

# TIPPIN RESIDENCE

91 SHIPMANS LANE  
LANSDOWNE, ON  
K0E 1L0

## LIST OF DRAWINGS:

- A0 - TITLE PAGE & 3D VIEWS
- A1 - ELEVATIONS
- A2 - FLOOR PLANS, NOTES
- A3 - TYP. CROSS SECTION, DETAILS





PRELIMINARY ONLY  
NOT FOR CONSTRUCTION



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

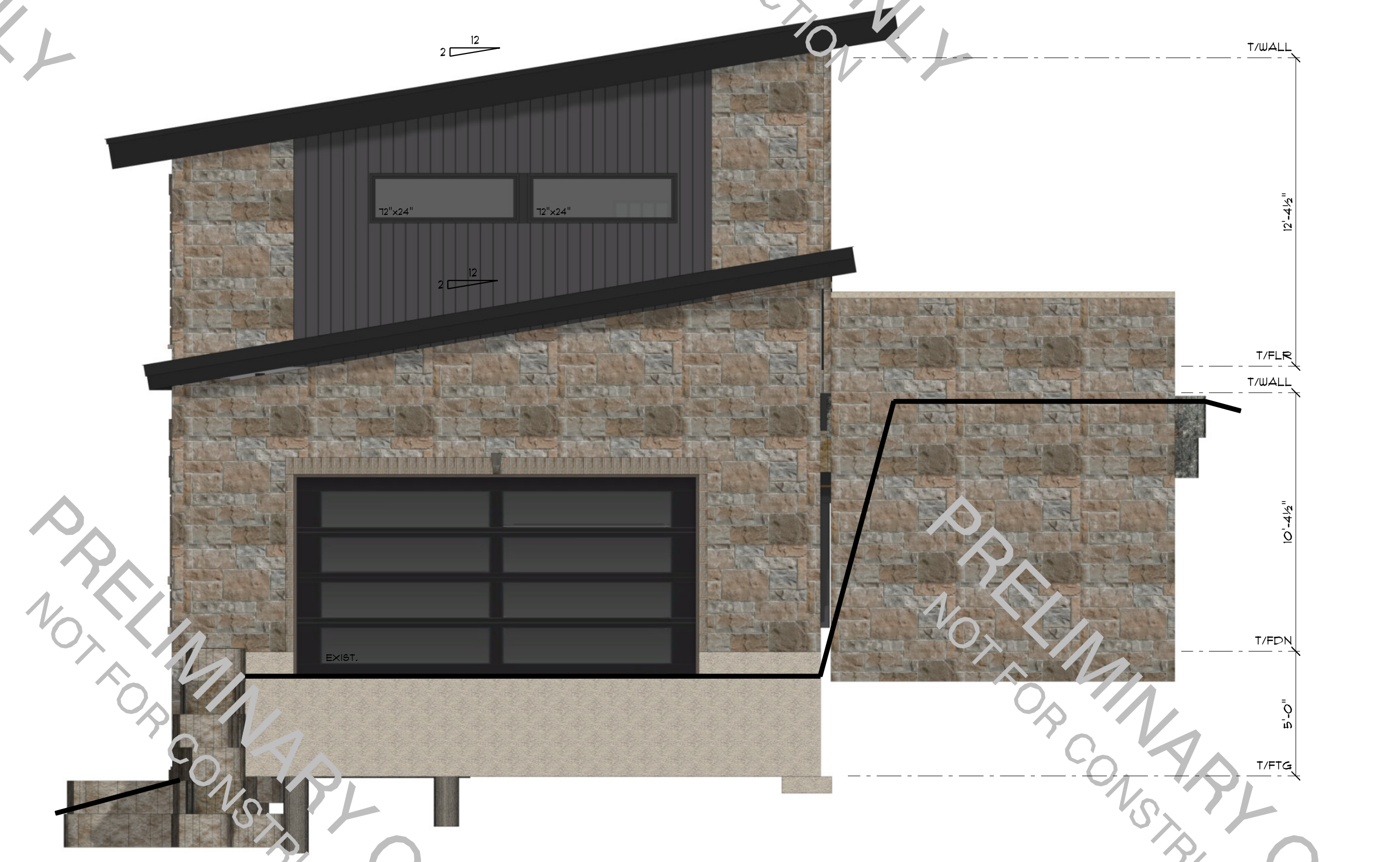
PRELIMINARY ONLY  
NOT FOR CONSTRUCTION



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

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These plans form the basis for permit issuance and any deviations from these plans and details, including the ventilation system, heating system, woodstove, fireplaces, decks, balconies and finished basements, will require a revised drawing and clearance by the Building Department.  
The undersigned has reviewed this design, has qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
REGISTRATION INFORMATION  
Anthony Wislowski: Individual ECNR 28341  
Seaway Design Group: Firm ECNR 118151

REVISIONS:

NO.	DATE	DESCRIPTION
1.	24/10/21	FOR FINAL REVIEW

P. ENG. STAMP:  
  
CONTRACTOR:

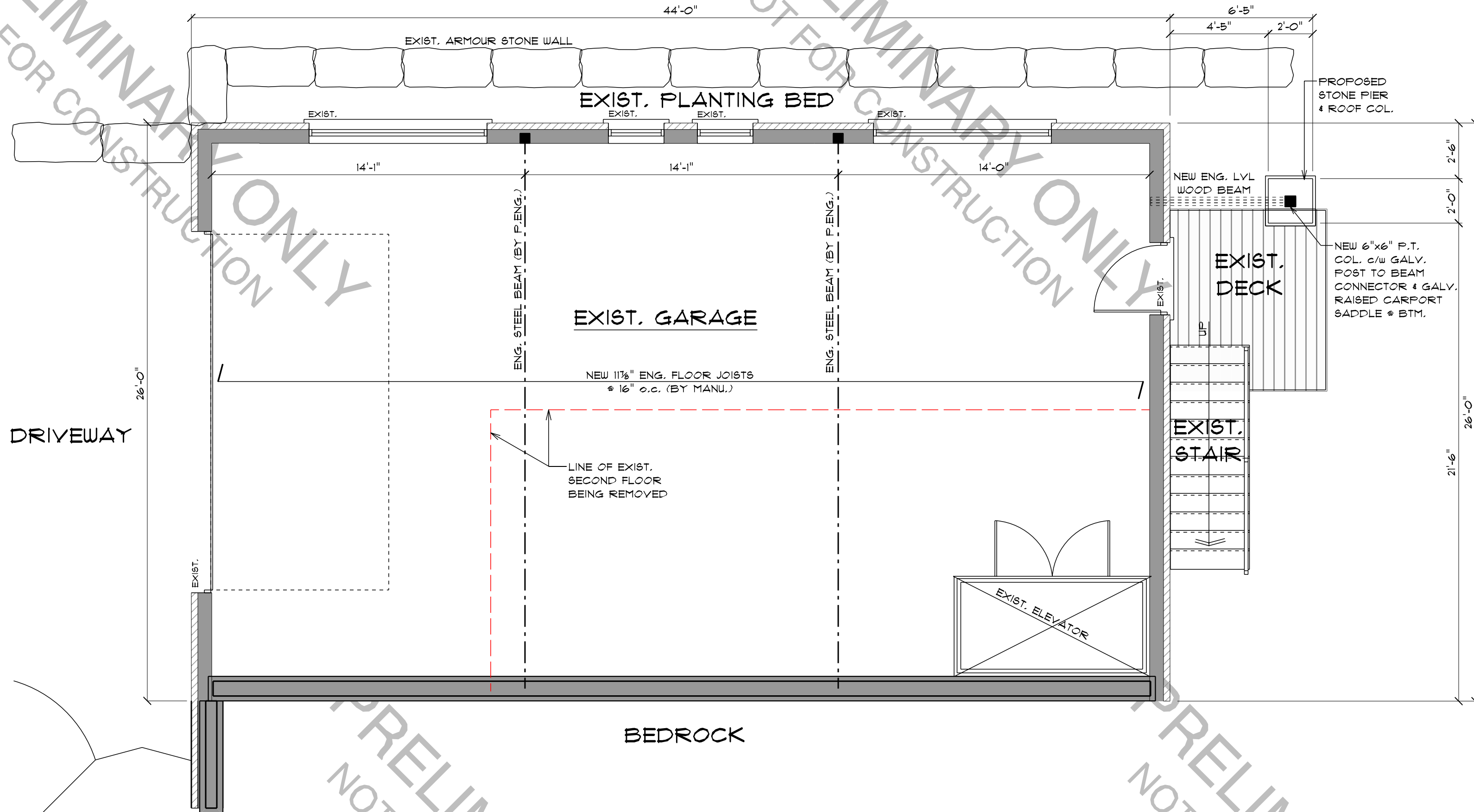
RESIDENCE FOR:  
**TIPPIN RESIDENCE**  
OF SHIPMANS LANE

PROJECT TITLE:  
**PROPOSED GARAGE RENOVATION**

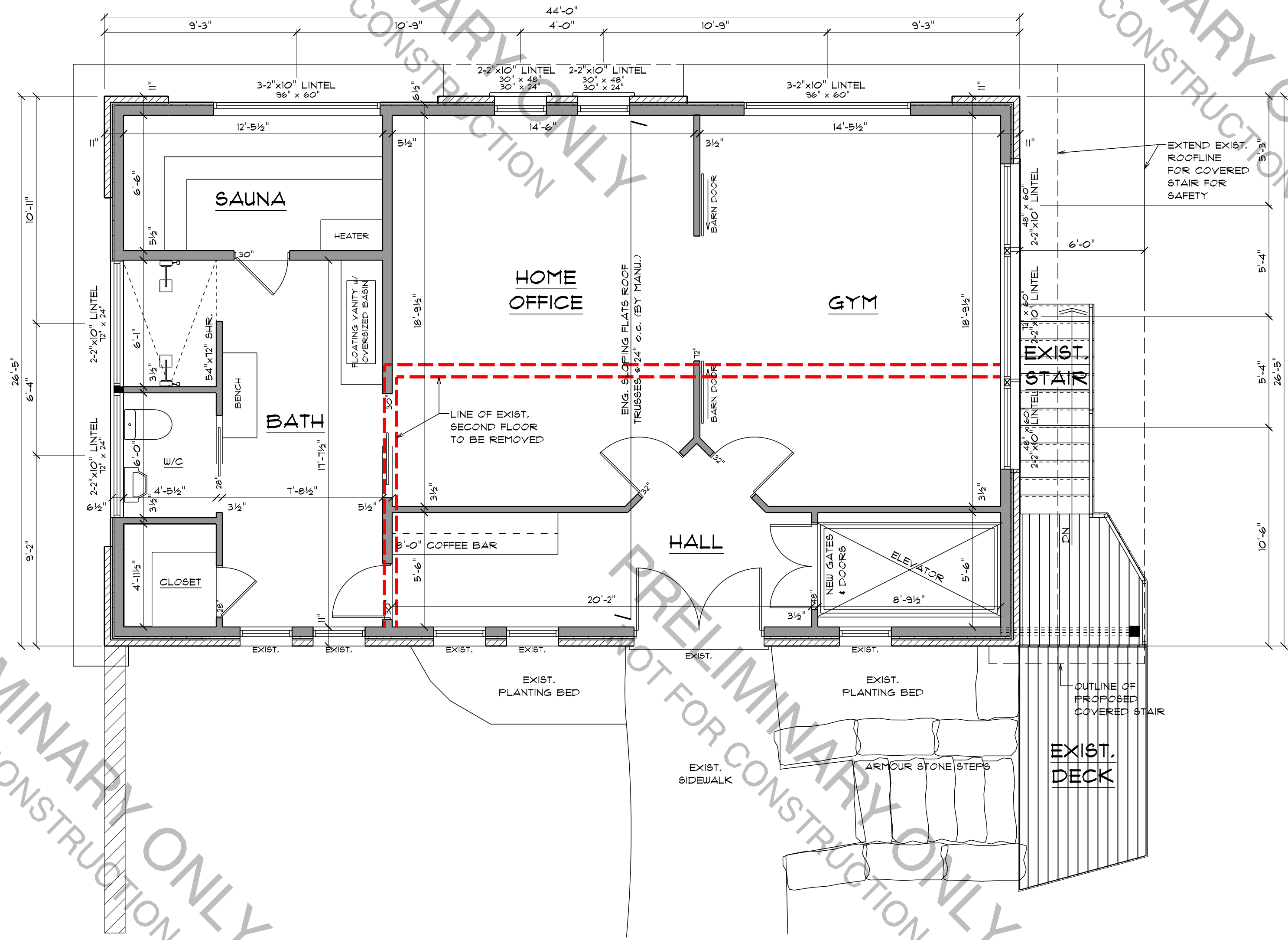
DRAWING TITLE:  
**ELEVATIONS**

DATE: OCT. 2024	SCALE: AS SHOWN
DESIGNED BY: G.H.	PROJECT NO: 24-Tippin Garage Reno
DRAWN BY: W.C.	APPROVED BY: A.M.W.





**GARAGE FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**GARAGE SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**SB-12 ENERGY EFFICIENCY COMPLIANCE PACKAGE - ADDITIONS ZONE 1**

Component	Compliance Package Additions Zone 1 (min)	Values Spec'd	Material Spec
Ceiling with Attic Space Minimum RSI (Ri)-Value	10.56 (R60)	10.56 (R60)	See Typ. Sections
Ceiling Without Attic Space Minimum RSI (Ri)-Value	5.46 (R31)	5.46 (R31)	See Typ. Sections
Exposed Floor Minimum RSI (Ri)-Value	5.46 (R31)	5.46 (R31)	N/A
Walls Above Grade Minimum RSI (Ri)-Value	3.34(0.88ci) (R19-5ci)	3.52(0.88ci) (R20-5ci)	See Typ. Sections
Basement Walls Minimum RSI (Ri)-Value	3.52ci (R20ci)	2.11(1.76ci) (R140ci)	N/A
Below Grade Slab Entire Surface	600 mm below grade Minimum RSI (Ri)-Value	N/A	N/A
Edges of Below Grade Slab	600 mm Below Grade Minimum RSI (Ri)-Value	1.16 (R10)	See Typ. Sections
Heated Slab or Slab	600 mm below grade Minimum RSI (Ri)-Value	N/A	N/A
Windows and Sliding Glass Doors Maximum U-Value	1.6 (Q.28)	1.6 (Q.28)	T.B.D.
Skylights Maximum U-Value	N/A	N/A	N/A
Space Heating Equipment Minimum AFUE	N/A	N/A	N/A
HRV Minimum Efficiency	N/A	N/A	N/A
Domestic Hot Water Heater Minimum EF	N/A	N/A	N/A

NOTE: (1) BUILDING INSPECTOR TO BE SUPPLIED WITH DOCUMENTATION OF EFFICIENCY EQUIVALENCY IF MANUFACTURER 4 OR MODELS ARE SUBSTITUTED, MUNICIPALITY MAY REQUIRE REVISED DRAWINGS.

**GENERAL NOTES:**

- FRAMING NOTES:**
- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.
  - ALL WORK TO BE DONE IN ACCORDANCE w/ THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
  - WHERE NOT NOTED ON DRAWINGS, SPACING OF FRAMING MEMBERS TO BE TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
  - ALL WOOD FRAMING TO BE MIN. No. 2 SPRUCE.
  - ANY POINT LOADS ON BEAMS OR LINTELS INDICATED ON PLAN TO BE CONFIRMED BY ENGINEER.
  - FLOOR JOIST MANUFACTURER TO PROVIDE FLOOR JOIST FRAMING PLAN 4 ALL SPECIFICATIONS FOR REVIEW BY BUILDING OFFICIAL.
  - FLOOR JOIST MANUFACTURER TO PROVIDE ALL RATED HANGERS AS REQUIRED.
  - ROOF TRUSS MANUFACTURER TO PROVIDE ROOF TRUSS LAYOUT PLAN 4 SHOP DRAWINGS w/ STAMP OF STRUCTURAL ENGINEER LICENSED IN ONTARIO.
  - ROOF TRUSS MANUFACTURER TO PROVIDE ALL REQUIRED RATED HANGERS.
  - ALL EXTERIOR WALL LINTELS TO BE 2"x10" UNLESS OTHERWISE NOTED ON PLAN.
  - WINDOW MANUFACTURER TO PROVIDE ALL ROUGH FRAME OPENING SIZES.
  - ALL BEAMS TO BE UNDER FLOOR CONSTRUCTION UNLESS NOTED OTHERWISE.
  - PRIME 4 PAINT ALL EXPOSED STEEL BEAMS LINTELS 4 COLUMNS.
  - STEEL TIMBER 4 BUILT UP TIMBER COLUMNS FROM ALL LEVELS TO BE CARRIED DOWN TO THE FOUNDATION OR TO SUPPORTING BEAMS, SOLID BLOCKING TO BE PROVIDED WHERE REQUIRED.
  - NAILING OF BUILT UP WOOD COLUMNS TO BE AS PER O.B.C. 9.11.4.2.
  - ALL INTERIOR PARTITIONS TO BE 2"x4" OR 2"x6" STUDS @ 16" o.c. w/ 1/2" GYPSUM BOARD BOTH SIDES UNLESS OTHERWISE NOTED.
  - ALL RAILINGS SHOULD INCLUDE GUARDS CONFORMING TO O.B.C. 9.8.8. 4 SB-1.
  - SUBFLOOR TO BE 3/4" T&G OSB GLUED 4 NAILED MIN.
- MECHANICAL NOTES:**
- CONTRACTOR TO PROVIDE HEATING 4 MECHANICAL VENTILATION SPECIFICATIONS.
  - MECHANICAL VENTILATION REQUIRED TO CONFORM TO O.B.C. 9.32. w/ ALL MECHANICAL VENTS TO EXHAUST OUTSIDE.
  - ALL ATTIC SPACES TO BE PROVIDED WITH UNOBSTRUCTED VENT AREA NOT LESS 1/300 OF THE INSULATED CEILING AREA w/ NOT LESS THEN 25% OF THIS AREA @ THE BOTTOM OF THE SPACE.
  - ALL POLY VAPOUR/MOISTURE BARRIER TO CONFORM TO O.B.C. 9.25.3 OR O.B.C. 9.25.4. 4 SUPPLEMENTARY STANDARD SB-12. CAULK 4 SEAL ALL JOINTS w/ 4" MIN. LAP @ JOINTS.
  - AN AIR BARRIER SYSTEM CONFORMING TO O.B.C. 9.25.3 TO BE INSTALLED IN BETWEEN GARAGE 4 THE REMAINDER OF THE BUILDING PROVIDING AN EFFECTIVE BARRIER TO GAS 4 EXHAUST FUMES.
  - CAULK ALL PERIMETERS, INSIDE 4 OUTSIDE OF ALL EXTERIOR DOORS 4 WINDOWS.
  - FLASHING TO BE INSTALLED AT EVERY HORIZONTAL JUNCTION OF CLADDING. EVERY HORIZONTAL OFFSET IN THE CLADDING 4 EVERY HORIZONTAL LINE WHERE THE CLADDING SUBSTRATE CHANGES 4 CONCENTRATED CAN OCCUR OR THE SUBSTRATE MAY COMPROMISE THE DRAINAGE OF MOISTURE.
  - PROVIDE VALLEY FLASHINGS @ ROOF PITCH INTERSECTIONS AS PER O.B.C. 9.26.4.3
  - PROVIDE FLASHING @ ALL INTERSECTIONS OF ROOF 4 WALLS AS PER O.B.C. 9.26.4
- FOUNDATION NOTES:**
- ALL FOOTINGS TO HAVE MIN. 5'-0" OF COVER 4 BEAR ON UNDISTURBED SOIL OR SOUND BEDROCK.
  - CONCRETE FOR FOOTINGS TO BE 20 MPa @ 28 DAYS w/ MAX. SLUMP OF 3 1/2".
  - CONCRETE FOR FOUNDATION WALLS TO BE 20 MPa @ 28 DAYS w/ MAX. SLUMP OF 3 1/2".
  - CONCRETE FOR BASEMENT FLOOR SLAB TO BE 25 MPa @ 28 DAYS w/ MAX. SLUMP OF 3 1/2".
  - CONCRETE FOR GARAGE FLOOR 4 PORCHES TO BE 32 MPa @ 28 DAYS w/ AIR CONTENT OF 6-8% 4 MAX. SLUMP OF 3 1/2".
  - FOUNDATION DRAINAGE AS PER O.B.C. 9.14
  - MAINTAIN EXISTING SITE DRAINAGE AWAY FROM NEW FOUNDATIONS.
  - ASSUMED BEARING PRESSURE OF 15kPa TO BE VERIFIED BY GEOTECHNICAL ENGINEER.

**AREA STATISTICS:**

BUILDING AREA: AREA  
GARAGE: 1000 sq.ft.

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Engineered floor system and engineered truss system designed by others and not by designer. These systems are exempt as permitted in the OBC 3.2.2.1 (3)(h).  
The undersigned has reviewed this design, has qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
REGISTRATION INFORMATION  
Anthony Walsenden: Individual ECNR 28341  
Seaway Design Group: Firm ECNR 118151

REVISIONS:

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CONTRACTOR:

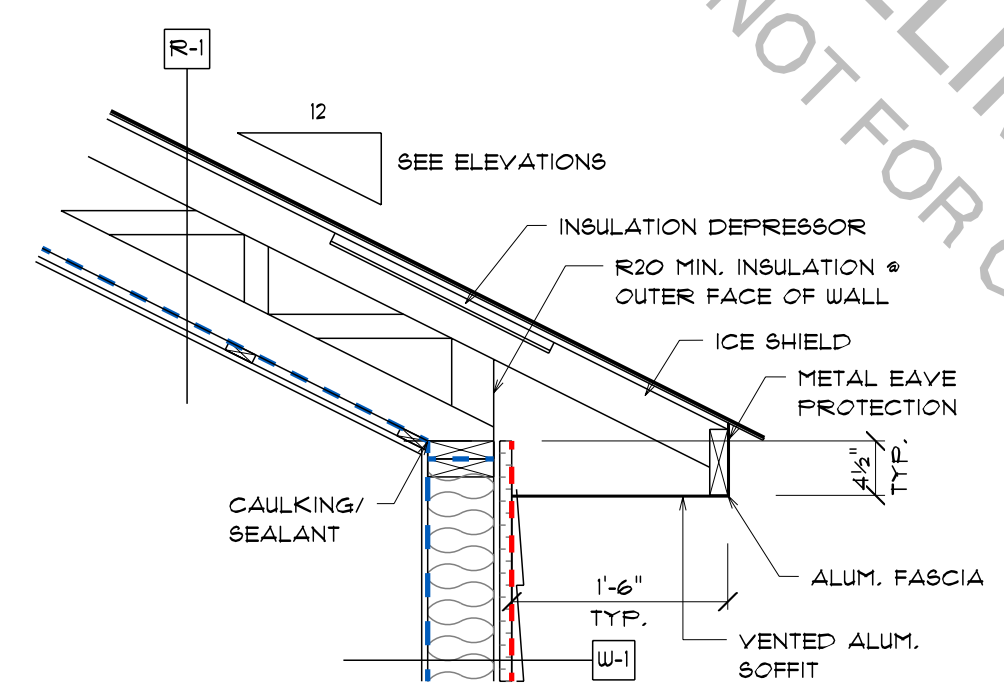
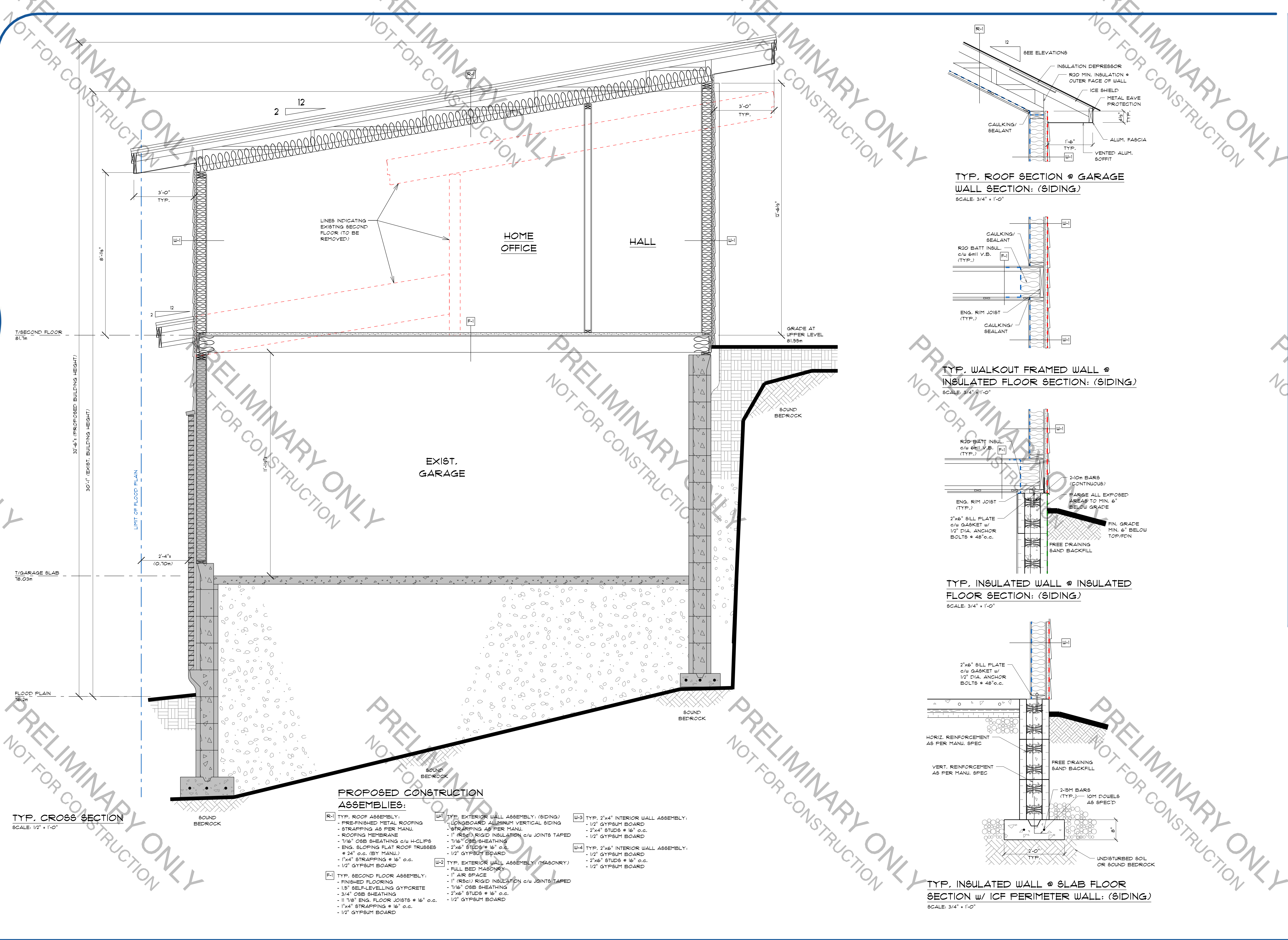
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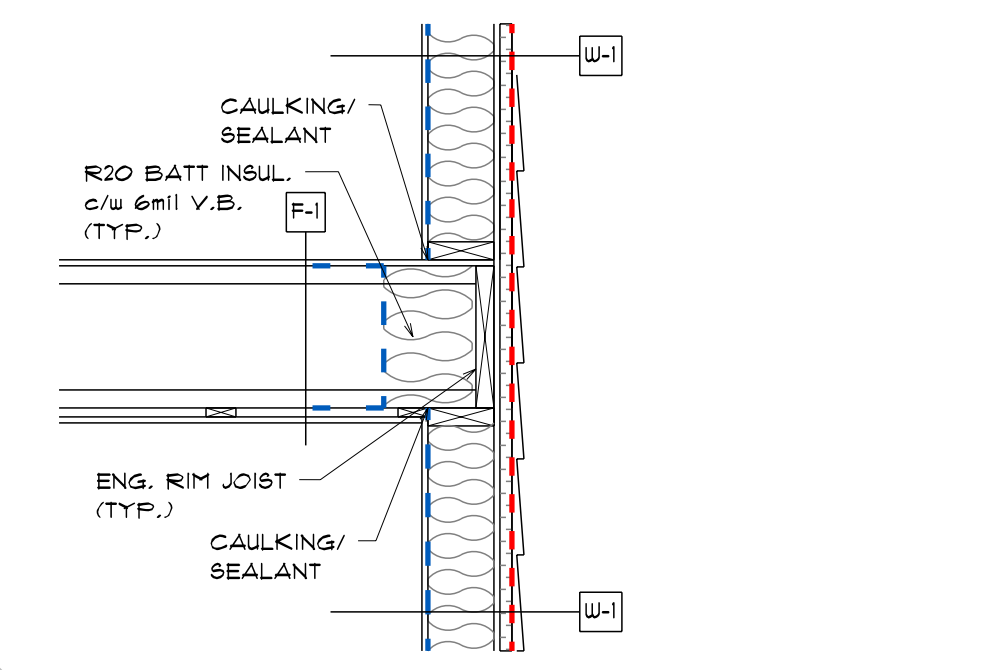
DRAWING TITLE:  
**FLOOR PLANS, NOTES**

DATE: OCT. 2024  
SCALE: AS SHOWN  
DESIGNED BY: PROJECT NO. 24-Tippin Garage Reno  
DRAWN BY: W.D. APPROVED BY: A.M.W.

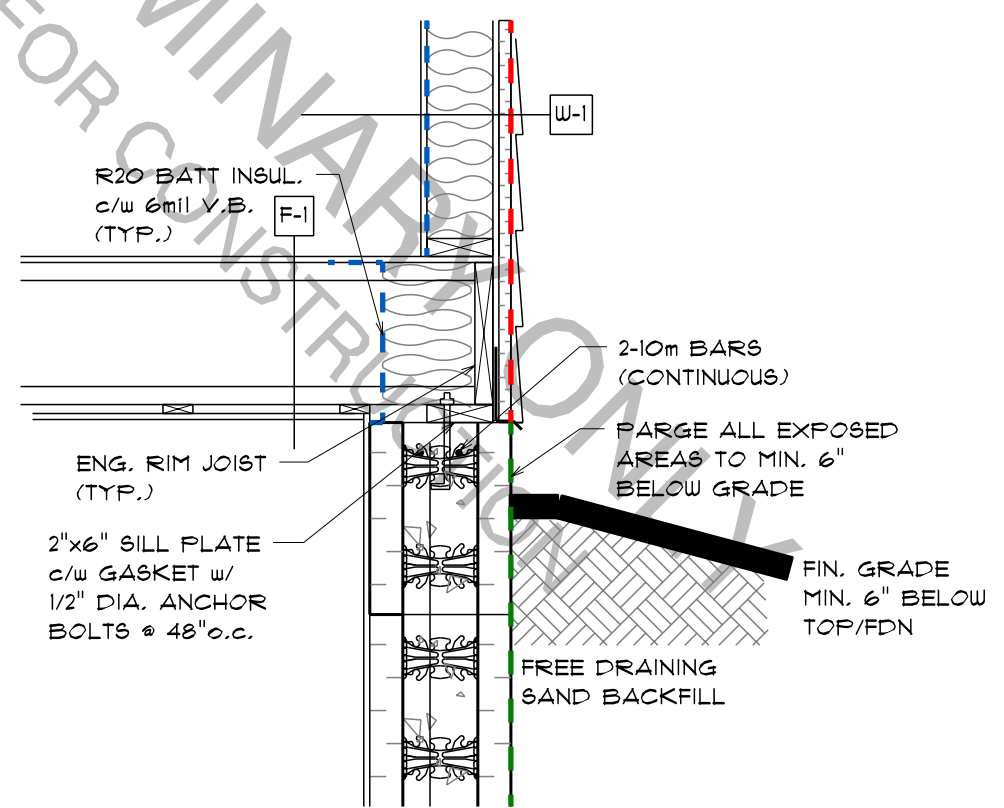




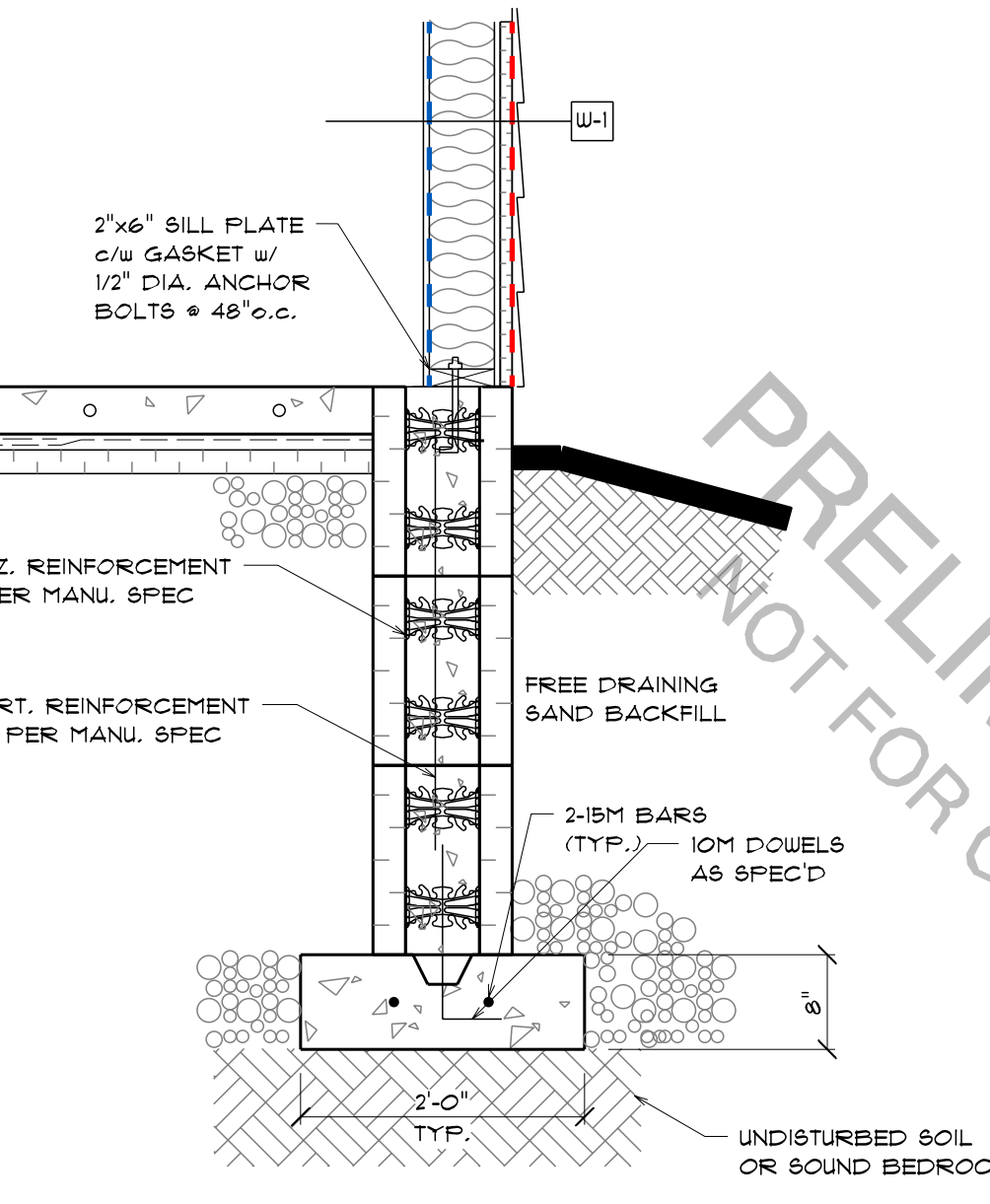
TYP. ROOF SECTION @ GARAGE WALL SECTION: (SIDING)  
SCALE: 3/4" = 1'-0"



TYP. WALKOUT FRAMED WALL @ INSULATED FLOOR SECTION: (SIDING)  
SCALE: 3/4" = 1'-0"



TYP. INSULATED WALL @ INSULATED FLOOR SECTION: (SIDING)  
SCALE: 3/4" = 1'-0"



TYP. INSULATED WALL @ SLAB FLOOR SECTION w/ ICF PERIMETER WALL: (SIDING)  
SCALE: 3/4" = 1'-0"

**PROPOSED CONSTRUCTION ASSEMBLIES:**

- [R-1]** TYP. ROOF ASSEMBLY:
  - PREFINISHED METAL ROOFING
  - STRAPPING AS PER MANU.
  - ROOFING MEMBRANE
  - 1/16" OSB SHEATHING c/w H-CLIPS
  - ENG. SLOPING FLAT ROOF TRUSSES @ 24" o.c. (BY MANU.)
  - 1"x4" STRAPPING @ 16" o.c.
  - 1/2" GYPSUM BOARD
- [F-1]** TYP. SECOND FLOOR ASSEMBLY:
  - FINISHED FLOORING
  - 1.5" SELF-LEVELLING GYPCRETE
  - 3/4" OSB SHEATHING
  - 11 7/8" ENG. FLOOR JOISTS @ 16" o.c.
  - 1"x4" STRAPPING @ 16" o.c.
  - 1/2" GYPSUM BOARD
- [W-1]** TYP. EXTERIOR WALL ASSEMBLY: (SIDING)
  - LONGBOARD ALUMINUM VERTICAL SIDING
  - STRAPPING AS PER MANU.
  - 1" (R5ci) RIGID INSULATION c/w JOINTS TAPED
  - 2"x6" STUDS @ 16" o.c.
  - 1/2" GYPSUM BOARD
- [W-2]** TYP. EXTERIOR WALL ASSEMBLY: (MASONRY)
  - FULL BED MASONRY
  - 1" AIR SPACE
  - 1" (R5ci) RIGID INSULATION c/w JOINTS TAPED
  - 1/16" OSB SHEATHING
  - 2"x6" STUDS @ 16" o.c.
  - 1/2" GYPSUM BOARD
- [W-3]** TYP. 2"x4" INTERIOR WALL ASSEMBLY:
  - 1/2" GYPSUM BOARD
  - 2"x4" STUDS @ 16" o.c.
  - 1/2" GYPSUM BOARD
- [W-4]** TYP. 2"x6" INTERIOR WALL ASSEMBLY:
  - 1/2" GYPSUM BOARD
  - 2"x6" STUDS @ 16" o.c.
  - 1/2" GYPSUM BOARD

TYP. CROSS SECTION  
SCALE: 1/2" = 1'-0"

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PROJECT TITLE:  
**PROPOSED GARAGE RENOVATION**

DRAWING TITLE:  
**TYP. CROSS SECTION, DETAILS**

DATE:	SCALE:
OCT. 2024	AS SHOWN

DESIGNED BY:	PROJECT NO.:
G.H.	24-Tippin Garage Reno

DRAWN BY:	APPROVED BY:
W.D.	A.M.W.

**SEAWAY DESIGN**  
Group

**A3**