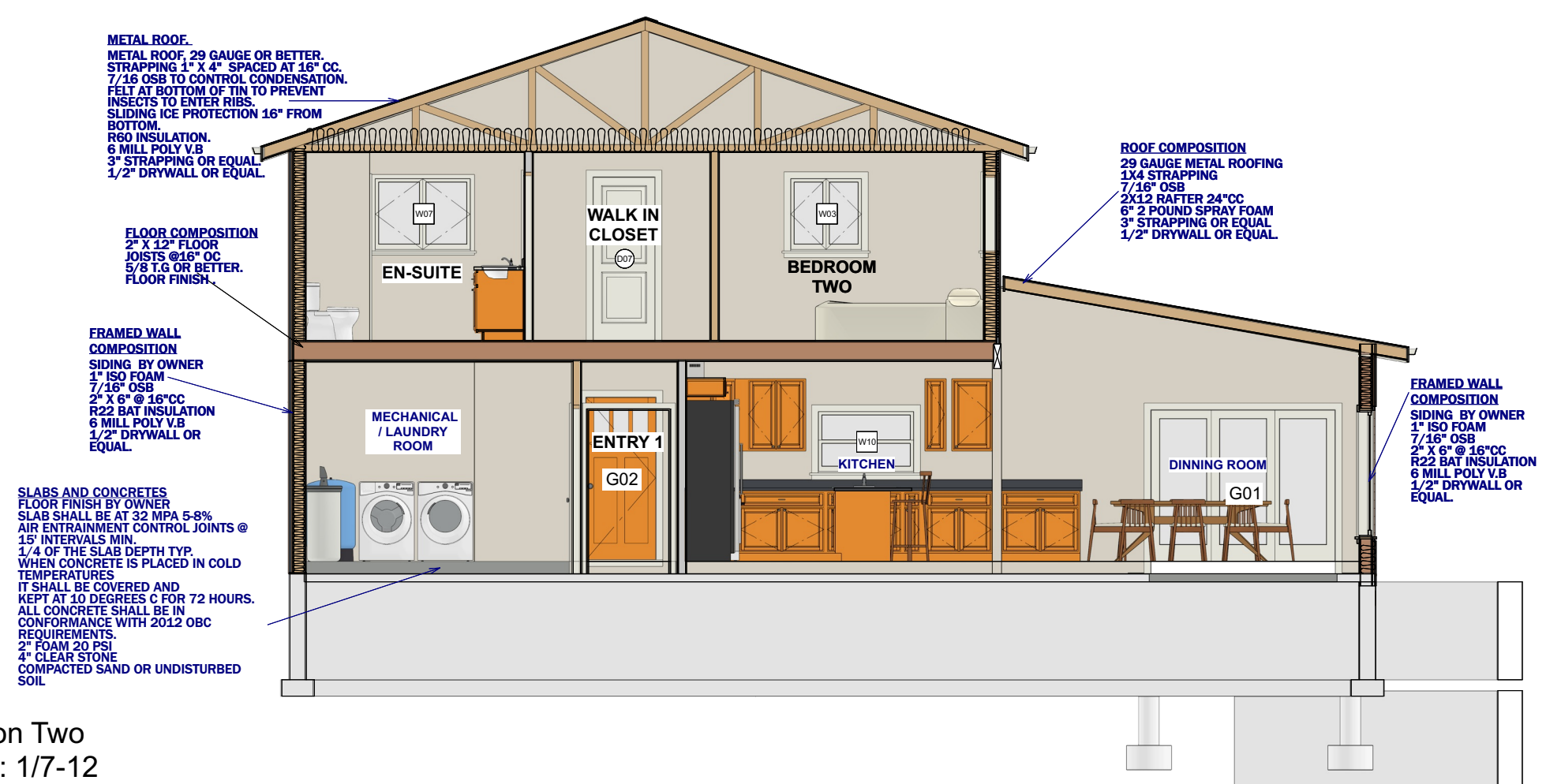
Signature
AMCT Ltd. Firm BCIN # 38061

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DWELLING RENOVATION

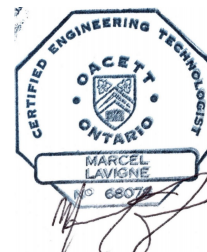
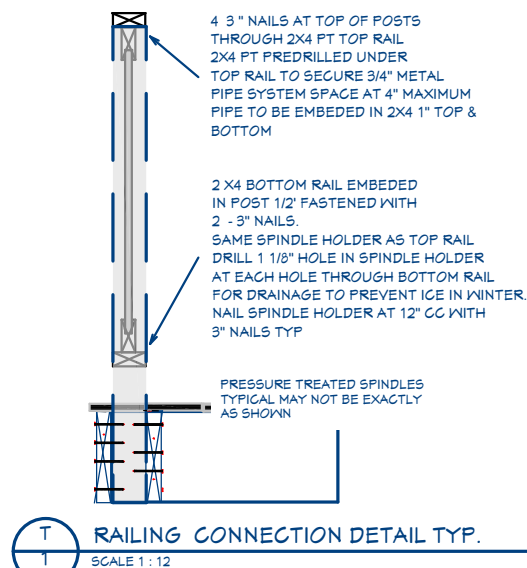
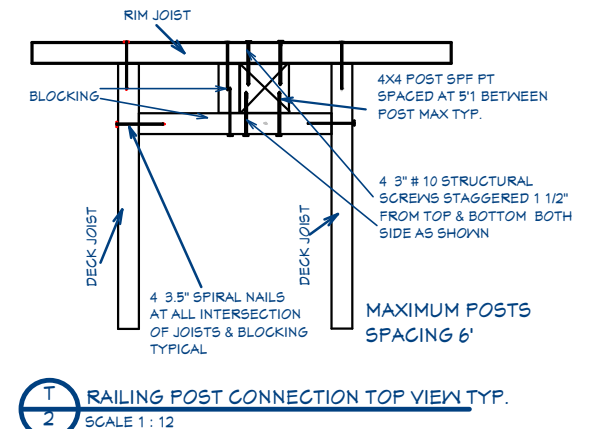
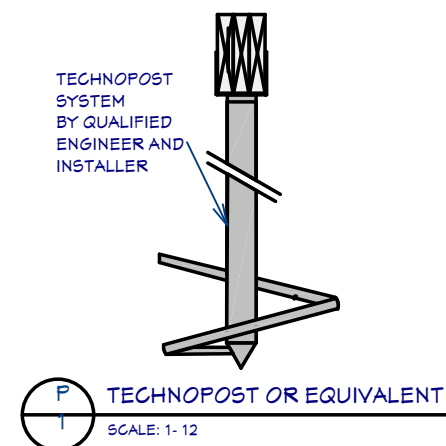
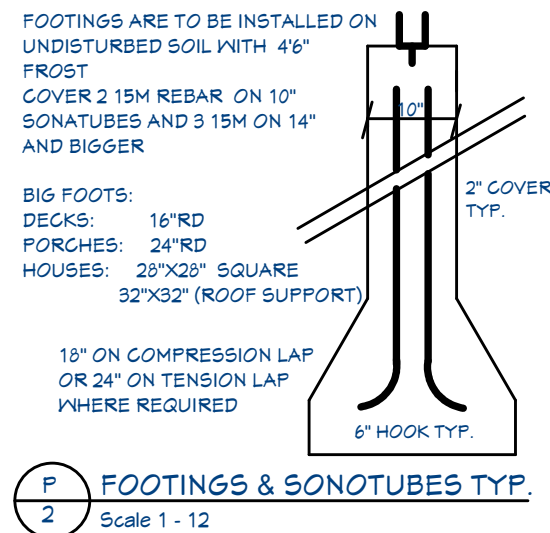
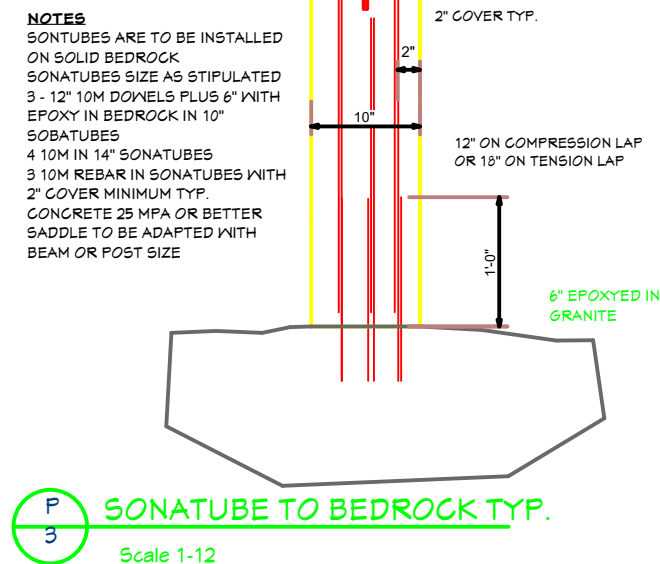
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ROOF PLAN & SECTIONS

CUSTOMER DETAILS:
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77 KERRY POINT ROAD

Revision Dates:	Date Drawn:	Plan Number:
REV 1: April 7th 2025	January 17 2025	89-2023
	Drawn By:	
	S.M.K & M.A.L	
	Plan Scale:	Page Number:
	1/4=1 UNLESS NOTED	S3
		5 of 7



Section Two
Scale: 1/7-12



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Signature
AMCT Ltd. Firm BCIN # 38061

PLAN TITLE:
DWELLING RENOVATION

PAGE TITLE:
DETAILS

CUSTOMER DETAILS:
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Energy Efficiency Design Summary: Prescriptive Method
(Building Code Part 9, Residential)

This form is used by a designer to demonstrate that the energy efficiency design of a house complies with the building code using the prescriptive method described in Subsection 3.1.1. of SB-12. This form is applicable where the ratio of gross area of windows/sidelights/skylights/glazing in doors and sliding glass doors to the gross area of peripheral walls is not more than 22%.

For use by Principal Authority	
Application No:	Model/Certification Number

A. Project Information

Building number, street name 77 Kerry Point Road		Unit number	Lot/Con
Municipality Leeds and the Thousand Islands	Postal code K0E 1R0	Reg. Plan number / other description	

B. Prescriptive Compliance [Indicate the building code compliance package being employed in this house design]

SB-12 Prescriptive (input design package): Package: Zone 1 Table: Table 3.1.1.11. (IP)

C. Project Design Conditions

Climatic Zone (SB-1): x Zone 1 (< 5000 degree days) □ Zone 2 (≥ 5000 degree days)	Heating Equipment Efficiency x ≥ 92% AFUE □ ≥ 84% < 92% AFUE	Space Heating Fuel Source □ Gas Propane □ Solid Fuel □ Oil □ Electric □ Earth Energy
Ratio of Windows, Skylights & Glass (W, S & G) to Wall Area Area of walls = _____ m ² or 2798.78 ft ² W, S & G % = 18 Sunroom glass omitted Area of W, S & G = _____ m ² or _____ ft ² Utilize window averaging: □ Yes □ No		Other Building Characteristics □ Log/Post&Beam □ ICF Above Grade □ ICF Basement □ Slab-on-ground □ Walkout Basement □ Air Conditioning □ Combo Unit □ Air Sourced Heat Pump (ASHP) □ Ground Sourced Heat Pump (GSHP)

D. Building Specifications [provide values and ratings of the energy efficiency components proposed]

Energy Efficiency Substitutions				
□ ICF (3.1.1.2.(5) & (6) / 3.1.1.3.(5) & (6)) □ Combined space heating and domestic water heating systems (3.1.1.2.(7) / 3.1.1.3.(7)) □ Airtightness substitution(s) Airtightness test required (Refer to Design Guide Attached) □ Table 3.1.1.4.B Required: Permitted Substitution: □ Table 3.1.1.4.C Required: Permitted Substitution: Required: Permitted Substitution:				
Building Component	Minimum RSI / R values or Maximum U-Value⁽¹⁾		Building Component	Efficiency Ratings
Thermal Insulation	Nominal	Effective	Windows & Doors Provide U-Value ⁽¹⁾ or ER rating	
Ceiling with Attic Space	R60	R60	Windows/Sliding Glass Doors	25 ER
Ceiling without Attic Space	R31	R31		
Exposed Floor	R31	R31	Mechanicals	
Walls Above Grade	R19 +5ci	R19 +5ci	Heating Equip.(AFUE)	
Basement Walls	R20 ci	R20 ci	HRV Efficiency (SRE% at 0°C)	
Slab (all >600mm below grade)			DHW Heater (EF)	
Slab (edge only ≤600mm below grade)	R10	R10	DWHR (CSA B55.1 (min. 42% efficiency))	# Showers
Slab (all ≤600mm below grade, or heated)	R10	R10	Combined Heating System	

(1) U value to be provided in either W/(m²K) or Btu/(h·ft²·F) but not both.

E. Designer(s) [name(s) & BCIN(s), if applicable, of person(s) providing information herein to substantiate that design meets the building code]

Qualified Designer Declaration of designer to have reviewed and take responsibility for the design work.		
Name Marcel A Lavigne	BCIN 15236	Signature

Form authorized by OHBA, OBOA, LMCBO. Revised December 1, 2016.

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

H. Project Information			
Building number, street name 77 Kerry Point Road		Unit no.	Lot/con.
Municipality Leeds and the Thousand Islands	Postal code K0E 1R0	Plan number/ other description	
I. Individual who reviews and takes responsibility for design activities			
Name Marcel A. Lavigne.		Firm AMCT Ltd.	
Street address		Unit no.	Lot/con.
Municipality	Postal code K0G 1R0	Province Ontario	
Telephone number	Fax number		

J. Design activities undertaken by individual identified in Section B. [Building Code Table 3.1.1.11. of Division C]

<input checked="" type="checkbox"/> House <input type="checkbox"/> Small Buildings <input type="checkbox"/> Large Buildings <input type="checkbox"/> Complex Buildings	<input checked="" type="checkbox"/> HVAC – House <input checked="" type="checkbox"/> Building Services <input checked="" type="checkbox"/> Detection, Lighting and Power <input checked="" type="checkbox"/> Fire Protection	<input checked="" type="checkbox"/> Building Structural <input checked="" type="checkbox"/> Plumbing – House <input checked="" type="checkbox"/> Plumbing – All Buildings <input checked="" type="checkbox"/> On-site Sewage Systems
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Description of designer's work
To renovate Old dwelling with a new interior configuration.

K. Declaration of Designer

I, Marcel A Lavigne declare that (choose one as appropriate):
(print name)

☒ I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
Individual BCIN: 15236
Firm BCIN: 38061

☐ I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.
Individual BCIN: _____
Basis for exemption from registration: _____

☐ The design work is exempt from the registration and qualification requirements of the Building Code.
Basis for exemption from registration and qualification: _____

I certify that:
1. The information contained in this schedule is true to the best of my knowledge.
2. I have submitted this application with the knowledge and consent of the firm.

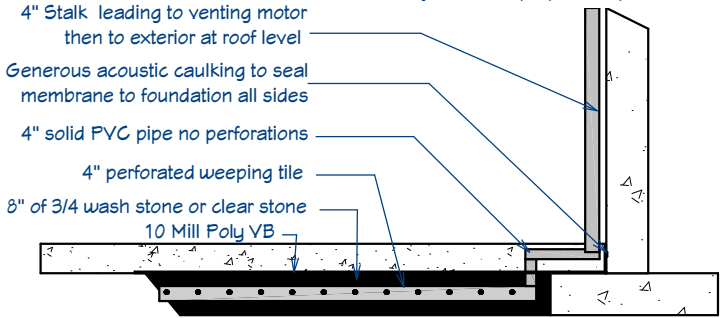
January 17 2025
Date Signature of Designer

NOTE:

- For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) d) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
- Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of authorization, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

Application for a Permit to Construct or Demolish – Effective January 1, 2011

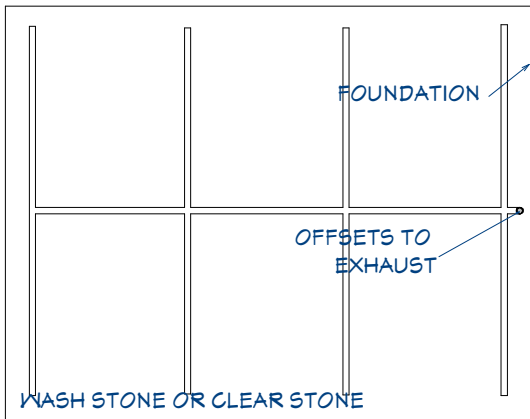
Note
Install 8" of 1/2 to 3/4 wash stone or equal.
Install 4" weeper pipe as detailed at mid point and cover pipe.
Install 10 mill poly as detailed.
Seal perforation and joints as detailed.
Pipe coming out of the concrete to be without perforations.
Glue all joints with proper compound.



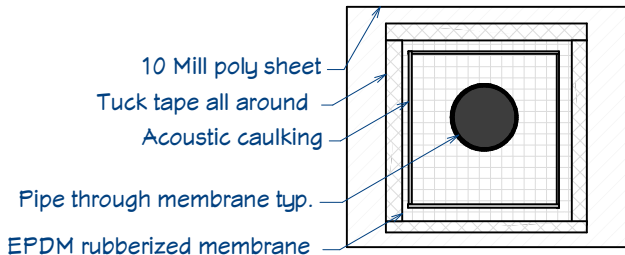
Lap 10 mill joints 6"
Set continuous acoustic caulking between sheets & tape upper joint with tuck tape to secure joint.

SECTION RADON REMIDIAL
Scale: 1/2 - 12

FOUNDATION WALL TYP.



RADON PIPE LAYOUT
Scale: 1/8-12



PIPE THROUGH MEMBRANE
Scale: 1/2 - 12



All measurements to be verified before construction and omissions to be reported to designer. No reproductions of this design are permitted unless authorized by the undersigned	
The undersigned take's responsibility of the design.	
Qualifications Marcel A Lavigne	Personal BCIN # 15236
Signature AMCT Ltd.	Firm BCIN # 38061

PLAN TITLE: DWELLING RENOVATION
PAGE TITLE: FORMS
CUSTOMER DETAILS: DON PEDERSEN 77 KERRY POINT ROAD

Revision Dates: REV 1: April 7th 2025	Date Drawn: January 17 2025	Plan Number: 89-2023
	Drawn By: S.M.K & M.A.L	
	Plan Scale: 1/4=1 UNLESS NOTED	Page Number: F1 7 of 7